

**AGENDA
TOWN OF JUPITER ISLAND
IMPACT REVIEW COMMITTEE MEETING
THURSDAY, SEPTEMBER 11, 2025, 9:00 AM
ISLAND ROOM – TOWN HALL – 2 BRIDGE ROAD**

1. Call to Order and Comments*
2. Minutes of the Impact Review Committee August 7, 2025
3. 508 South Beach Road

The applicant is Jupiter Boathouse LLC, and is represented by Jared Gaylord Esq. of Marc R. Gaylord, P.A.

This is a modification of a previously approved IRC.

The modification is to relocate the guesthouse from the Northeast corner of the property’s building envelope to the Southeast corner of the building envelope.

4. 101 Harbor Way

The applicants are Luke and Erin Charlton, and are represented by Steven Tyler Nielsen of Nielsen Landscape Architects.

This application is for improvements to the landscape and hardscape. Also, the installation of a new driveway, driveway gate, pool, and pool terrace.

5. Other Items*
 - a. Next Meeting - October 2, 2025 - To be determined*
 - b. Other Matters*

** No advanced materials provided*

IMPACT REVIEW COMMITTEE

Bonnie Schiralli - Chair
Judy Holden – Vice Chair
Valerie McNeely
Jennifer Madden
Eleanor Seaman
Marshall Field V, Alternate
Maria Bayazid, Alternate

TOWN STAFF

Robert Garlo, Town Manager
Catherine Harding, Director of Building, Planning & Zoning
Ruben Cruz, Senior Planner

Kimberly Kogos, Town Clerk
Thomas J. Baird, Town Attorney

STATE MANDATED STATEMENT

If a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town prior to the meeting. Please contact the Town Hall, 2 Bridge Road, Hobe Sound, FL 33455, telephone (772) 545-0103.

**MINUTES
TOWN OF JUPITER ISLAND
IMPACT REVIEW COMMITTEE MEETING
THURSDAY, AUGUST 7, 2025**

TIME: Thursday, August 7, 2025 – 9:00 AM
PLACE: Town Hall Island Room – 2 Bridge Rd., Hobe Sound, FL
PRESENT: Present were Chair Bonnie Schiralli, Member Jennifer Madden and Alternate Member Christina Whitney. Also present were Assistant Town Manager John Duchock, Town Clerk Kimberly Kogos, Town Attorney Thomas Baird and IT Technician Sean Martin.

1. Call to Order and Comments*

Chair Schiralli called the meeting to order at 9:01AM and read the purpose of the Impact Review Committee. She announced a quorum had been reached and introduced the present voting members along with attending staff and counsel.

Town Clerk Kogos swore in those interested in speaking during the hearing including Attorney Jared Gaylord of Marc R. Gaylord P.A.; Richard Rutledge of Innocenti & Webel; Kevin Asbacher of Asbacher Architecture; and Building Department Director Catherine Harding.

2. Minutes of the May 1, 2025 Impact Review Committee meeting

MOTION: *Madden/Whitney moved to approve the minutes as presented.*

ACTION: *Motion passed 3-0.*

3. 143 Gomez Road

Ex-Parte Communication:

- *Member Madden stated she visited the property with Director Harding, read all materials, and had no ex- parte communication.*
- *Chair Schiralli stated she visited the property and had no ex- parte communication.*
- *Alternate Member Whitney stated she drove by the property with Director Harding and had no ex- parte communication.*

Director Catherine Harding introduced the application, provided background information, and explained the request. She stated that the applicant has replied to and meets the Impact Review Standards.

Attorney Jared Gaylord, representing Kendrick Wilson Revocable Trust, greeted the Committee and introduced the project team including Richard Rutledge and Kevin Asbacher. He provided background information including aerial views of the property and noted that the owner also owns the property directly to the south. He displayed the property survey and current site photos of the demolished structure and the landscape buffers of the current work site including mesh construction fencing. He provided neighboring streetscapes and architectural plans of the proposed structure(s) followed by elevations and site calculations.

Richard Rutledge provided landscape plans including the project staging plan along with temporary landscape buffers and final proposed landscape. He requested buffer work to be completed simultaneously with the foundation work to accelerate the construction timeframe. He finished with a display of buffer elevations.

Chair Schiralli expressed concern regarding the maintenance of the property that appears unkempt. Mr. Rutledge confirmed the maintenance will occur before additional work continues. Chair Schiralli stated the port-o-let is in full view from the street and the location of the dumpster is visible when the gates are open and should be screened.

Chair Schiralli referred to the property not being staked. Director Harding agreed and stated that a letter was sent to the project manager to stake the property. She also asked about Ordinance 393 specifically regarding a vehicle wheel cleaning blanket. Mr. Rutledge explained that the gravel is being used as a blanket to clean the wheels of construction vehicles.

Public Comment:

There was no public comment.

Member Madden noted conditions to approval including:

- Maintenance on the property
- Marking the address
- Covering the portlet portal
- Screening the dumpster to the north

MOTION: Madden/Whitney moved to approve with recommended conditions.

ACTION: Motion passed 3-0.

4. 286 South Beach Road

The applicant is Richard A. O’Connell, Trustee of the O’Connell 2016 Family Trust, and is represented by Jared Gaylord Esq. of Marc R. Gaylord, P.A.

This application is to construct a new pool, pool house, cabana, and associated landscaping/hardscaping. Also, a hoist for a 40-foot boat.

Ex-Parte Communication:

- *Member Madden stated she visited the property with Director Harding, read all materials, and had no ex- parte communication.*
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Director Catherine Harding introduced the application and provided background information. She stated that the applicant addressed all concerns and met all IRC standards for construction. She announced that she had received a letter of objection from neighbor, Mrs. Brooks. The Committee confirmed they had received the letter.

Attorney Jared Gaylord, representing the Richard A. O'Connell Trust, greeted the Committee and introduced the project team. He provided background information including aerial views of the property and neighboring properties.

Chair Schiralli noted that this property was not staked out in advanced and requested better views of the property boundaries and location of the proposed structures. Attorney Gaylord and Mr. Rutledge provided clarifying information.

Attorney Gaylord showed both neighboring properties have existing docks and boat lifts, and explained the location of the proposed dock and lift. He noted that the primary visibility of the proposed dock and lift is from a specific portion of the yard. He displayed the property survey and site calculations followed by architectural plans, elevations, and site photographs.

Mr. Rutledge provided an explanation of the landscape plans including existing, construction and final landscape plans.

Town Attorney Baird referenced the letter of opposition and stated that the committee will need to review and address sections 2.02b, c, f, and i. Chair Schiralli also noted subsections in section 2.04 that will need to be addressed.

Mr. Rutledge continued with his presentation. He noted the driveway is very close to the property line the buffer along that area will be improved. He reviewed the property grade and the proposed hardscape. He noted a request for a flagpole near the dock and putting area along with three (3) chipping mats and small sand traps.

Chair Schiralli referred to the guest house area buffering that appears weak. She suggested adding buffering and/or construction fencing in that area as a condition to approval.

Director Harding noted that the flagpole was not added to the submitted plans and thus was not reviewed. She noted that it is subject to review, permit, and approval for zoning. The flagpole was removed from the application at this time. Director Harding confirmed the flagpole could be reviewed and approved by staff at a later time.

Chair Schiralli referred to the King Tree letter regarding invasive species. Mr. Rutledge stated the Brazilian pepper trees were not addressed as this area was not part of the application, and will be addressed in future applications regarding the driveway.

Attorney Gaylord explained the proposed dock and boatlift, noting that it is located within the middle third of the property line as required. He stated that he spoke with the neighbor who is opposing the development and view obstructions. He provided elevations of the dock showing the height of the dock, lift, and boat, stating that every boat (even flats boat) will exceed 8' above the mean high water line (MHWL). He noted the height measurement from the boat broker.

Member Madden confirmed the boat is longer than 31' (confirmed at 40'). She asked about neighboring hoisted boats. Attorney Gaylord provided photographs and explanations of neighboring boats. Town Attorney Baird noted the standards in section 2.04 that the committee will be addressing regarding the boat.

Chair Schiralli referred to the view that the opposing neighbor will have. She expressed concern regarding the size of the boat and the obstruction of neighboring views. The dock extends 105' into the water and the boat lift is east/west, bow in. She expressed the main concern seems to be the size of the boat and that it will be a large obstacle once hoisted.

Member Madden suggested deferring the application until the owner could be contacted and a compromise may be discussed. Alternate Member Whitney agreed. Chair Schiralli agreed to defer.

Public Comment:

There was no public comment.

Town Attorney Baird recommended approving, denying, or deferring the entire application, and not separating the application. Chair Schiralli asked for a feasible motion. Town Attorney Baird recommended to defer the entire application. Attorney Gaylord stated they will withdraw the boat application and will resubmit.

Conditions to the approval include:

- Defer boat portion of the application.
- Flagpole to be addressed by staff.
- Additional screening fence to the north and additional buffer next to the driveway by the guesthouse.

MOTION: *Madden/Whitney moved to approve the structure application based on criteria in Section 2.02 with conditions as discussed.*

ACTION: *Motion passed 3-0.*

5. 11 Isle Ridge Road

Ex-Parte Communication:

- *Member Madden stated she visited the property with Director Harding, read all materials, and had no ex- parte communication.*
- *Chair Schiralli stated she visited the property, read all materials, and had no ex- parte communication.*
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Attorney Jared Gaylord, representing Edward Hamm. Jr. Trust greeted the Committee and provided background information regarding the property and application. He displayed aerial photographs of the property and neighboring properties along with streetscape photographs. He provided example pictures of the coral stone material and walls that are common in the neighborhood.

The Committee did not have questions regarding the application.

Public Comment:

There was no public comment.

MOTION: *Madden/Whitney moved to approve as presented.*

ACTION: *Motion passed 3-0.*

6. Other Items*

- a. Next Meeting - To be determined.

Director Harding noted that there are no applications at this time.

b. Other Matters*

No other matters were discussed.

Chair Schiralli adjourned the meeting at 10:44 AM.

Respectfully Submitted,

Kimberly Kogos, Town Clerk

**AGENDA
TOWN OF JUPITER ISLAND
IMPACT REVIEW COMMITTEE
September 11, 2025 – 9:00 a.m.**



1. Minutes of the meeting held August 7, 2025

2. 508 South Beach Road, Hobe Sound, FL 33455, 1 Acre Estate Residential District

The applicant is Jupiter Boathouse LLC, and is represented by Jared Gaylord Esq. of Marc R. Gaylord, P.A.

This is a modification of a previously approved IRC.

The modification is to relocate the guesthouse from the Northeast corner of the property's building envelope to the Southeast corner of the building envelope.

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4. Other Items

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b. Other Matters*

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Chair Schiralli adjourned the meeting at 10:44 AM.

Respectfully Submitted,

Kimberly Kogos, Town Clerk



**TOWN OF JUPITER ISLAND
Impact Review Committee
September 11, 2025**

STAFF REPORT

To: Members of the Impact Review Committee
CC: Thomas Baird, Town Attorney; Robert Garlo, Town Manager
From: Catherine Harding, Building Planning and Zoning Director
Ref: 508 South Beach Road

Owners:

Jupiter Boathouse LLC, represented by Jared Gaylord Esq. of Marc R. Gaylord, P.A.

Property Description:

508 South Beach Road, D-25 Island Core Residential District.

Request:

To modify an existing IRC approval dated March 6, 2025, by relocating a previously approved 696 square foot guest house from the northeast corner of the building envelope to the southeast corner of the building envelope.

The relocation will provide easier access to and from the previously approved garage and will aid in ingress and egress to the northern motor court.

Planning and Zoning Analysis:

This request will not add more floor area than the previously approved guest house.

The improvements meet the zoning requirements of the Land Development Regulations as shown in the attached Zoning Analysis.

The applicant is required to secure a revised Board of Health Permit prior to the issuance of a building Permit for the relocated guest house.

Fire Chief, Frank Lasaga; King Tree Service; Stuart Trent, SMRU Director and Director of Engineering all stated that no report is necessary for the guest house relocation as previous comments remain applicable in IRC PZE-0397 approval dated March 6, 2025.

The Construction Site Maintenance and Landscaping Requirements will be enforced by Code Compliance.

IRC Review Standards:

The applicant has replied to the Impact Review Standards set in the Town of Jupiter Island Land Development Regulations, Article X, Division 2. Impact Review, Section 2.02 Standards for Impact Review, attached.

Sec. 2.02. - Standards for impact review.

The decision-maker shall approve an application for impact review approval if the applicant demonstrates that:

- A. The proposed development will not adversely affect the public interest; and
- B. The proposed development is consistent with the surrounding neighborhood character; and
- C. The visibility of the proposed development from public rights-of-way, adjacent properties, the beach, the ocean and the intracoastal waterway is minimized in a manner that is consistent with the surrounding neighborhood character; and
- D. The landscape treatment along the front lot line is comparable to the character and quantity of the streetscape along lot frontage on the same public road for a distance of 1,000 feet in both directions; and
- E. The proposed ingress and egress is functionally adequate with regard to vehicular and pedestrian safety, separation of automotive traffic, traffic flow and control, provision of services, servicing of utilities, refuse collection, and access in case of fire, catastrophe or emergency; and
- F. Proposed screens and buffers are sufficient to ensure compatibility of uses and buildings with adjacent properties; and
- G. The location, design and character of lighting and sound will not adversely affect adjacent properties; and
- H. The proposed stormwater management system is sufficient to prevent runoff from adversely affecting adjacent properties; and
- I. The proposed development is designed and located so that all buildings are screened from view from adjacent properties and public roads such that the visual character of the proposed development from adjacent properties and public roads is predominantly natural, landscape plant material, and land forms.

(Ord. No. 368, § 3, 7-17-18)

EXPLANATION OF REQUEST (describe what you are trying to accomplish):

modify an existing IRC approval to relocate a previously approved guest house from the northeast corner of the property's building envelope to the southeast corner of the building envelope. This relocation will provide easier access to and from the previously approved garage and will aid in ingress and egress to the northern motor court. This request will not result in more floor area than previously approved.

AFFECTED ARTICLE AND SECTION (list the wording of the section as it applies):

Article X, Division II, Section 2.02 - Standards for Impact Review (Development).

HARDSHIP STATEMENT, IF VARIANCE IS REQUESTED:

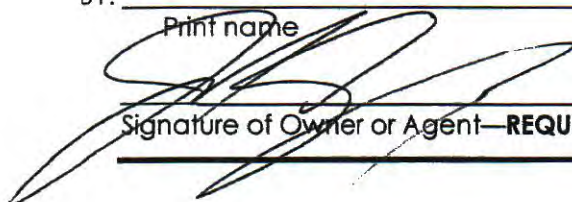
In seeking this variance, I contend that the following hardship would result if the ordinance provisions were strictly enforced and my hardship was denied:

N/A - no variance

Information as contained within this application MUST be provided and accepted by the Town of Jupiter Island in order for this project to be considered. Additional information as required by the administrative official or as attached by the applicant constitutes a part of this application. The administrative official reserves the right to reject any application which is improperly filled out or incomplete.

Jared Gaylord, Esq., attorney-in-fact for Jupiter Boathouse
BY: LLC

Print name



Signature of Owner or Agent—REQUIRED

Note: Public Notification

Notice of public hearing is posted as required by law and mailed to residents within one thousand feet (1320') of the property. The notice explains the specific nature of the request, as well as the time, date and location of the public hearing. Any interested party is invited to attend the meeting and may present testimony or written arguments.

Site Analysis:

Address:	Zoning District:		
Planned Date of Construction:	Summer 2025		
	Permitted	Existing	Proposed
Lot Area:	1 Acre	1.6632 Acres	1.6632 Acres
Floor Area*:	9,531 sq. ft.	Approved: 9,440 sq. ft.	9,440 sq. ft.
Principle Dwelling: (10,000 sf max)	9,531 sq. ft.	N/A	9,440 sq. ft.
Accessory Structure #1: (not to exceed 1/3 square footage of principal dwelling)	Main House: 7,144 SF Permitted: 2,381.33 SF	Guest House Approved 3/6/25: 696 SF	696 Sq. Ft.
Accessory Structure #2: (not to exceed 1/3 square footage of principal dwelling)	Main House: 7,144 SF Permitted: 2,381.33 SF	Gym/Office Approved 3/6/25: 856.5 SF	856.5 Sq. Ft.
FAR (Floor Area Ratio): Floor Area ÷ Lot Area		Approved: 13.06%	13.06%
Lot Width:	140 feet	178.89 feet	178.89 feet
Front Yard Setback:	50 feet	Approved: 50' 3 1/2"	50' 3 1/8"
Rear Yard Setback:	Waterfront Setback Line	Approved: 7/8" away from WFSBL	7/8" away from WFSBL
Side Yard Setback: One-Story: Two-Story:	1 story: 20' 2 story: 25'	Approved: North - 20' 3/8" South - 20' 1/2"	North - 20' 3/8" South - 20' 1/2"
Initial Measuring Point ("IMP"):	6.5' NAVD	Approved BOA 2/27/25: 8.4' NAVD	8.4' NAVD
Fill:	3 ft max	Approved BOA 2/27/25: 5.37 feet	5.37 feet
Roof Height: Roof Pitch: One-Story: Two-Story:	One-story flat: 14' & 2' parapet One-story >3:12: 22'	Approved: One-story flat: 14' & 2' parapet One-story >3:12: 21'	One-story flat: 14' & 2' parapet One-story >3:12: 21'
Exterior Wall Height: One-Story: Two-Story:	14 ft 22 ft	Approved: 14 feet	14 feet
Parking Spaces: (1 per bedroom, 1.5 max)	Min: 5 spaces Max: 7.5	Approved: 6 spaces	6 spaces
Driveway Setback:	8'	Approved: 38' Main Drive 10.5' Service Drive	38' Main Drive 10.5' Service Drive
Landscape Area:	60%	Approved 58.2%	58.2%
Elevation of Finish Floor:		8.4' NAVD	8.4' NAVD
Elevation of LHSM: (Lowest Height Structural Member)	N/A		
FEMA Flood Zone:	Zone "X"; Zone "AE"		Zone "X" & AE (BFE 4')
Gate Setback	Property Line (South of "S" Curve)	Approved 16' 8"	16' 8"

*Total Floor Area to include living space and non-living space.

LIMITED POWER OF ATTORNEY

KNOWN ALL MEN by these presents, that I, **William E. Burford**, as Managing Member of **Burford Holdings, LLC**, a Delaware limited liability company, the undersigned hereby authorize, **JARED GAYLORD, ESQUIRE** to serve as my Attorney-in-Fact, to execute any and all documents necessary and to perform any such acts as he deems necessary for a development application to the Town of Jupiter Island located at the following described property, including but not limited to executing any documentation, signing notices of commencement or termination, signing building permits, transacting business with local governmental agencies, building officials, contractors, design professionals, utilities and other service providers on our behalf:

Legal Description

Lot A, ITALANDCO Plat One, according to the Plat thereof, as recorded in Plat 13, Page 43, of the Public Records of Martin County, Florida.

a/k/a 508 South Beach Road, Hobe Sound, FL 33455

Giving and granting unto, **JARED GAYLORD, ESQUIRE** full power and authority to do and perform every act and thing whatsoever requisite and necessary to be done in and about the property, with regard to the development of the above referenced property to all intents and purposes as I might or could do if personally present, hereby ratifying and confirming all that, **JARED GAYLORD, ESQUIRE** my Attorney-in Fact, shall lawfully do or cause to be done by virtue hereof.

This power of attorney shall not be affected by the passage of time or by any subsequent incapacity or disability of the undersigned and shall have the same effect and enure to my benefit and bind myself, my heirs, successors, and my personal representatives.

Signed in the presence of:

Burford Holdings, LLC
a Delaware limited liability company

Suzanne Tarver
Print Name: Suzanne Tarver

By: William E. Burford
William E. Burford, Managing Member of
Burford Holdings, LLC

Jennifer Morrison
Print Name: Jennifer Morrison

STATE OF Alabama

COUNTY OF Talladega

I, the undersigned authority, hereby certify that the foregoing instrument was acknowledged before me by means of [] physical presence or [X] online notarization, on this ___ day of May 2024, by William E. Burford, as Managing Member of Burford Holdings, LLC, a Delaware limited liability company, on behalf of the company, who is [X] personally known to me or who [] produced _____ as identification, who executed the foregoing instrument and they executed the same freely and voluntarily for the purposes therein expressed.



Jennifer Morrison
NOTARY PUBLIC
Printed Name: Jennifer Morrison

Basic Info

PIN 35-38-42-024-000-00010-8	AIN 57912	Situs Address 508 SOUTH BEACH RD JUPITER ISLAND FL	Website Updated 7/16/24
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General Information

CHANGE MAILING ADDRESS

SIGN UP FOR PROPERTY FRAUD ALERT

Property Owners JUPITER BOATHOUSE LLC	Parcel ID 35-38-42-024-000-00010-8	Use Code/Property Class 0001 - 0001 Vacant Res w/Misc Imp
Mailing Address PO BOX 153 LINCOLN AL 35096	Account Number 57912	Neighborhood 135740 Jupiter Island - Intracoastal Blow Rocks
Tax District JUPITER ISLAND	Property Address 508 SOUTH BEACH RD JUPITER ISLAND FL	Legal Acres 1.64
	Legal Description LOT A ITALANDCO PLAT ONE ACCORDING TO TH...	Ag Use Size (Acre\Sq Ft) N/A

Current Value

Year	Land Value	Improvement Value	Market Value	Value Not Taxed	Assessed Value	Total County Exemptions	County Taxable Value
2024	\$ 7,876,000	\$ 24,100	\$ 7,900,100	\$ 0	\$ 7,900,100	\$ 0	\$ 7,900,100

Market values shown on the website reflect market conditions as of January 1st, the statutory assessment date. We are prohibited by law from relying on sales that occur after the January 1 assessment date. Therefore, market values shown on the website do not reflect today's market conditions, but rather the market conditions last year. In addition, the statutes require the county Property Appraiser to deduct for typical costs of sale (which include expenses such as commissions, title insurance, appraisals, inspection fees, etc.) when arriving at market value for tax purposes. That is why the market value for tax purposes is different from what a property would sell for today.

Current Sale

Sale Date 5/31/24	Grantor (Seller) PORRECO JASON M	Doc Num 3075586
Sale Price \$ 11,150,000	Deed Type Warranty Deed	Book & Page <u>3440 2073</u>

Legal Description

LOT A ITALANDCO PLAT ONE ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 13 PAGE 43 PUBLIC RECORDS MARTIN COUNTY FLORIDA

The legal description is intended for general information only. The Property Appraiser assumes no responsibility for the uses or interpretations of the legal description.



Prepared by/Return to:
 Patricia A. Donovan
 Legacy Title Agency
 250 Tequesta Drive #200
 Tequesta, Florida 33469
 PCN# 35-88-42-024-000-00010.80000

WARRANTY DEED

THIS INDENTURE made this 31 day of May 2024, between Jason M. Porreco, a single man, whose post office address is 4386 Stone Creek Drive, Erie, Pennsylvania 16506, hereinafter called the Grantor, and Jupiter Boathouse, LLC, a Florida limited liability company, whose post office address is Post Office Box 153, Lincoln, Alabama 35096, hereinafter called the Grantee.

WITNESSETH: That said grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00) Dollars, and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to wit:

Lot A, ITALANDCO PLAT ONE, according to the map or plat thereof, as recorded in Plat Book 13, Page(s) 43, of the Public Records of Martin County, Florida.

SUBJECT TO comprehensive land use plans, zoning, restrictions, prohibitions, and other requirements imposed by governmental authority; restrictions and matters appearing on the plat or otherwise common to the subdivision; public utility easements of record; and taxes accruing subsequent to December 31, 2023.

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Said grantor does hereby fully warrant the title to said land and will defend that same against the lawful claims of all persons whomsoever.

Grantor and Grantee are used for singular or plural, as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered
in our presence.

1
[Signature]
WITNESS
Printed Name: Patrick Buceen
Address: 182 Eastwood Dr
North East PA 16428

[Signature]
Jason M. Porreco

2
[Signature]
WITNESS
Printed Name: Brandon G. Kemmer
Address: 5661 Gardner Dr
Erie, PA 16509

COPIES

STATE OF PENNSYLVANIA
COUNTY OF ERIE

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 31st day of May 2024 by Jason M. Porreco who is personally known to me or who has produced Driver's License as identification and who did not take an oath.

Commonwealth of Pennsylvania - Notary Seal
Brandon G Kemmer, Notary Public
Erie County
My commission expires January 14, 2027
Commission number 1287929

X
[Signature]
Notary Public:
Brandon G. Kemmer
Printed Notary Name
My Commission Expires: 14 Jan 2027

(Notary Seal)



**HONORABLE
RUTH PIETRUSZEWSKI, CFC**

MARTIN COUNTY TAX COLLECTOR
3485 SE WILLOUGHBY BLVD
STUART, FL 34994

Property Address 508 SOUTH BEACH RD
Legal Description LOT A ITALANDCO PLAT ONE ACCORDING TO THE PLAT
THEREOF RECORDED IN PLAT BOOK 13 PAGE 43 PUBLIC
RECOR
See Additional Legal on Tax Roll

REAL ESTATE

2024 MARTIN COUNTY
Notice of Ad Valorem Taxes and Non-Ad Valorem Assessments

JUPITER BOATHOUSE LLC
PO BOX 153
LINCOLN, AL 35096

PARCEL ID: 35-38-42-024-000-00010.80000
ALTERNATE ID: 57912
ESCROW CODE:



SCAN TO VIEW YOUR
BILL ONLINE!

If Paid By	Nov 30, 2024	Paid	\$128,501.13	11/26/2024
Please Pay	\$128,501.13			

Ad Valorem Assessments

Taxing Authority	Telephone	Millage	Assessed Value	Exemption	Taxable Value	Tax Amount
JUPITER ISLAND-AD VAL-OP	772-545-0100	2.8086	7,900,100	0	7,900,100	22,188.22
JUPITER ISLAND-EROSION	772-545-0100	0.9593	7,900,100	0	7,900,100	7,578.57
JUPITER ISLAND-DEBT SERVICE	772-545-0100	0.2273	7,900,100	0	7,900,100	1,795.69
SCHOOL GENERAL FUND	772-219-1200 ext 30273	3.0770	7,900,100	0	7,900,100	24,308.81
SCHOOL CAPITAL OUTLAY	772-219-1200 ext 30273	1.5000	7,900,100	0	7,900,100	11,850.15
SCHOOL DISCRETIONARY	772-219-1200 ext 30273	0.7480	7,900,100	0	7,900,100	5,909.27
SCHOOL ADDTNL VOTER MIL	772-219-1200 ext 30273	0.4250	7,900,100	0	7,900,100	3,357.54
CHILDRENS SERVICES ORDNCNS	772-288-5758	0.3618	7,900,100	0	7,900,100	2,858.26
FL-INLAND NAVIGATION DIST	561-627-3386	0.0288	7,900,100	0	7,900,100	227.52
S: FLA WTR MGMT	561-686-8800	0.2301	7,900,100	0	7,900,100	1,817.81
COUNTY GENERAL FUND-OP	772-463-2868	6.5776	7,900,100	0	7,900,100	51,963.70
MILLAGE CODE 4300	TOTAL MILLAGE	16.9435			TOTAL AD VALOREM TAXES	\$133,855.34

Exemptions

Non Ad Valorem Assessments

Levying Authority	Telephone	Rate (\$ per unit)	Tax Amount
TOTAL NON AD VALOREM TAXES			\$0.00
TOTAL			\$133,855.34

*SEE REVERSE SIDE FOR INSTRUCTIONS PLEASE DETACH AND RETURN BOTTOM PORTION WITH YOUR PAYMENT
OR PAY CURRENT TAXES ONLINE AT [HTTP://MARTINTAXCOLLECTOR.COM](http://MARTINTAXCOLLECTOR.COM)

2024

Make checks payable to: Ruth Pietruszewski, Tax Collector

Mail payments to: 3485 SE Willoughby Blvd Stuart, FL 34994 (772) 288-5800

CANADIAN CHECKS MUST BE PAYABLE IN U.S. FUNDS & DRAWN ON A U.S. BANK **DO NOT SEND CASH**

PARCEL ID: 35-38-42-024-000-00010.80000

ALTERNATE ID: 57912

ESCROW CODE:

JUPITER BOATHOUSE LLC
PO BOX 153
LINCOLN, AL 35096

Please check one box. Current taxes are processed by the month they are postmarked. Delinquent taxes are processed by the date they are received.

Nov 30, 2024 \$128,501.13

Paid By Jupiter Boathouse LLC

Paid \$128,501.13 11/26/2024

TAXES BECOME DELINQUENT APRIL 1 - ADD 3% PLUS FEES

Notice: If taxes on your property are not paid in full, a tax certificate will be sold for the delinquent taxes.



* 1 + 5 7 9 1 2 + 2 0 2 4 *

LAW OFFICES OF
MARC R. GAYLORD, P.A.

12000 S.E. OLD DIXIE HIGHWAY
HOBE SOUND, FL 33455
TEL: (772) 545-7740
FAX: (772) 545-7782

MARC R. GAYLORD, ESQ
JARED E. GAYLORD, ESQ.
FORD T. DWYER, ESQ.

July 30, 2025

VIA HAND DELIVERY

Catherine Harding
Town of Jupiter Island
P.O. Box 7
Hobe Sound, FL 33475

RE: Jupiter Boathouse, LLC a Florida limited liability company
Impact Review Committee Development Revision to Relocate Guest House - Letter
Property Address: 508 South Beach Road, Hobe Sound, Florida 33455

Dear Mrs. Harding:

This office represents the interests of Jupiter Boathouse, LLC, (the "Owner") as it pertains to Owner's application to the Impact Review Committee for redesigning a previously approved new residence at 508 South Beach Road.

The Owner purchased the property in May 2024. The subject property is 1.66132 acres or 72,367 square feet. The property is located in the B-40 1-Acre Residential District. The subject property is currently under construction based on an Impact Review Committee approval on March 6, 2025. According to historic aerial photography, prior to the approved residence, no building has ever been constructed on the property.

The Impact Review Committee approved the Owner's request to construct a new, one-story main residence, complete with an attached garage, pool, spa, pool patio, mechanical equipment storage areas, new gate, and associated hardscape and landscape additions on the property. Additionally, the approval included a detached one-story guest house, detached one-story home office and gym. The approved floor area for the residence was 9,440 square feet. The permitted floor area for this property is 9,531 square feet.

After receiving Town approval and building permits, my client began constructing their home in May 2025. Soon after construction, the Owner realized that the location of the detached guest house about thirty feet (30') east of the garage may cause a tight turning radius for some vehicles. The Owner, after consulting with the project team, decided to relocate the detached guest house on the southeastern portion of the property's building envelope. The size and footprint of the guest house – 696 square feet – will remain the same as was previously approved in March 2025.

IRC Letter

Relocation of Previously Approved Guest House
508 South Beach Road

The existing landscaping is comparable to other properties in this neighborhood of the B-40 Residential District, with the exception of the southern buffer. The 508 South Beach and 512 South Beach properties were previously owned by the same owner and, consequently, lacked a landscape buffer between the lots. This project will create a new southern landscape buffer to limit views of the property from the southern adjacent neighbor. The northern landscape buffer will be similarly enhanced. The streetscape vegetation will be substantially enhanced to prevent view of the proposed one-story residence from South Beach Road. The streetscape landscaping will also utilize a slight berm to provide additional elevation to proposed vegetation. The streetscape landscaping, coupled with the one-story structures and proposed indirect access to the property, will prevent view of the new development from the public right-of-way.

Landscape buffers will be comprised of a mix of various species, including coconut palms, fishtail palms, areca palms, Senegal date palms, Bismark palms, sabal palms, clusia hedges, 16' tall rusty fig trees, 10' tall ligustrum, and various mid-story and groundcover vegetation. The proposed landscaped open space for the subject property is 58.2% or 42,115 square feet, greater than the required 50% of lot area.¹

Chad Gruber, the civil engineer for the project, plans substantial stormwater retention onsite to ensure no runoff occurs on adjacent properties or the nearby public right-of-way. The property's four exfiltration trenches and drainage system will retain 24,372 cubic feet of runoff. Exfiltration trenches, coupled with swales and site recontouring, will prevent the property's stormwater from negatively impacting adjacent properties or the South Beach Road right-of-way.

At this time, the Owner requests the Impact Review Committee approves my client request to develop this vacant parcel. My client intends that this residence is constructed in a manner consistent with and complimentary to the existing infrastructure of the Town, the surrounding properties, and cohesive with the 500 Block community. My client will likely begin construction of the relocated guest house shortly after approval, during the 2025 summer construction season. If you have any questions or concerns regarding this matter, or any of the attachments in this application packet, please do not hesitate contacting me.

Respectfully submitted,



Jared Gaylord, Esq.

/JEG

Encl.

¹ The minimum required landscape open space for this property is 36,183.5 square feet.

LAW OFFICES OF
MARC R. GAYLORD, P.A.

12000 S.E. OLD DIXIE HIGHWAY
HOBE SOUND, FL 33455
TEL: (772) 545-7740
FAX: (772) 545-7782

MARC R. GAYLORD, ESQ
JARED E. GAYLORD, ESQ.
FORD T. DWYER, ESQ.

July 30, 2025

VIA HAND DELIVERY

Catherine Harding
Town of Jupiter Island
P.O. Box 7
Hobe Sound, FL 33475

RE: Jupiter Boathouse, LLC a Florida limited liability company
Impact Review Committee Development Revision to Relocate Guest House - Standards
Property Address: 508 South Beach Road, Hobe Sound, Florida 33455

Dear Mrs. Harding:

This office represents the interests of Jupiter Boathouse, LLC, (the "Owner") as it pertains to its request to relocate a previously approved one-story guest house on the above referenced property within the limits of the Town of Jupiter Island. The 696 square foot guest house was previously approved by the Impact Review Committee on March 6, 2025. The exact same sized guest house will be moved from the northeast corner of the building envelope to the southeast corner of the building envelope. It is intended that the construction project will begin as soon as possible in the 2025 building season.

As the enclosed application packet, including site plan, architectural plans, landscape plans and civil plans will demonstrate, my client's request meets the Standards for Impact Review as set forth in Article X, Division II, Section 2.02 in that:

- A. The proposed development will not adversely affect the public interest.

The development project, including a 696 square foot guest house, was previously approved by the Impact Review Committee in March 2025. The only differences between the previously approved plan and the proposed plan are (i) the shift of the guest house from the northeast portion of the property to the southeast portion of the property; and (ii) the relocation of some of the exfiltration trenches and the septic system. The proposed floor area of 9,440 square feet will be exactly the same as what was previously approved. Similarly,

the proposed landscape open space of 58.2% will be exactly the same as what was previously approved.

The existing landscape buffers along South Beach Road and the northern neighbor are dense, but will be greatly enhanced in a manner that is consistent with the previously approved landscape plan. There is presently no landscape buffer along the southern boundary because 508 South Beach and 512 South Beach were previously jointly owned. The proposed development project will create a new landscape buffer along this boundary to prevent view of the relocated guest house from the 512 South Beach property. The proposed development will not adversely affect the public interest but will be an *improvement* to the existing property, characteristic of this area of Jupiter Island.

- B. The proposed development is consistent with the surrounding neighborhood character.

The proposed one-story residence will be stucco on concrete block and will be consistent with the surrounding neighborhood. The proposed residence will have a lower elevation than the two adjacent properties, which are both two-story residences.¹ The proposed residence will increase the local property values and will not be visible from neighboring properties or South Beach Road. The relocation of the guest house will not cause a departure of the surrounding neighborhood character. The proposed development, including the requested height of the structure and guest house, will be consistent with the surrounding neighborhood character.

- C. The visibility of the proposed development from public rights-of-way, adjacent properties, the beach, the ocean and the Intracoastal Waterway is minimized in a manner that is consistent with the surrounding neighborhood character.

The Property is not located along the Atlantic Ocean and will not be visible from the beach or ocean.

The relocation of the guest house from the northeast corner of the property to the southeast corner of the property will not result in a substantial departure from the previously approved plan.

As shown in the landscape plan, the subject property will be considerably buffered from South Beach Road with the addition of the proposed plantings. Indirect access, the setback of the proposed residence, and a berm located along the right-of-way will further impede views of the one-story residence from the roadway. New vegetation buffers along the southern property line will more than adequately block view of the relocated one-story guest house.

¹ 506 South Beach Road has a maximum elevation of 37.49' NAVD and 508 South Beach Road has a maximum elevation of 37.5' NAVD. The proposed elevation of the one-story residence will be 29.15' NAVD.

- D. The landscape treatment along the front lot line is comparable to the character and quantity of the streetscape along lot frontage on the same public road for a distance of one thousand (1,000) feet in both directions.

The existing landscape buffer along the front lot line will be substantially enhanced to minimize the view of the residence from the public road and consistent with the character and quantity of the surrounding streetscape. A berm that crests at approximately 7' NAVD will help give the streetscape additional height, while also shielding passing motorists and pedestrians from the one-story structure. The redesign of the driveway and the installation of landscaping will create a front lot line comparable to or better than other properties on South Beach Road. The proposed relocation of the guest house will not result in any departure of the streetscape character from the surrounding community.

- E. The proposed ingress and egress is functionally adequate with regard to vehicular and pedestrian safety, separation of automotive traffic, traffic flow and control, provision of services, servicing utilities, refuse collection, and access in case of fire, catastrophe or emergency.

This development was previously reviewed by Town Staff during the original approval and the pre-application process. Any comments provided by Public Safety were addressed in this application. The relocation of the guest house was primarily intended to improve access to the garage. The proposed access point and motor court have the requisite width and turning radius for emergency vehicles in the event of a fire or other catastrophe. The proposed development will comply with all of the Town's public safety, required servicing, and fire and emergency requirements and will be easily accessible for emergency and other service vehicles. The proposed parking area will provide sufficient ingress and egress to the property.

- F. Proposed screens and buffers are sufficient to ensure compatibility of uses and buildings with adjacent properties.

The existing vegetation, combined with the proposed installation of new landscaping, will be sufficient to ensure that the proposed one-story residence and accessory structures are properly shielded from the view of adjacent properties and South Beach Road. The proposed development will conform to the Land Development Regulations and will complement the character of other properties located within the B-40 Residential District. These buffers will easily screen the one-story residence from adjacent properties. Relocating the previously approved guest house will not change this.

- G. The location, design and character of outdoor lighting and sound will not adversely affect adjacent properties.

All air conditioning units and mechanical equipment will be placed in mechanical equipment enclosures, surrounding by walls, and located in the

building envelope. The noise produced by mechanical equipment will be contained in this enclosed space and will not adversely affect adjacent properties.

My client is not requesting exterior lights or outdoor speakers at this time.

- H. The proposed stormwater management system is sufficient to prevent runoff from adversely affecting adjacent properties.


As set forth in in the Concurrency Management Calculations provided by Gruber Consulting Engineers, Inc., the volume of runoff to be retained in the property's four exfiltration trenches is estimated at 24,372 cubic feet. These exfiltration trenches, combined with swales and site contouring, will adequately prevent runoff onto adjacent properties and South Beach Road.

- I. The proposed development is designed and located so that all buildings are screened from view from adjacent properties and public roads such that the visual character of the proposed development from adjacent properties and public roads is predominantly natural, landscape plant material and land forms.

The subject property is located on the west side of South Beach Road in the 500 Block. Indirect access will be utilized to prevent views from the curb cut of the new one-story residence. The one-story residence and accessory structures will be easily blocked with proposed landscape buffers. The existing landscape buffer will be enhanced to minimize the view of the proposed development from the public road. The berm along South Beach Road will provide additional elevation to the streetscape vegetation – further ensuring the visual impact of the proposed residence will be minimal, if any. Additional vegetation will be added to the northern and southern lot lines in order to further shield the proposed development from the view of adjacent properties. The proposed landscape plan will result in views that are predominantly natural, landscape materials. Modifying the location of the guest house will not result in a departure from this vegetative vista. Views of manmade structures will remain minimal and will likely be less than those of other properties in this neighborhood.

It is my client's intention and desire that all construction will be completed in a manner that is consistent with and complimentary to the existing infrastructure of the Town, the surrounding neighborhood, and cohesive with the characteristics of the area in which the proposed redevelopment will occur. If you have any questions or concerns with regard to any of the foregoing, please do not hesitate to contact the undersigned.

Sincerely yours,



Jared Gaylord, Esq

/JEG

Encl.



GRUBER CONSULTING ENGINEERS

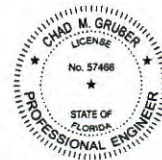
**Proposed Residence
508 South Beach Road
Jupiter Island, Florida**

Concurrency Management Calculations

July, 2024

Revised September, 2024

Revised June, 2025



Digitally signed by
Chad M Gruber
Date: 2025.06.27
15:11:28 -04'00'

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code.

Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Chad M. Gruber, P.E.
Florida License No. 57466

INTRODUCTION

The proposed project is located at 508 South Beach Rd. in the Town of Jupiter Island. The property encompasses approximately 1.655 acres between South Beach Rd. and the Intracoastal Waterway. The project involves the construction of a new residence & guest suite with associated hardscape.

The attached calculations have been prepared to address the sections of the Town of Jupiter Island's Land Development Regulations (LDR) relating to concurrency management. These sections appear in the LDR under Article XI, Section 1.01, items B-E. The calculations are supplemented with the conceptual site drainage & septic system plan prepared by this office. The plan demonstrates how sewage disposal and site grading will be accomplished for the proposed project.

A) SEWAGE DISPOSAL CALCULATIONS (per LDR Article XI, Section 1.01(B))

The scope of the proposed project includes the construction of a new residence. Calculation of estimated daily sewage flows for residential structures served by an onsite sewage treatment and disposal system are regulated by Chapter 381 of the Florida Statutes and Chapter 62-6 of the Florida Administrative Code (FAC). The following calculations have been derived from FAC Chapter 62-6.008.

1. Proposed Main House/Gym/Office

a) Septic System Design Information

Proposed main house air-conditioned space:	7,144 sq.ft.
Number of bedrooms:	4 bedrooms
Proposed gym/office air-conditioned space:	711 sq.ft.
Number of bedrooms:	0 bedrooms
Total air-conditioned space:	7,855 sq.ft.
Total number of bedrooms:	4 bedrooms
Type of drainfield configuration:	Trench
Estimated soil loading rate:	0.8 gpd/sq.ft.

b) Estimated Daily Flow Calculations

The first 3,300 sq.ft. of air-conditioned space is equivalent to 4 bedrooms with each bedroom generating an estimated 100 gpd. The remaining 4,555 sq.ft. of air-conditioned space is converted to equivalent bedrooms using the following formula:

1 equiv. bedroom = 750 sq.ft. of remaining air-conditioned space
 $4,555 \text{ sq.ft.} / 750 \text{ sq.ft./equiv. bedroom} = 6.07 \text{ equiv. bedrooms}$
Use 7 equivalent bedrooms at 60 gpd/bedroom = 420 gpd

Estimated daily flow = 400 gpd + 420 gpd = 820 gpd

c) Proposed Septic System Specifications

Minimum Main Trench Septic System Specifications	
Required Drainfield Area:	1,025 sq.ft.
Required Unobstructed Area:	1,538 sq.ft.
Min. Septic Tank Size:	1,900 gal.
Min. Pump tank Size:	750 gal.

2. Proposed Guest House

a) Septic System Design Information

Proposed guest house air-conditioned space:	696 sq.ft.
Number of bedrooms:	1 bedrooms
Type of drainfield configuration:	Trench
Estimated soil loading rate:	0.8 gpd/sq.ft.

b) Estimated Daily Flow Calculations

0-750 sq.ft. 1 bedroom equivalent 100gpd

System size shall be based on a minimum of 200 gpd

Estimated daily flow = 200 gpd

c) Proposed Septic System Specifications

Minimum Trench Septic System Specifications

Required Drainfield Area: 250 sq.ft.

Required Unobstructed Area: 375 sq.ft.

Min. Septic Tank Size: 900 gal.

B) STORMWATER MANAGEMENT (per LDR Article XI, Section 1.01(C))

Per Article XI, Section 1.01(C) of the Town of Jupiter Island Land Development Regulations (LDR), the level of service standard for drainage is the detention of the 5 year – 1 day storm event. The following stormwater management calculations are derived from the South Florida Water Management District's (SFWMD) Environmental Resource Permit Information Manual Volume IV. The calculation of stormwater runoff is determined using a method developed by the United States Department of Agriculture (USDA) Soil Conservation Service (SCS). This method considers the soil type and storage, depth to water table and accumulated rainfall to determine the accumulated direct runoff.

1. Site Plan Characteristics

Total site area	=	72,107 sq.ft. (1.655 ac.)
Impervious plan area	=	30,169 sq.ft.
Remaining pervious surface area	=	41,938 sq.ft.

2. Rainfall and Soil Storage Data

Accumulated rainfall (P):	7.00 in. (see rainfall map, Appendix 1)
Soil type and condition:	coastal, sandy, compacted
Potential maximum retention (S_{max}):	8.18 in.

3. Estimated Runoff Volume

Determine the weighted soil storage amount by multiplying the potential maximum retention (S_{max}) by the percent of pervious surface area proposed:

$$S_{weighted} = \frac{(8.18in. \times 41,938 sq. ft.)}{72,107 sq. ft.} = 4.76 in.$$

The amount of accumulated direct runoff in inches can be determined from the following formula:

$$Q = \frac{(P - 0.2S_{weighted})^2}{(P + 0.8S_{weighted})} = \frac{(7.00in. - 0.2 \times 4.76in.)^2}{(7.00in. + 0.8 \times 4.76in.)} = 3.38 in.$$

Vol. of runoff to be retained = 3.38 in. x 72,107 sq.ft. x 1ft./12in. = 20,310 cu.ft.

Vol. of runoff to be retained in exfiltration trenches
(including 20% safety factor) = 24,372 cu.ft.

This volume will be retained onsite in the proposed exfiltration trenches. The existing site grading will be modified as needed to prevent surfacewater runoff from entering the surrounding properties.

4. Proposed Exfiltration Trench Sizing

The volume of stormwater runoff required to be retained in the proposed exfiltration trenches is 24,372 cu.ft. Per SFWMD Volume IV, Permit Information Manual, Figure F-4, the formula for determining the required length of exfiltration trench is given as:

$$L = \frac{V}{K(H_2W + 2H_2D_u - D_u^2 + 2H_2D_s) + (1.39 \times 10^{-4})WD_u}$$

Exfiltration Trench #1

L =	Total Length of Trench Provided	=	87	ft
W =	Trench Width	=	16	ft
K =	Hydraulic Conductivity	=	0.000102	cfs/sq.ft./ft. of head
H ₂ =	Depth to Water Table	=	3.50	ft
D _U =	Un-Saturated Trench Depth	=	3.00	ft
D _S =	Saturated Trench Depth	=	0.00	ft

V = Volume Treated = 4,297 cu.ft.

Exfiltration Trench #2

L =	Total Length of Trench Provided	=	72	ft
W =	Trench Width	=	20	ft
K =	Hydraulic Conductivity	=	0.000102	cfs/sq.ft./ft. of head
H ₂ =	Depth to Water Table	=	3.50	ft
D _U =	Un-Saturated Trench Depth	=	3.00	ft
D _S =	Saturated Trench Depth	=	0.00	ft

V = Volume Treated = 4,366 cu.ft.

Exfiltration Trench #3

L =	Total Length of Trench Provided	=	64	ft
W =	Trench Width	=	12	ft
K =	Hydraulic Conductivity	=	0.000102	cfs/sq.ft./ft. of head
H ₂ =	Depth to Water Table	=	3.50	ft
D _U =	Un-Saturated Trench Depth	=	3.00	ft
D _S =	Saturated Trench Depth	=	0.00	ft

V = Volume Treated = 2,442 cu.ft.

Exfiltration Trench #4

L =	Total Length of Trench Provided	=	133	ft
W =	Trench Width	=	20	ft
K =	Hydraulic Conductivity	=	0.000102	cfs/sq.ft./ft. of head
H ₂ =	Depth to Water Table	=	2.30	ft
D _U =	Un-Saturated Trench Depth	=	1.50	ft
D _S =	Saturated Trench Depth	=	0.50	ft
V =	Volume Treated	=	4,621	cu.ft.

Total Volume Retained in Proposed Exfiltration Trenches = 15,726 cu.ft.

C) WATER USE DEMAND ESTIMATES (per LDR Article XI, Section 1.01(D))

The typical residence in the Town of Jupiter Island will consume water for both irrigation and domestic use. The majority of the water consumed on a residential site will be used for irrigation. Irrigation demands can be reduced through the installation of native, drought tolerant plants and water saving irrigation technology.

1. Irrigation Use

The referenced property has the following characteristics:

Total site area	=	72,107 sq.ft. (1.655 ac.)
Drainage basin area	=	72,107 sq.ft. (1.655 ac.)
Impervious plan area	=	30,169 sq.ft.
Remaining irrigated pervious surface area	=	41,938 sq.ft. (0.963 ac.)

The calculation for estimating irrigation water use has been provided by South Martin Regional Utility. The estimate assumes a yearly irrigation requirement of 32 in./yr.

$0.963 \text{ ac} \times 32 \text{ in./year} \times 1 \text{ year}/365 \text{ days} = 0.0844 \text{ ac-in./day}$ which can be converted to gallons per day by multiplying the result by 27,152 gal./ac-in. = 2,292 gpd (69,677)

Total estimated average day irrigation use = 2,292 gal.

One ERC is equal to 350 gpd of irrigation water use.

Irrigation Project ERCs = $2,292 \text{ gpd} \times 1 \text{ ERC}/350 \text{ gpd} = 6.55 \text{ ERCs}$

2. Domestic Use

South Martin Regional Utility estimates domestic residential water use using methods established in Chapter 64E-6 of the Florida Administrative Code. This is the same chapter used for the sizing of the proposed septic system in Section A of this report. The total estimated daily domestic water use calculated above was 1,020 gpd.

One ERC is equal to 250 gpd of domestic water use.

Domestic Project ERCs = $1,020 \text{ gpd} \times 1 \text{ ERC}/250 \text{ gpd} = 4.08 \text{ ERCs}$

3. Total Daily Water Use Demand Estimate and ERC Calculation

The estimated total irrigation and domestic water use for this project is 3,098 gpd.

Total Project ERCs = $6.55 \text{ ERCs} + 4.08 \text{ ERCs} = 10.63 \text{ ERCs}$

D) SOLID WASTE DISPOSAL ESTIMATES (per LDR Article XI, Section 1.01(E))

The 2006 Solid Waste Annual Report Data released by the Florida Department of Environmental Protection indicates that Martin County generated 10.77 lbs. of solid waste per person per day (landfill and recycled material combined).

LDR Article XI, Section 1.01(E) provides for a level of service of 9 lbs. of solid waste per person per day.

Avg. number of residents and guests expected: 6 people

Solid waste generated per LDR = 6 people x 9 lbs./person/day = 54 lbs./day

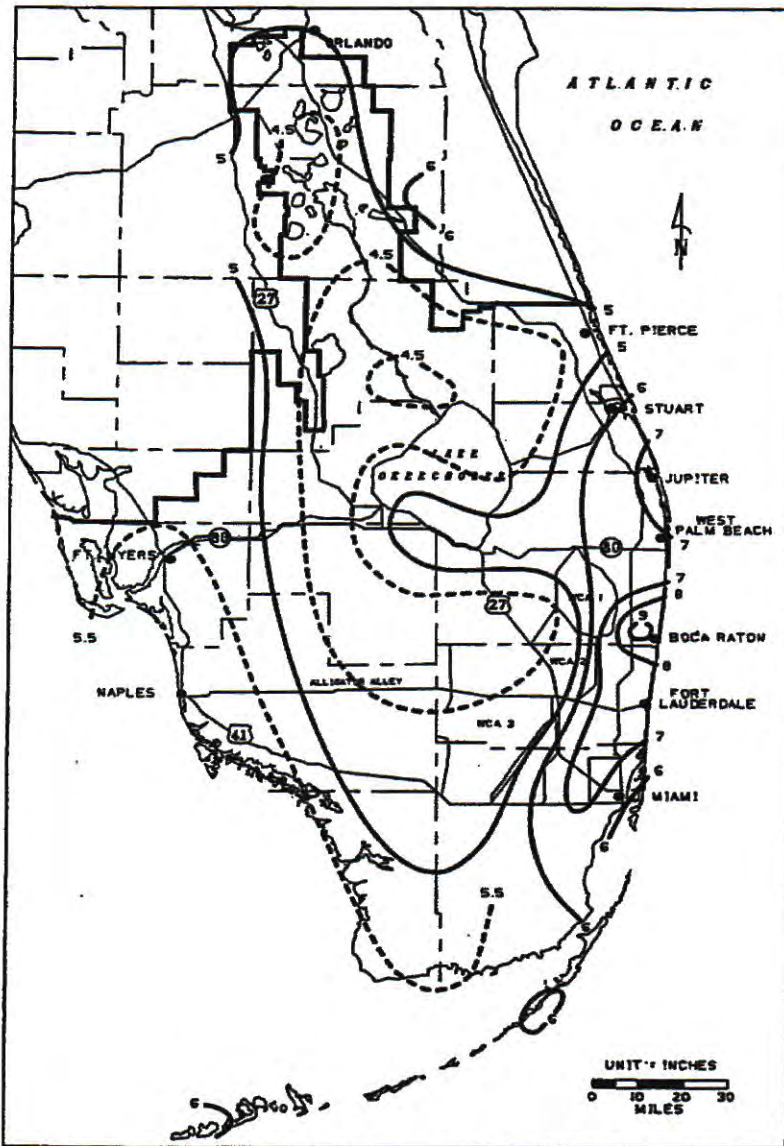


FIGURE C-3. 1-DAY RAINFALL: 5-YEAR RETURN PERIOD

C-5

Appendix I: from South Florida Water Management District (SFWMD) Environmental Resource Permit Information Manual Volume IV

PZE-0414

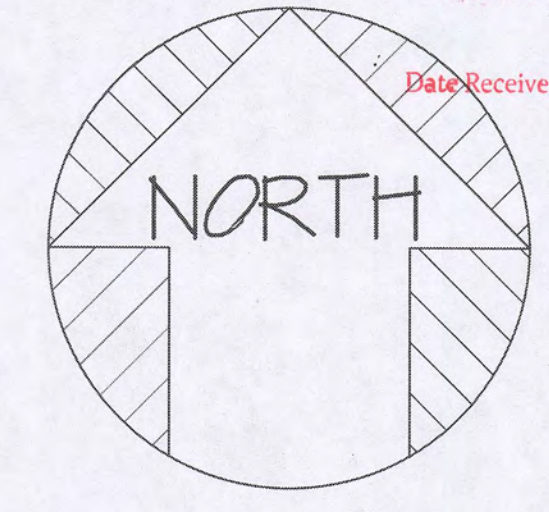
TOWN OF JUPITER ISLAND BUILDING DEPARTMENT

Date Received: 8/1/25

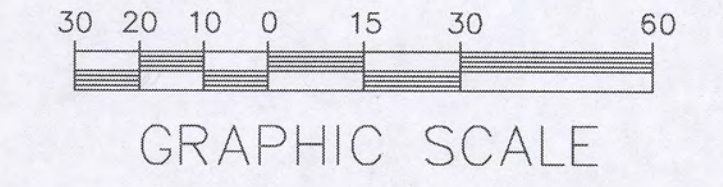
REVISIONS	BY
01/21/21 * UPDATE SURVEY * FB: SKETCH WO # 816589	PMZ
04/01/24 * TOPO SURVEY * FB: DC WO # 816592	RLV III
05/20/24 * TREE SURVEY * FB: DC WO # 819736	RLV III
07/17/24 * LOCATE SAFE UPLAND & WETLAND LINES FB: DC * WO # 819982	PMZ
09/11/24 * PREPARE X-Y SURVEY * FB: DC WO # 820141	PMZ
09/20/24 * ADD PROPOSED SITE PLAN WO # 820187	PMZ
07/03/25 * FORMBOARD TIE-IN * FB: DC WO # 821082	PMZ
07/03/25 * REVISE PROPOSED SITE PLAN WO # 821	PMZ

* WETLAND JURISDICTION LINE *			* SAFE UPLAND LINE *		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
W1	S35°26'04"W	2.96'	S1	S07°49'51"W	30.24'
W2	S5°03'43"W	8.31'	S2	S31°45'54"W	30.42'
W3	S15°58'08"W	9.92'	S3	S05°28'50"W	48.10'
W4	S43°07'43"E	17.69'	S4	S32°38'43"W	50.48'
W5	S38°28'32"W	31.85'	S5	S21°27'20"W	35.81'
W6	S03°04'03"W	33.86'			
W7	S22°54'53"W	36.09'			
W8	S29°28'04"W	29.15'			
W9	S20°15'22"W	23.64'			
W10	S40°08'11"W	13.86'			

NOTE: WETLAND JURISDICTION LINE AND SAFE UPLAND LINE WERE FLAGGED BY SIMINGER & STUBBS ENGINEERING, INC. AND LOCATED ON JULY 10, 2024.



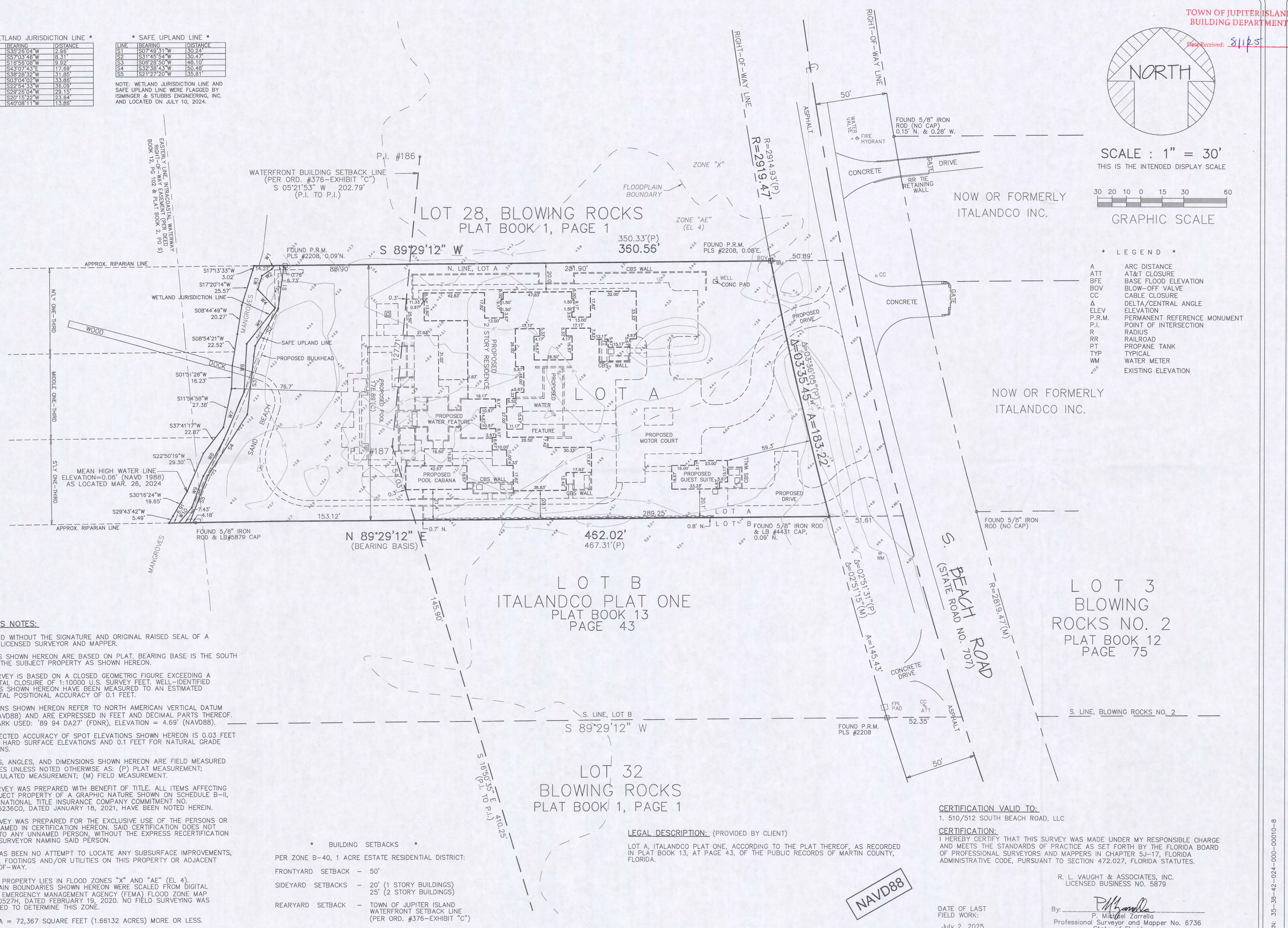
SCALE : 1" = 30'
THIS IS THE INTENDED DISPLAY SCALE



* LEGEND *

- A ARC DISTANCE
- ATT AT&T CLOSURE
- BFE BASE FLOOD ELEVATION
- BOV BLOW-OFF VALVE
- CC CABLE CLOSURE
- Δ DELTA/CENTRAL ANGLE
- ELEV ELEVATION
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.I. POINT OF INTERSECTION
- R RADIUS
- RR RAILROAD
- PT PROPANE TANK
- TYP TYPICAL
- WM WATER METER
- EXISTING ELEVATION

JUPITER SOUND
JENSEN BEACH TO JUPITER
INLET AQUATIC PRESERVE



- SURVEYOR'S NOTES:**
- NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - BEARINGS SHOWN HEREON ARE BASED ON PLAT BEARING BASE IS THE SOUTH LINE OF THE SUBJECT PROPERTY AS SHOWN HEREON.
 - THIS SURVEY IS BASED ON A CLOSED GEOMETRIC FIGURE EXCEEDING A HORIZONTAL CLOSURE OF 1:10000 U.S. SURVEY FEET. WELL-IDENTIFIED FEATURES SHOWN HEREON HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.1 FEET.
 - ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) AND ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BENCHMARK USED: '89 94 DA27' (FONR), ELEVATION = 4.69' (NAVD88).
 - THE EXPECTED ACCURACY OF SPOT ELEVATIONS SHOWN HEREON IS 0.03 FEET FOR THE HARD SURFACE ELEVATIONS AND 0.1 FEET FOR NATURAL GRADE ELEVATIONS.
 - BEARINGS, ANGLES, AND DIMENSIONS SHOWN HEREON ARE FIELD MEASURED QUANTITIES UNLESS NOTED OTHERWISE AS: (P) PLAT MEASUREMENT; (C) CALCULATED MEASUREMENT; (M) FIELD MEASUREMENT.
 - THIS SURVEY WAS PREPARED WITH BENEFIT OF TITLE. ALL ITEMS AFFECTING THE SUBJECT PROPERTY OF A GRAPHIC NATURE SHOWN ON SCHEDULE B-II, FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. CL21000523660, DATED JANUARY 18, 2021, HAVE BEEN NOTED HEREIN.
 - THE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY NAMED IN CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON, WITHOUT THE EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.
 - THERE HAS BEEN NO ATTEMPT TO LOCATE ANY SUBSURFACE IMPROVEMENTS, FOOTERS, FOOTINGS AND/OR UTILITIES ON THIS PROPERTY OR ADJACENT RIGHTS-OF-WAY.
 - SUBJECT PROPERTY LIES IN FLOOD ZONES "X" AND "AE" (EL 4). FLOODPLAIN BOUNDARIES SHOWN HEREON WERE SCALED FROM DIGITAL FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE MAP #12085C0527H, DATED FEBRUARY 19, 2020. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
 - LOT AREA = 72,367 SQUARE FEET (1.66132 ACRES) MORE OR LESS.

- BUILDING SETBACKS**
- PER ZONE B-40, 1 ACRE ESTATE RESIDENTIAL DISTRICT:
- FRONTYARD SETBACK - 50'
 - SIDEYARD SETBACKS - 20' (1 STORY BUILDINGS)
25' (2 STORY BUILDINGS)
 - REARYARD SETBACK - TOWN OF JUPITER ISLAND WATERFRONT SETBACK LINE (PER ORD. #376-EXHIBIT "C")

LEGAL DESCRIPTION: (PROVIDED BY CLIENT)
LOT A, ITALANDCO PLAT ONE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 13, AT PAGE 43, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

CERTIFICATION VALID TO:
1. 510/512 SOUTH BEACH ROAD, LLC

CERTIFICATION:
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

R. L. VAUGHT & ASSOCIATES, INC.
LICENSED BUSINESS NO. 5879

By: *[Signature]*
P. Mikael Zorrello
Professional Surveyor and Mapper No. 6736
State of Florida

DATE OF LAST FIELD WORK:
July 2, 2025

NAVD88

BOUNDARY & TOPOGRAPHIC SURVEY
508 S. BEACH ROAD
HOBE SOUND, FLORIDA 33455
TOWN OF JUPITER ISLAND

R.L. VAUGHT & ASSOCIATES, INC.
SURVEYORS, MAPPERS & PLANNERS
LICENSED SURVEY BUSINESS NUMBER 5879
9075 SE BRIDGE ROAD; HOBE SOUND 33455
MAIL: P.O. BOX 160 HOBE SOUND, FL 33475
PHONE: 772-546-8086 FAX: 772-546-8087
EMAIL: vaught@bellsouth.net

DRAWN	
RLV	RLV
CHECKED	RLV, SR.
SCALE	AS SHOWN
DATE	AUG. 28, 2015
FIELD BOOK	DC/LUPPI
ORDER NO.	812455
SHEET OF SHEETS	1 1
FILE NUMBER	PB12455-21J

PCN: 35-38-42-024-000-00010-8

MAXIMUM FLOOR AREA ALLOWED	
LOT AREA	72,367 SQ.FT.
ARTICLE III, DIVISION 3 - ZONING B-40 DISTRICT PER SECTION 3.02(F):	
A. 17.25% OF 1 ACRE (43,560 SQ.FT.)	7514 SQ.FT.
B. 7% OF (72,367 = 43,560 SQ.FT.)	2,017 SQ.FT.
MAXIMUM FLOOR AREA ALLOWED	9,531 SQ.FT.

LEGAL DESCRIPTION:
LOT A, ITALANDCO PLAT ONE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 13, AT PAGE 43, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

MEAN HIGH WATER ELEVATION 0.06' NAVD (1988)

- ADDITIONAL NOTES**
- ALL MECHANICAL EQUIPMENT SHALL CONFORM WITH ARTICLE IV, DIVISION 3, SECTION 3.18 OF L.D.R.
 - ALL PROPOSED LIGHTING SHALL COMPLY WITH THE TOWN'S LDR'S AND EXTERIOR LIGHTING SELF-CERTIFICATION CRITERIA.
 - ALL COMMERCIAL VEHICLES THAT WILL BE WORKING IN RELATION TO THE PROJECT MUST HAVE THE NAME OF THE COMPANY ON ITS SIDES IN ACCORDANCE WITH ORDINANCE NO 396.

DISTRICT B-40 LOT ZONING REQUIRMENTS			
ZONING DISTRICT	B-40 1 ACRE ESTATE RESIDENTIAL DISTRICT	EXISTING	PROPOSED
REQUIRED/PERMITTED			
LOT AREA:	1 ACRE	1,6632 ACRES	1,6632 ACRES
LOT WIDTH	140 FT	178.89 FT	178.89 FT
FLOOR AREA/LIVING SPACE:	9,531 SF	N/A	9,440 SF
FRONT YARD SETBACK:	50 FT	N/A	59'-3 1/2'
REAR YARD SETBACK:	REAR YARD PER ORD 376-EXHIBIT 'C'	N/A	7/8' AWAY FROM REQUIRED W/SL
SIDE YARD SETBACK:	ONE STORY: 20 FT		NORTH: 20'- 3/2' SOUTH: 20'- 1/2'
	TWO STORY: 25FT		NORTH: N/A SOUTH: N/A
INITIAL MEASURING POINT (IMP):	6.5' NAVD		8.4' NAVD
FILL:	3 FT		5.37 FT
ROOF HEIGHT:			
ONE-STOREY FLAT:	14 FT PLUS 2 FT PARAPET		14 FT PLUS 2 FT PARAPET
ONE-STOREY-SLOPED:	22 FT		21 FT
TWO-STOREY-SLOPED:	30 FT		N/A
EXTERIOR WALL HEIGHT:			
ONE-STOREY:	14 FT		14 FT
TWO-STOREY:	22 FT		N/A
ENTRY GATE FRONT YARD SETBACK:	PROPERTY LINE		16'
ENTRY GATE HEIGHT:	6 FT		6 FT
PARKING SPACES (1 PER BEDROOM)	5 SPACES		6 SPACES
DRIVEWAY SETBACK:	8 FT		38' • MAIN DRIVEWAY 10.5' • SERVICE DRIVEWAY
LANDSCAPE AREA:	50%		58.2%
ELEVATION OF LHSM:			N/A
FEMA FLOOD ZONE	ZONE 'X', ZONE 'AE'		ZONE 'X' & AE (BFE 4')
ELEVATION OF FINISH FLOOR:	12' ABOVE BASE FLOOD ELEVATION (BFE) 5' NAVD		8.4' NAVD

SITE NOTES

- SEE ATTACHED SURVEY FOR LEGAL DESCRIPTION
- VERIFY PROPERTY LINE DIMENSIONS WITH SURVEY
- SEE CIVIL AND LANDSCAPE PLANS FOR ANY ADDITIONAL INFORMATION REGARDING HARDSCAPE, DRAINAGE, POOL CONSTRUCTION AND DESIGN AND ANY OTHER SITE SPECIFIC INFORMATION.
- SITE DRAINAGE BY CIVIL ENGINEER

B-40 ZONING DISTRICT 1-ACRE ESTATE RESIDENTIAL DISTRICT

ENCLOSED AREA CALCULATION @ 100%

DIVISION 3 - ZONING B-40 DISTRICT PER SECTIONS 3.00, 3.01 & 3.02	
MAIN HOUSE FLOOR A/C	7,144 SQ. FT.
GUEST HOUSE FLOOR A/C	696 SQ. FT.
OFFICE/STIM FLOOR A/C	711 SQ. FT.
TOTAL A/C CALCULATED PORTIONS	8,551 SQ. FT.
TOTAL ENCLOSED AREA CALCULATED • 100%	8,551 SQ. FT.

UNENCLOSED AREA CALCULATION @ 50%

PER JUPITER ISLAND FL CODE OF ORDINANCES EXHIBIT A - ILLUSTRATIONS ILLUSTRATION 15 FLOOR AREA MEASUREMENT, BALCONIES

COVERED ENTRY	173 SQ. FT.
COVERED LANAI	1,202 SQ. FT.
PORCH	112 SQ. FT.
OFFICE OUTDOOR SITTING	240 SQ. FT.
GUEST EAVE (OVER 30')	91 SQ. FT.
TOTAL UNENCLOSED AREA CALCULATED • 100%	1,778 SQ. FT.
ARTICLE IV - SUPPLEMENTAL REGULATIONS DIVISION 2, PER SECTION 2.01(C)	
SLB TOTAL ALLOWED	
TOTAL • 50%	859 SQ. FT.

FLOOR AREA PROPOSED

FLOOR AREA ALLOWED 9,531 SQ.FT.	
FLOOR AREA PROPOSED	9,440 SQ. FT.

NON CALCULATED NON-HABITABLE AREA

PER JUPITER ISLAND, FL. ORDINANCE 393

3-CAR GARAGE	853 SQ. FT.
TOTAL NON CALCULATED COVERED PORTIONS	853 SQ. FT.

PARKING CALCULATIONS

MINIMUM SPACE PER BEDROOM REQUIRED

PER ARTICLE IV - SUPPLEMENTAL REGULATIONS DIVISION 3 - DEVELOPMENT STANDARDS SECTION 3.10(A)

NUMBER OF BEDROOMS	5
MAXIMUM NUMBER OF PARKING SPACES (X1.5)	8 (7.5)
PARKING SPACES PROPOSED	6
TOTAL NUMBER OF PARKING SPACES PROPOSED	6

SITE NOTES

SURVEY NOTE:
SEE ATTACHED SURVEY FOR LEGAL DESCRIPTION
VERIFY PROPERTY LINE DIMENSIONS WITH SURVEY

SOIL STATEMENT:
AS PER VISUAL INSPECTION, SOIL CONDITIONS AT THIS SITE ARE SAND & ROCK WITH A MINIMUM BEARING CAPACITY OF 2,500 PSF. SHOULD OTHER CONDITIONS OR MATERIALS BE ENCOUNTERED, THE ENGINEER/ARCHITECT SHALL BE NOTIFIED IN WRITING BEFORE PROCEEDING WITH THE WORK.

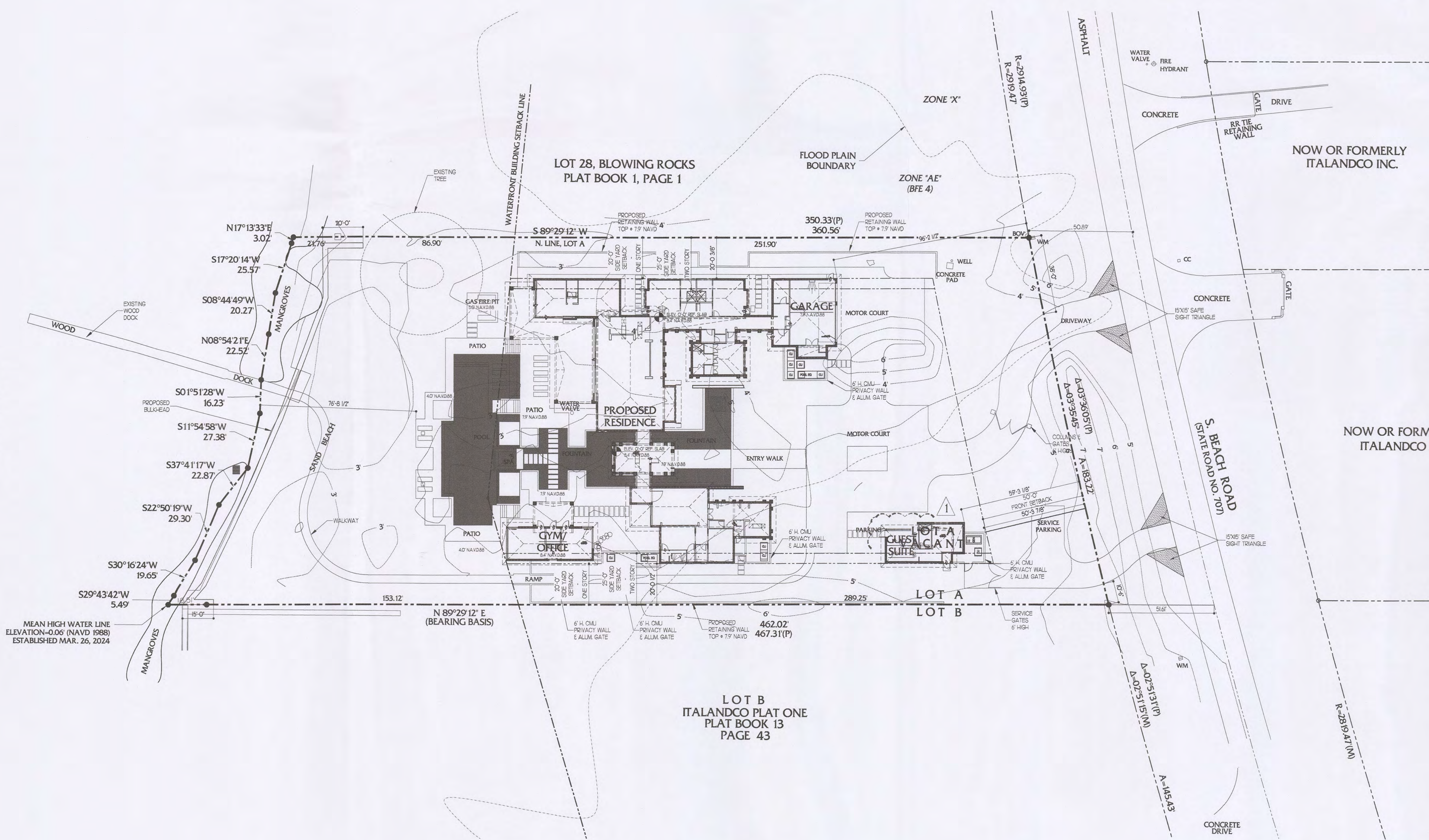
POOL NOTE:
POOL, PAVEMENT DECK & SCREEN ENCLOSURE DESIGN & CONSTRUCTION BY OTHERS. PAVERS SET IN SAND
CONTRACTOR SHALL PROVIDE POOL BARRIER AS REQUIRED PER LOCAL CODE

CIVIL / LANDSCAPE NOTE:
SEE CIVIL AND LANDSCAPE PLANS FOR ANY ADDITIONAL INFORMATION REGARDING HARDSCAPE, DRAINAGE, POOL CONSTRUCTION AND DESIGN AND ANY OTHER SITE SPECIFIC INFORMATION.
SITE DRAINAGE BY CIVIL ENGINEER

POOL BARRIER

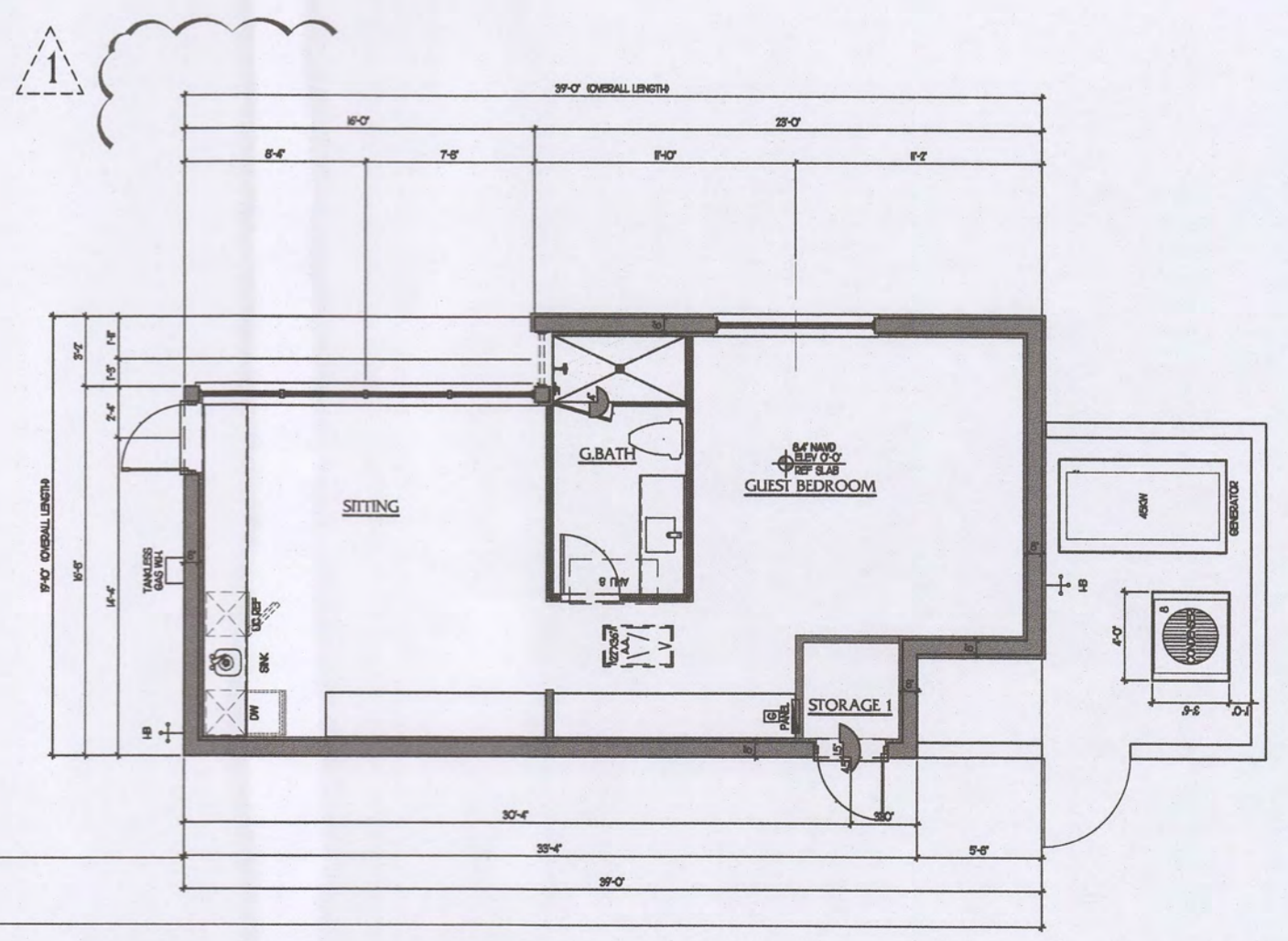
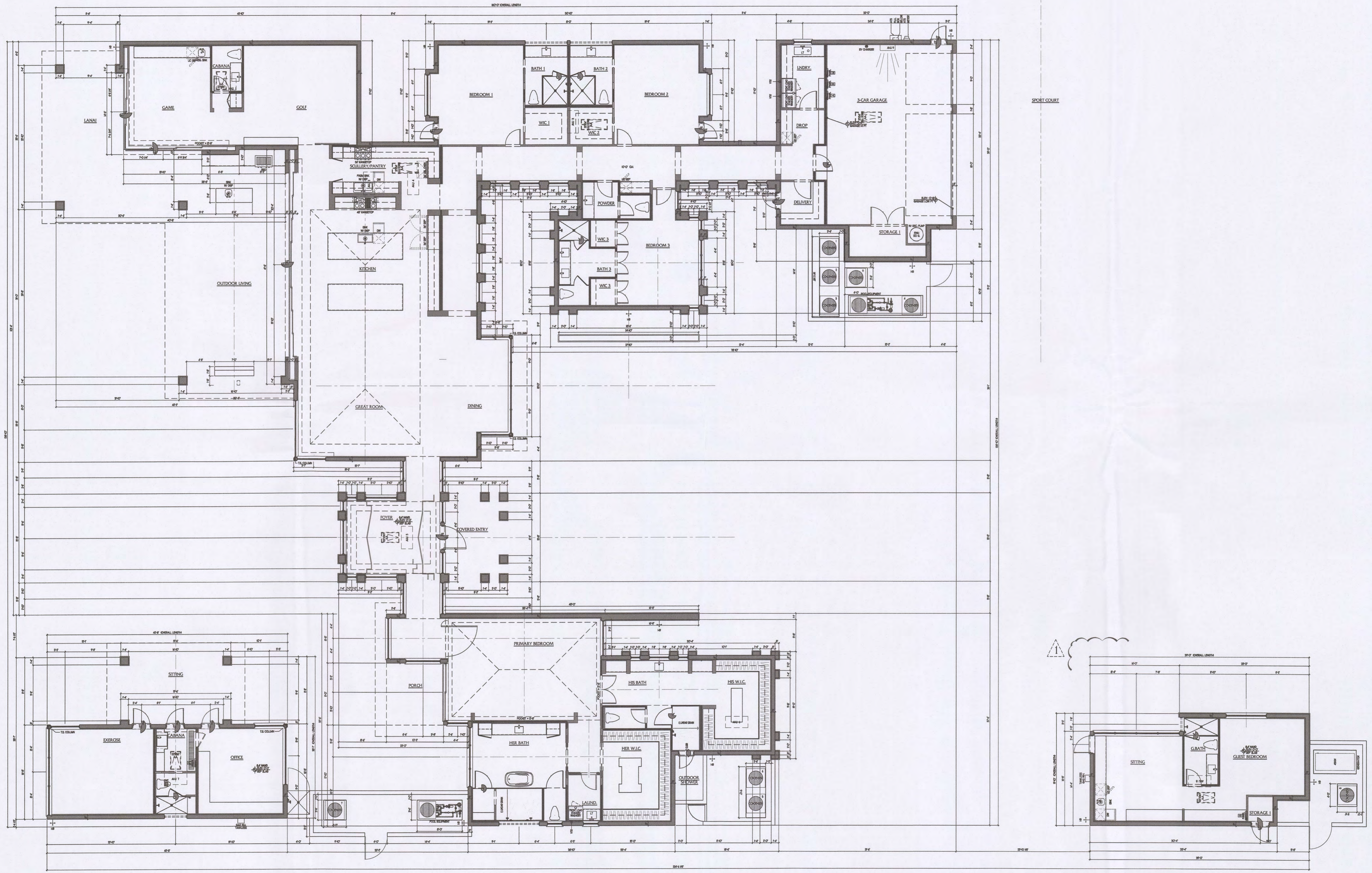
- ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL MEET THE REQUIREMENTS OF RESIDENTIAL POOL SAFETY ACT SECTION 945.01(7).
- ALL DOORS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL ARE TO BE SELF-CLOSING AND SELF-LATCHING. LATCH MECHANISM SHALL BE MOUNTED AT 54" A.F.F. (MINIMUM)
- THE G.C. IS TO VERIFY THAT ALL ACCESS TO THE POOL AREA MEET THE SWIMMING POOL SAFETY ACT.

SITE PLAN
1/16" = 1'-0"



JUPITER SOUND
INLET AQUATIC PRESERVE
JENSEN BEACH TO JUPITER

MEAN HIGH WATER LINE
ELEVATION-0.06' (NAVD 1988)
ESTABLISHED MAR. 26, 2024



FLOOR PLAN - OVERALL
 1/8" = 1'-0"

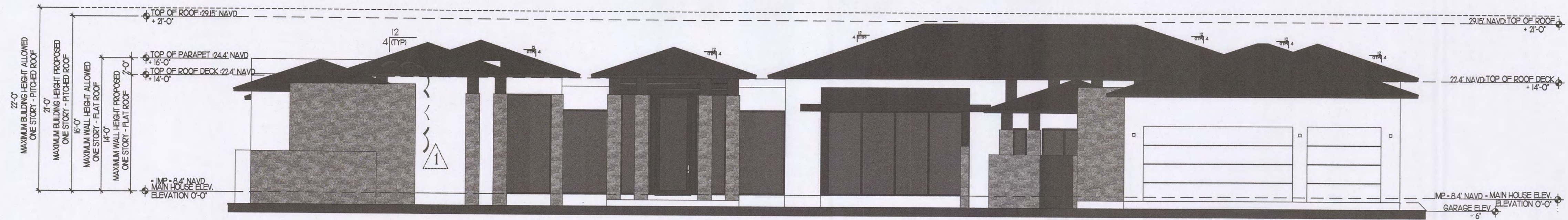
Revisions

REVISION	DATE
PM	06.21.25

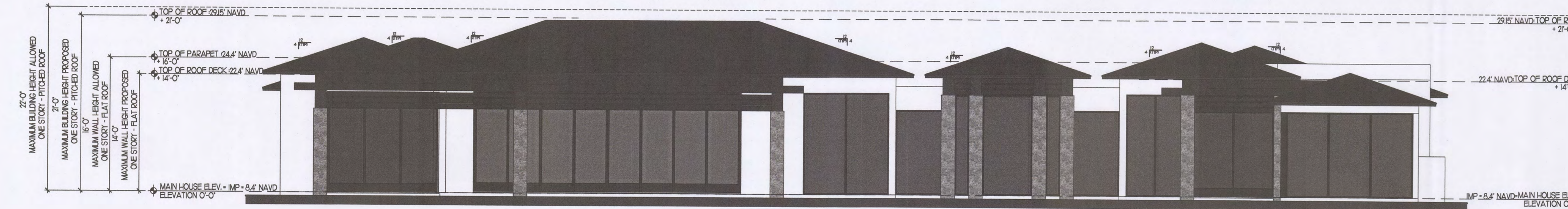
Date	6/21/2025
Drawn / Checked	cs / pm
Date / Approval	- / -
Date / Permit	- / -
Date / Construction	- / -

Seal: Digitally signed by Matthew W. Wheeler, DN: 0.9.2342.19200300.001.1=A01410D0000018801C552CE00003CD4, cn=Matthew W. Wheeler, o=AFFINITI ARCHITECTS HOLDING LLC, c=US, Date: 2025.07.03, #.A0002340-2-2-2025

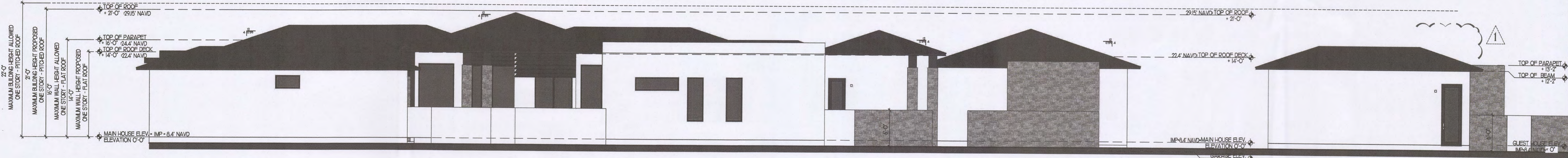
A2.0



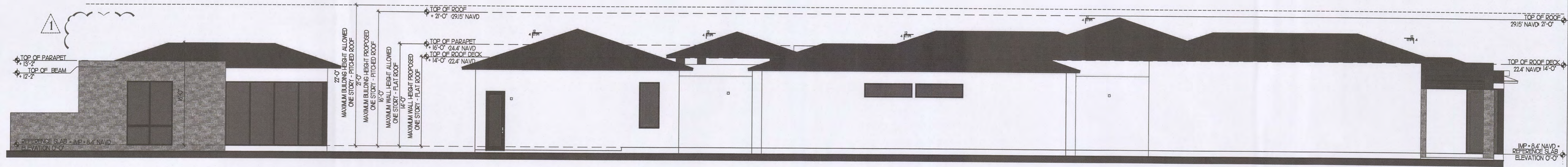
EAST FRONT ELEVATION
1/8" = 1'-0"



WEST REAR ELEVATION
1/8" = 1'-0"



SOUTH RIGHT ELEVATION
1/8" = 1'-0"



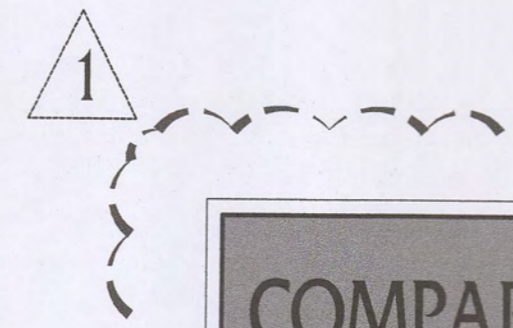
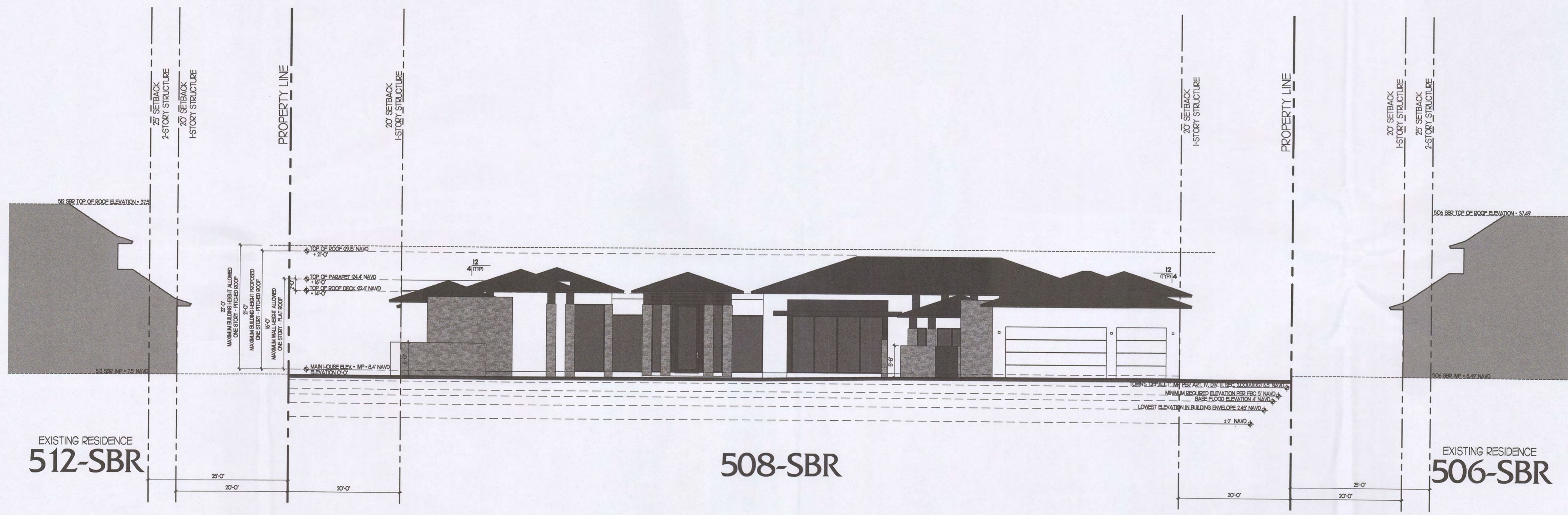
NORTH LEFT ELEVATION
1/8" = 1'-0"

Revisions

REVISION	DATE
1	06.21.25

Date Drawn	6/21/2025
Date Checked	cs pm
Date Approval	-
Date Permit	-
Date Construction	-

Seal: Digitally signed by Matthew W Wheeler
DN: cn=Matthew W Wheeler, o=AFFINITI ARCHITECTS HOLDING LLC, c=US
Date: 2025.07.03
A00023402025



COMPARISON ELEVATIONS OF ADJACENT PROPERTIES
3/32" = 1'-0"

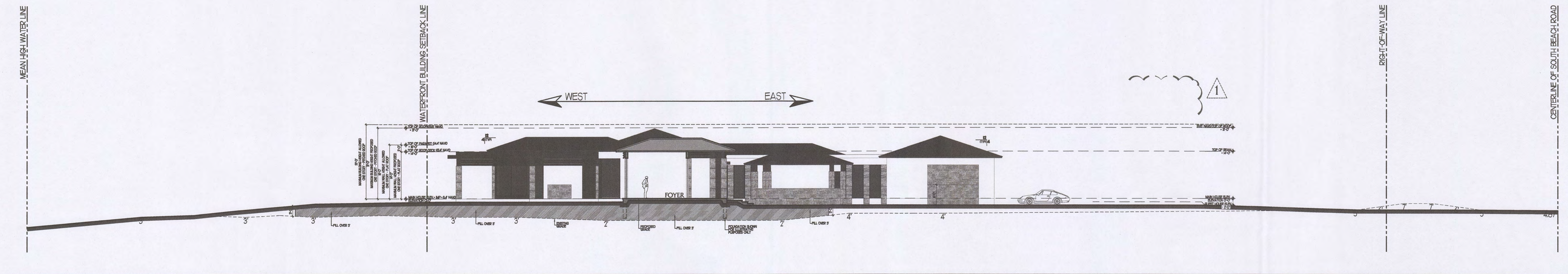
Revisions

REVISION	DATE
1	06.21.25

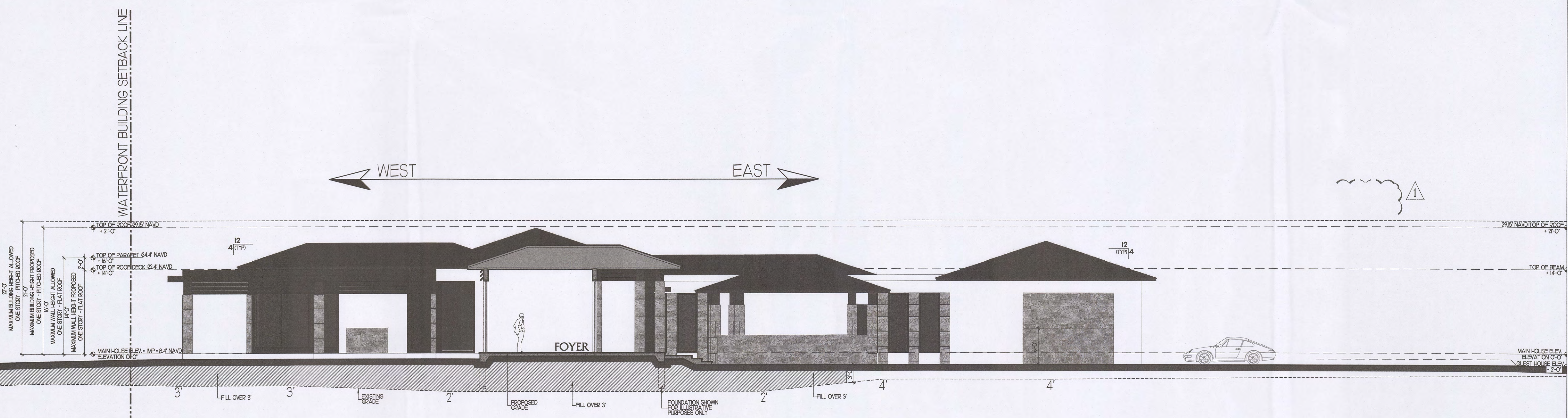
Date	6/21/2025
Drawn Checked	cs pm
Date Approval	-
Date Permit	-
Date Construction	-

Seal:
Digitally signed by Matthew W Wheeler
DN: 0.9.2342.19200300.1.00.1.1=A01410D0000018801C552CE000
WCDC, cn=Matthew W Wheeler, o=AFFINITI ARCHITECTS HOLDING LLC, c=US
Date: 2025.07.03
A000234025102025

A3.1



SITE SECTION
1/16" = 1'-0"



BUILDING SECTION
1/8" = 1'-0"

Revisions

REVISION	DATE
PM	06.21.25

Date	6/21/2025
Drawn Checked	---
Date Approval	---
Date Permit	---
Date Construction	---

Seal: Digitally signed by Matthew W Wheeler DN: o=9.2342.19200900, ou=1001.1=A01410D00, cn=Matthew W Wheeler, o=AFFINITI ARCHITECTS HOLDING LLC, c=US Date: 2025.07.03 1.A0002340:032025

A4

Existing Tree Management List

NO.	SIZE	SPECIES	DISP.	PHASE	NO.	SIZE	SPECIES	DISP.	PHASE	NO.	SIZE	SPECIES	DISP.	PHASE	NO.	SIZE	SPECIES	DISP.	PHASE	NO.	SIZE	SPECIES	DISP.	PHASE
1	10' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	46	14' ht.	Adonidia merrillii / Christmas Palm (4 stems)	RELOCATE	C8	91	20' ct.	Wodyetia bifurcata / Foxtail Palm	RELOCATE	C8	156	18' ct.	Sabal palmetto / Cabbage Palm	REMAIN	N/A	181	16' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
2	10' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	47	18' ht.	Adonidia merrillii / Christmas Palm (4 stems)	RELOCATE	C8	92	18' ct.	Wodyetia bifurcata / Foxtail Palm	RELOCATE	C8	157	18' ct.	Sabal palmetto / Cabbage Palm	REMAIN	N/A	182	22' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
3	30' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	48	9' ht.	Phoenix roebelenii / Ruggly Date Palm	RELOCATE	C8	93	20' ct.	Trinax radiata / Florida Thatch Palm	RELOCATE	C8	158	17' ct.	Sabal palmetto / Cabbage Palm	REMAIN	N/A	183	22' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
4	12' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	49	8' ht.	Phoenix roebelenii / Ruggly Date Palm	RELOCATE	C8	94	22' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	159	22' ct.	Sabal palmetto / Cabbage Palm	REMAIN	N/A	184	20' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
5	6' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	50	7' ht.	Cycas circinalis / Queen Sago	RELOCATE	C8	95	28' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	140	4' ct.	Livistona chinensis / Chinese Fan Palm	RELOCATE	C8	185	22' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
6	28' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	51	10' x14'	Callistemon viminalis / Bottlebrush Tree	RELOCATE	C8	96	10' ct.	Livistona chinensis / Chinese Fan Palm	RELOCATE	C8	141	4' ct.	Livistona chinensis / Chinese Fan Palm	RELOCATE	C8	186	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
7	14' ct.	Trinax radiata / Florida Thatch Palm	RELOCATE	C8	52	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	97	16' ct.	Livistona chinensis / Chinese Fan Palm	RELOCATE	C8	142	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	187	20' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
8	14' ct.	Trinax radiata / Florida Thatch Palm	RELOCATE	C8	53	12' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	98	18' ct.	Bismarckia nobilis 'Silver' / Silver Bismarck Palm	RELOCATE	C8	143	22' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	188	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
9	14' ct.	Trinax radiata / Florida Thatch Palm	RELOCATE	C8	54	24' ht.	Ficus benjamina / Weeping Fig	RELOCATE	C8	99	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	144	20' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	189	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
10	14' ct.	Trinax radiata / Florida Thatch Palm	RELOCATE	C8	55	24' ht.	Ficus benjamina / Weeping Fig	RELOCATE	C8	100	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	145	22' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	190	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
11	24' ud.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	56	24' ht.	Ficus benjamina / Weeping Fig	RELOCATE	C8	101	20' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	146	17' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	191	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
12	20' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	57	18' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	102	14' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	147	14' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	192	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
13	30' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	58	18' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8	103	22' ct.	Hyophorbe verschaffeltii / Spindle Palm	RELOCATE	C8	148	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	193	36' x30'	Ficus aurea / Strangler Fig	RELOCATE	C8
14	22' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	59	24' ht.	Ficus benjamina / Weeping Fig	RELOCATE	C8	104	12' ct.	Hyophorbe verschaffeltii / Spindle Palm	RELOCATE	C8	149	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	194	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
15	23' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	60	24' ht.	Ficus benjamina / Weeping Fig	RELOCATE	C8	105	10' ct.	Hyophorbe verschaffeltii / Spindle Palm	RELOCATE	C8	150	12' ht.	Beaucarnea recurvata / Ponytail Palm	RELOCATE	C8	195	14' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
16	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	61	24' ht.	Ficus benjamina / Weeping Fig	RELOCATE	C8	106	7' ct.	Hyophorbe verschaffeltii / Spindle Palm	RELOCATE	C8	151	28' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	196	26' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
17	22' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	62	24' ht.	Ficus benjamina / Weeping Fig	RELOCATE	C8	107	20' ht.	Strelitzia nicotia / White Bird of Paradise	RELOCATE	C8	152	28' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	197	26' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
18	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	63	18' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8	108	20' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	153	9' ct.	Phoenix carolinensis / Canary Island Date Palm	RELOCATE	C8	198	20' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
19	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	64	10' ht.	Phoenix roebelenii / Ruggly Date Palm	RELOCATE	C8	109	9' ct.	Hyophorbe verschaffeltii / Spindle Palm	RELOCATE	C8	154	30' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	199	22' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
20	16' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	65	9' ht.	Cocos nucifera / Coconut Palm	RELOCATE	C8	110	30' x20'	Ficus aurea / Strangler Fig	RELOCATE	C8	155	10' ct.	Livistona chinensis / Chinese Fan Palm	RELOCATE	C8	200	24' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
21	20' ht.	Cupaniopsis anacardioides / Carrotwood Tree	RELOCATE	C8	66	30' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	111	20' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	156	18' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	201	18' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
22	16' x18'	Coccoloba uvifera / Sea Grape	RELOCATE	C8	67	12' ct.	Phoenix carolinensis / Canary Island Date Palm	RELOCATE	C8	112	16' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	157	6' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	202	10' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
23	20' ht.	Cupaniopsis anacardioides / Carrotwood Tree	RELOCATE	C8	68	28' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	113	16' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	158	26' ht.	Ficus benjamina / Weeping Fig	RELOCATE	C8	203	20' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
24	20' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	69	28' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	114	12' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	159	14' ht.	Ficus benjamina / Weeping Fig	RELOCATE	C8	204	22' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
25	18' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	70	24' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	115	6' ct.	Hyophorbe verschaffeltii / Spindle Palm	RELOCATE	C8	160	18' ht.	Ficus benjamina / Weeping Fig	RELOCATE	C8	205	14' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
26	18' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	71	28' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	116	10' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	161	24' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8	206	30' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
27	18' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	72	18' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	117	8' ct.	Livistona chinensis / Chinese Fan Palm	RELOCATE	C8	162	20' ht.	Cupaniopsis anacardioides / Carrotwood Tree	RELOCATE	C8	207	20' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
28	30' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	73	28' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	118	16' ct.	Phoenix sylvestris / Wild Date Palm	RELOCATE	C8	163	18' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	208	16' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
29	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	74	14' ct.	Phoenix carolinensis / Canary Island Date Palm	RELOCATE	C8	119	16' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	164	12' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	209	26' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
30	32' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	75	30' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	120	9' ct.	Hyophorbe verschaffeltii / Spindle Palm	RELOCATE	C8	165	12' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	210	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
31	28' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	76	14' x14'	Callistemon viminalis / Bottlebrush Tree	RELOCATE	C8	121	21' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	166	16' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8	211	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
32	30' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	77	14' x14'	Callistemon viminalis / Bottlebrush Tree	RELOCATE	C8	122	6' ct.	Hyophorbe verschaffeltii / Spindle Palm	RELOCATE	C8	167	12' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	212	DEAD	Cocos nucifera / Coconut Palm	RELOCATE	C8
33	32' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	78	12' ct.	Callistemon viminalis / Bottlebrush Tree	RELOCATE	C8	123	20' ct.	Phoenix sylvestris / Wild Date Palm	RELOCATE	C8	168	16' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	213	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
34	10' ht.	Cycas circinalis / Queen Sago	RELOCATE	C8	79	18' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	124	16' ct.	Phoenix sylvestris / Wild Date Palm	RELOCATE	C8	169	30' x40'	Ficus aurea / Strangler Fig	RELOCATE	C8	214	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
35	6' ht.	Cycas circinalis / Queen Sago	RELOCATE	C8	80	20' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	125	9' ct.	Hyophorbe verschaffeltii / Spindle Palm	RELOCATE	C8	170	40' x20'	Ficus aurea / Strangler Fig	RELOCATE	C8	215	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
36	31' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	81	12' ht.	Phoenix roebelenii / Ruggly Date Palm	RELOCATE	C8	126	22' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	171	12' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	216	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8
37	32' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	82	8' ht.	Phoenix roebelenii / Ruggly Date Palm	RELOCATE	C8	127	6' ct.	Livistona chinensis / Chinese Fan Palm	RELOCATE	C8	172	12' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	217	20' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
38	25' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	83	22' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	128	10' ct.	Hyophorbe verschaffeltii / Spindle Palm	RELOCATE	C8	173	22' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	218	22' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
39	3' ct.	Livistona chinensis / Chinese Fan Palm	RELOCATE	C8	84	16' ct.	Trinax radiata / Florida Thatch Palm	RELOCATE	C8	129	20' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	174	16' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	219	22' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8
40	5' ct.	Livistona chinensis / Chinese Fan Palm	RELOCATE	C8	85	16' ct.	Trinax radiata / Florida Thatch Palm	RELOCATE	C8	130	8' ct.	Livistona chinensis / Chinese Fan Palm	RELOCATE	C8	175	16' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8					
41	16' ct.	Livistona chinensis / Chinese Fan Palm	RELOCATE	C8	86	16' ht.	Phoenix recinata / Senechal Date Palm	RELOCATE	C8	131	7' ct.	Hyophorbe verschaffeltii / Spindle Palm	RELOCATE	C8	176	14' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8					
42	26' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	87	30' x30'	Ficus benjamina / Weeping Fig	RELOCATE	C8	132	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	177	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8					
43	24' ud.	Cocos nucifera / Coconut Palm	RELOCATE	C8	88	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	133	7' ct.	Hyophorbe verschaffeltii / Spindle Palm	RELOCATE	C8	178	16' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8					
44	18' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	89	18' ct.	Bismarckia nobilis 'Silver' / Silver Bismarck Palm	RELOCATE	C8	134	14' ct.	Sabal palmetto / Cabbage Palm	RELOCATE	C8	179	12' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8					
45	14' ht.	Adonidia merrillii / Christmas Palm	RELOCATE	C8	90	24' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8	135	12' ct.	Phoenix sylvestris / Wild Date Palm	RELOCATE	C8	180	20' ht.	Dypsis lutescens / Areca Palm	RELOCATE	C8					

Plant List (Construction Staging - Full Site)

SYM	QTY	NAME	SPECIFICATIONS
AM-R	1	Adonidia merrillii / Christmas Palm	See existing tree management list and plan for locations and specs.
CN-R	4	Cocos nucifera / Coconut Palm	See existing tree management list and plan for locations and specs.
DL-R	25	Dypsis lutescens / Areca Palm	See existing tree management list and plan for locations and specs.
FA-R	2	Ficus aurea / Strangler Fig	See existing tree management list and plan for locations and specs.
PC-R	3	Phoenix carolinensis / Canary Island Date Palm	See existing tree management list and plan for locations and specs.
PRC-R	8	Phoenix recinata / Senechal Date Palm	See existing tree management list and plan for locations and specs.
SP-R	6	Sabal palmetto / Cabbage Palm	See existing tree management list and plan for locations and specs.
TR-R	2	Trinax radiata / Florida Thatch Palm	See existing tree management list and plan for locations and specs.
UB-R	2	Wodyetia bifurcata / Foxtail Palm	See existing tree management list and plan for locations and specs.

SYM	QTY	NAME	SPECIFICATIONS
BR	1	Beaucarnea recurvata / Pony Tail Palm	See existing tree management list for information
CA	3	Cupaniopsis anacardioides / Carrot	

Plant List (Construction Staging - Sheet CS-2 only)

Vegetation Protection Notes

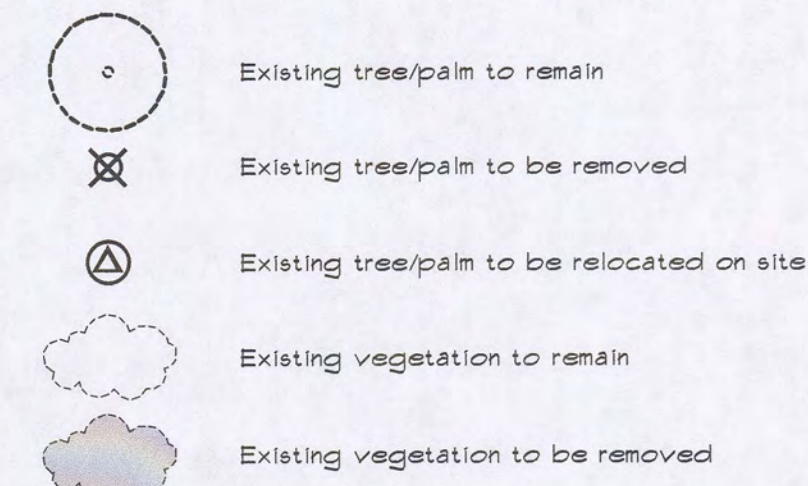
RELOCATIONS			SPECIFICATIONS
SYM	QTY	NAME	
DL-R	14	Dygisia luteosana / Areca Palm	See existing tree management list and plan for locations and specs.
PC-R	3	Phoenix canariensis / Canary Island Date Palm	See existing tree management list and plan for locations and specs.
PRC-R	3	Phoenix roebelenii / Senegal Date Palm	See existing tree management list and plan for locations and specs.
SP-R	5	Sabal palmetto / Cabbage Palm	See existing tree management list and plan for locations and specs.
UB-R	2	Wodyetia bifurcata / Foxtail Palm	See existing tree management list and plan for locations and specs.

REMOVALS			SPECIFICATIONS
SYM	QTY	NAME	
BR	1	Beaucarnea recurvata / Pony Tail Palm	See existing tree management list for information
CC	3	Cycas circinalis / Queen Sago	See existing tree management list for information
CN	16	Cocos nucifera / Coconut Palm	See existing tree management list for information
CV	3	Callistemon viminalis / Bottlebrush Tree	See existing tree management list for information
DL	3	Dygisia luteosana / Areca Palm	See existing tree management list for information
LC	4	Livistona chinensis / Chinese Fan Palm	See existing tree management list for information
FR	6	Phoenix roebelenii / Fijian Date Palm	See existing tree management list for information
PRC	4	Phoenix roebelenii / Senegal Date Palm	See existing tree management list for information

- Groups of trees or areas of vegetation to be protected shall be marked by 3' height orange safety fence around the perimeter of the protected area (see plan).
- 3' height orange safety fence shall be placed around individual protected trees a distance outside 2/3 of the radius of the driplines or 6', whichever is greater.
- No clearing shall commence until all protection devices are installed by the contractor. Protection devices shall remain in place until they are authorized to be removed by Town staff.

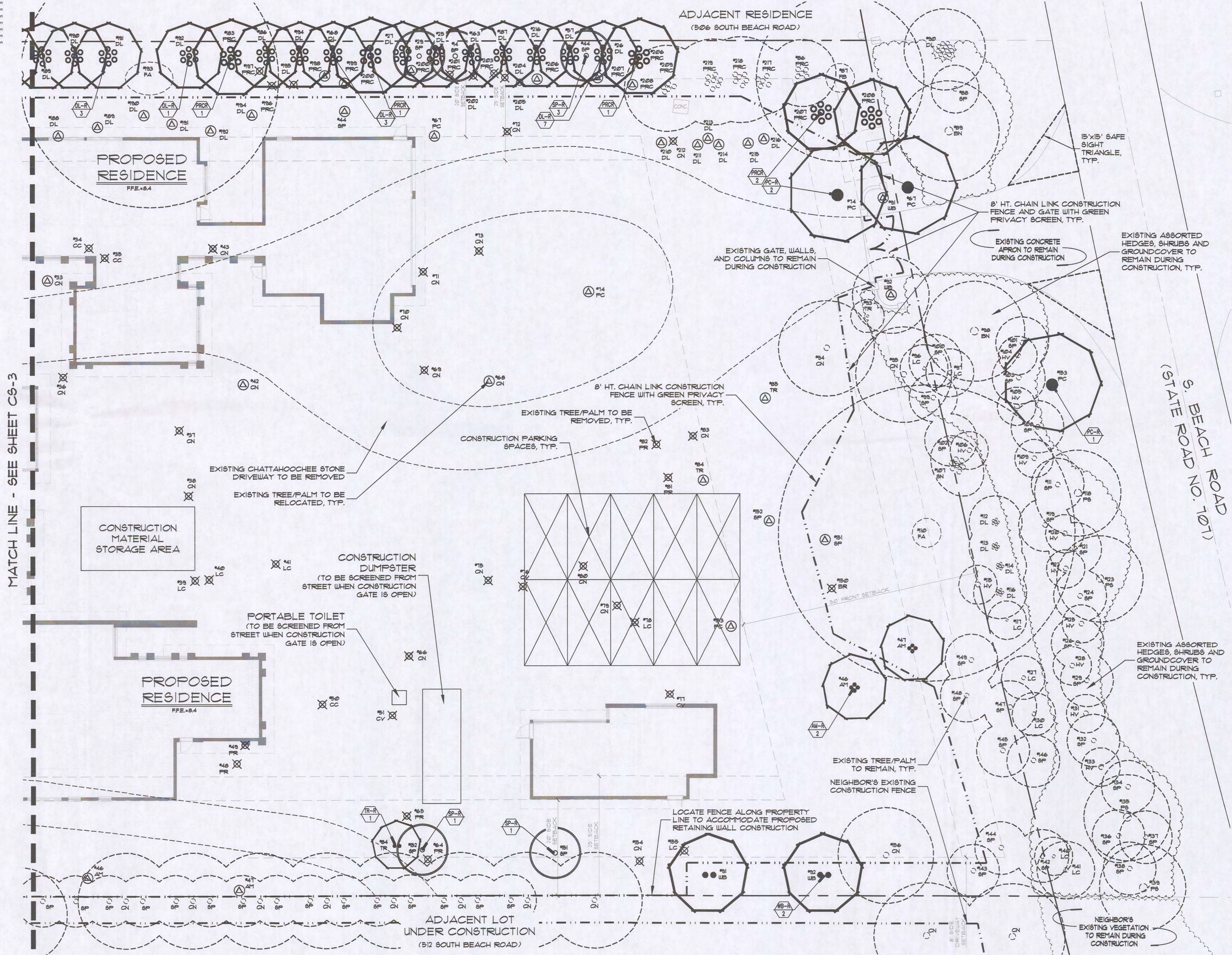
Remove various shrubs and groundcovers not shown on the plan as 'existing to remain'.

Existing Plant Symbol Key



Existing Plant Key

- AM = Adonidia merrillii / Christmas Palm
- BN = Bismarckia nobilis 'Silver' / Silver Bismarck Palm
- BR = Beaucarnea recurvata / Ponytail Palm
- CA = Cupanipeles anacardioides / Carrotwood Tree
- CC = Cycas circinalis / Queen Sago
- CU = Cocoloba uvifera / Seagrape
- CN = Cocos nucifera / Coconut Palm
- CV = Callistemon viminalis / Bottlebrush Tree
- DL = Dygisia luteosana / Areca Palm
- FA = Ficus aurea / Strangler Fig
- FB = Ficus benjamina / Weeping Fig
- HV = Hyophorbe verschaffeltii / Spindle Palm
- LC = Livistona chinensis / Chinese Fan Palm
- FR = Phoenix roebelenii / Fijian Date Palm
- PRC = Phoenix roebelenii / Senegal Date Palm
- PS = Phoenix silvestris / Wild Date Palm
- SA = Strelitzia nicotii / White Bird of Paradise
- SP = Sabal palmetto / Cabbage Palm
- TR = Trinxax radiata / Florida Thatch Palm
- UB = Wodyetia bifurcata / Foxtail Palm



DATE: 6.12.24
DRAWN BY: PFC/BMS
JOB NO: 24-053
SCALE: 1"=10'-0"
FILENAME: Burford 14

REVISIONS:
1.15.2024 DRC
9.15.2024 IRC
10.21.2024 DRC
12.12.2024 DRC
12.25.2024 BOA/IRC
2.13.2025 BOA/IRC
6.11.2025 IRC

Digitally signed by Paul S. Catania II
Date: 2025.07.18 14:10:29 -04'00'

Plant List (Construction Staging - Sheet CS-3 only)

RELOCATIONS			SPECIFICATIONS	
SYM	QTY	NAME		
AM-R	1	Adonidia merrillii / Christmas Palm	See existing tree management list and plan for locations and specs.	
CN-R	4	Cocos nucifera / Coconut Palm	See existing tree management list and plan for locations and specs.	
DL-R	11	Dyopsis lutescens / Arecia Palm	See existing tree management list and plan for locations and specs.	
FA-R	2	Ficus aurea / Strangler Fig	See existing tree management list and plan for locations and specs.	
FRC-R	3	Phoenix rostrata / Bengal Date Palm	See existing tree management list and plan for locations and specs.	
SP-R	1	Sabal palmetto / Cabbage Palm	See existing tree management list and plan for locations and specs.	
TR-R	2	Thrinax radiata / Florida Thatch Palm	See existing tree management list and plan for locations and specs.	

REMOVALS			SPECIFICATIONS	
SYM	QTY	NAME		
CA	3	Cupaniopsis anacardioides / Carrotwood Tree	See existing tree management list for information	
CN	4	Cocos nucifera / Coconut Palm	See existing tree management list for information	
DL	10	Dyopsis lutescens / Arecia Palm	See existing tree management list for information	
FB	10	Ficus benjamina / Weeping Fig	See existing tree management list for information	
FRC	5	Phoenix rostrata / Bengal Date Palm	See existing tree management list for information	

Remove various shrubs and groundcovers not shown on the plan as "existing to remain".

NEW PLANTING			SPECIFICATIONS	
SYM	QTY	NAME		
CN	2	Cocos nucifera 'Green Majesty' / Coconut Palm	10' wd, 22'-24" oa, heavy cal, full frond	

Vegetation Protection Notes

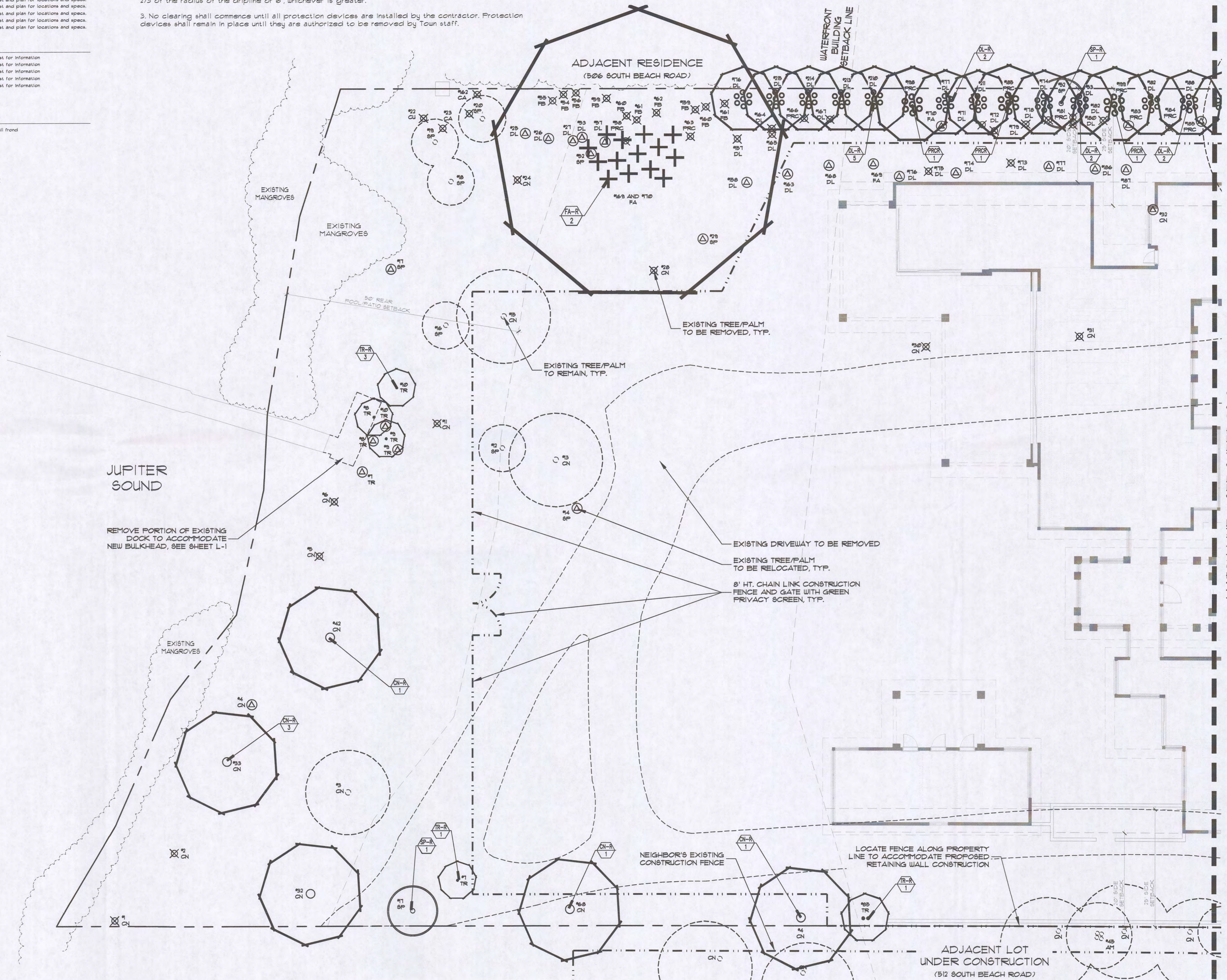
- Groups of trees or areas of vegetation to be protected shall be marked by 3' height orange safety fence around the perimeter of the protected area (see plan).
- 3' height orange safety fence shall be placed around individual protected trees a distance outside 2/3 of the radius of the dripline or 6', whichever is greater.
- No clearing shall commence until all protection devices are installed by the contractor. Protection devices shall remain in place until they are authorized to be removed by Town staff.

Existing Plant Symbol Key

- Existing tree/palm to remain
- Existing tree/palm to be removed
- Existing tree/palm to be relocated on site
- Existing vegetation to remain
- Existing vegetation to be removed

Existing Plant Key

- AM = Adonidia merrillii / Christmas Palm
- BN = Bismarckia nobilis 'Silver' / Silver Bismarck Palm
- BR = Beaucarnea recurvata / Ponytail Palm
- CA = Cupaniopsis anacardioides / Carrotwood Tree
- CC = Cycas circinalis / Queen Sago
- CU = Coccoloba uvifera / Seagrape
- CN = Cocos nucifera / Coconut Palm
- CY = Callistemon viminalis / Bottlebrush Tree
- DL = Dyopsis lutescens / Arecia Palm
- FA = Ficus aurea / Strangler Fig
- FB = Ficus benjamina / Weeping Fig
- HV = Hyophorbe verschaffeltii / Spindle Palm
- LC = Livistona chinensis / Chinese Fan Palm
- FR = Phoenix rostrata / Bengal Date Palm
- FRC = Phoenix rostrata / Bengal Date Palm
- FS = Phoenix sylvestris / Wild Date Palm
- SN = Strelitzia reginae / White Bird of Paradise
- SP = Sabal palmetto / Cabbage Palm
- TR = Thrinax radiata / Florida Thatch Palm
- WB = Wodyetia bifurcata / Foxtail Palm



PARKER-YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

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BURFORD RESIDENCE
508 SOUTH BEACH ROAD
JUPITER ISLAND, FLORIDA
CONSTRUCTION STAGING PLAN

DATE: 6.12.24
DRAWN BY: PSC/BMS
JOB NO.: 24-053
SCALE: 1"=10'-0"
FILENAME: Burford 14

REVISIONS:
1.15.2024 DRC
9.15.2024 IRC
10.21.2024 DRC
12.18.2024 DRC
12.25 BQA/IRC
2.13.2025 BQA/IRC
6.11.2025 IRC

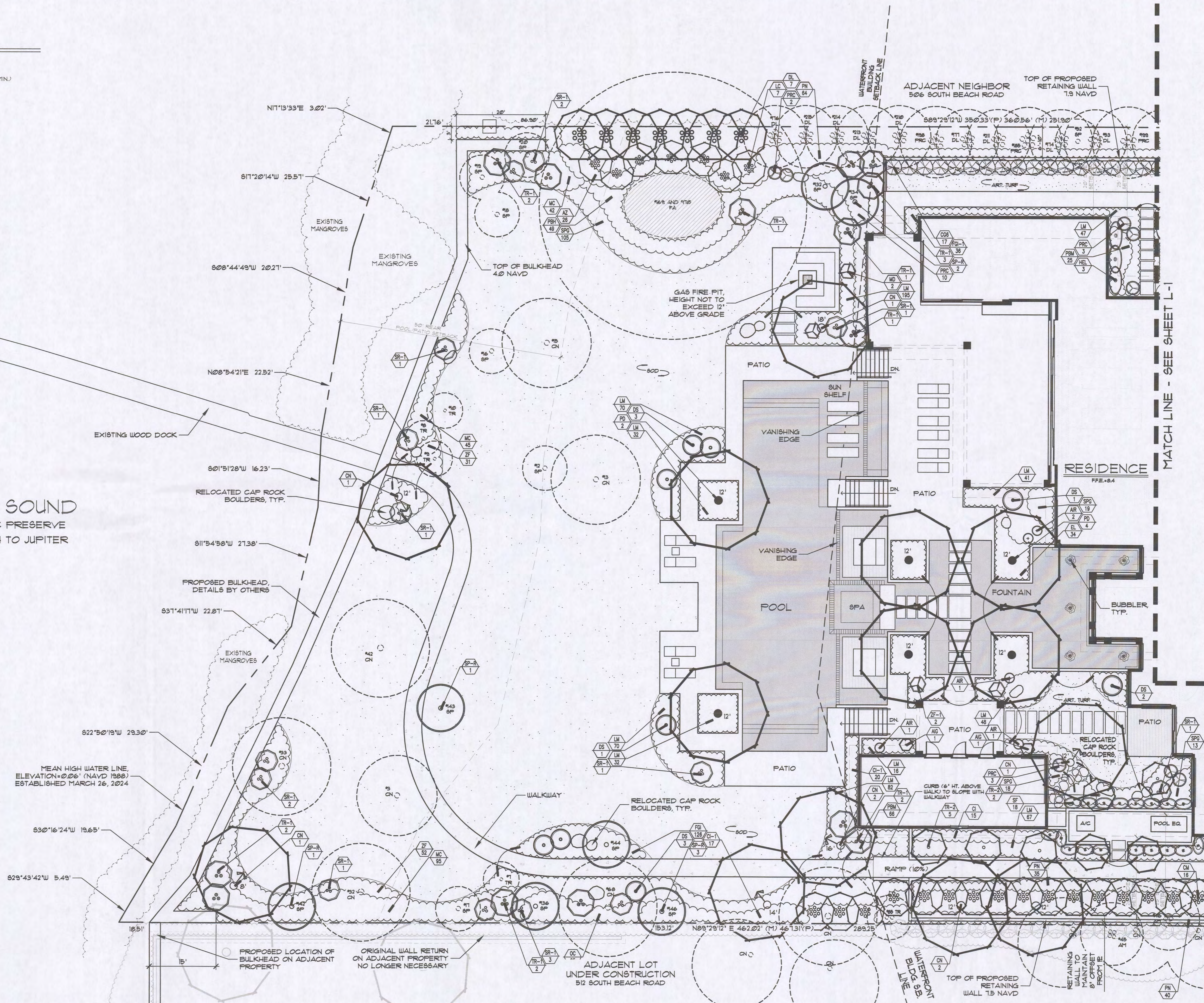
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Date: 2025.07.18 14:10:51 -04'00'

SHEET:
CS-3

Lot Coverage Data

TOTAL LOT AREA: 12,367 SF.
 TOTAL LANDSCAPE OPEN SPACE: 4,143 SF.
 LANDSCAPE OPEN SPACE COVERAGE: 51.2% (50% MIN.)

JUPITER SOUND
 INLET AQUATIC PRESERVE
 JENSEN BEACH TO JUPITER



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BURFORD RESIDENCE
 508 SOUTH BEACH ROAD
 JUPITER ISLAND, FLORIDA
 PLANTING PLAN

DATE: 6.12.24
 DRAWN BY: PSC/BM
 JOB NO.: 24-053
 SCALE: 1"=10'-0"
 FILENAME: Burford 14

REVISIONS:
 1.18.2024 DRC
 9.15.2024 IRC
 10.21.2024 DRC
 12.18.2024 DRC
 12.25.2024 BOA/IRC
 2.13.2025 BOA/IRC
 6.11.2025 IRC

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 Date: 2025.07.18 14:11:58 -04'00'

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L-2

Plant Specifications

SPECIES AND SIZE shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, current edition. All nursery stock shall be in accordance with Grades and Standards for Nursery Plants Parts 1 & II, latest edition published by the Florida Department of Agriculture and Consumer Services. All plants not otherwise specified as being Florida Fancy or Specimen shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly knit plant, so trained or favored in its development that first appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.

GENERAL REQUIREMENTS
All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae, and shall have adequate root systems. Trees for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants shall be provided prior to delivery only upon the approval of the Landscape Architect.

CONTAINER GROWN STOCK
All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are sold. The plants shall have tops which are good quality and in a healthy growing condition. An established container grown plant shall be grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container. Plant root bound in containers are unacceptable.

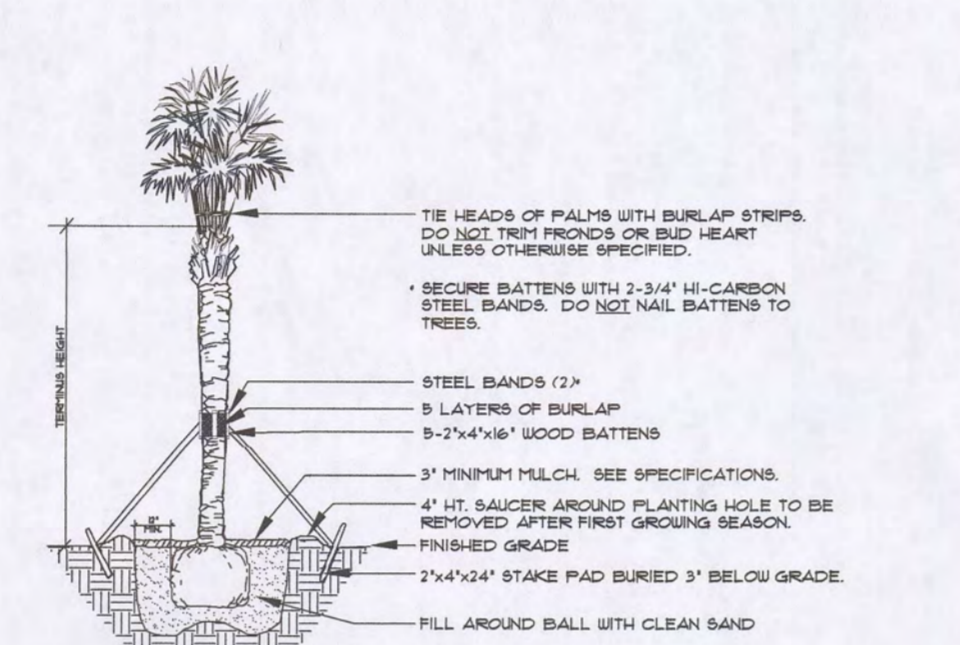
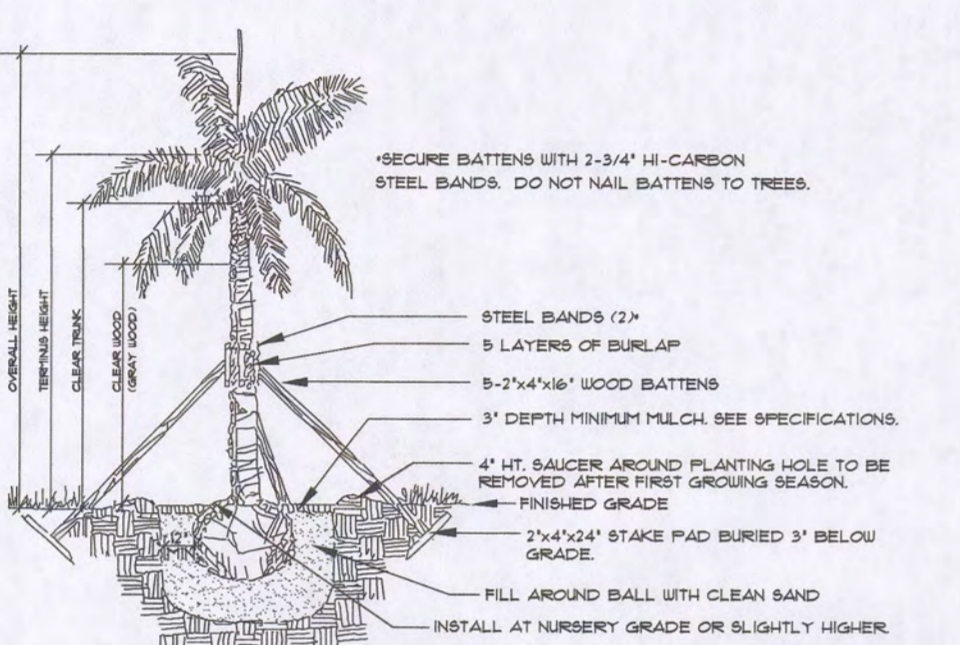
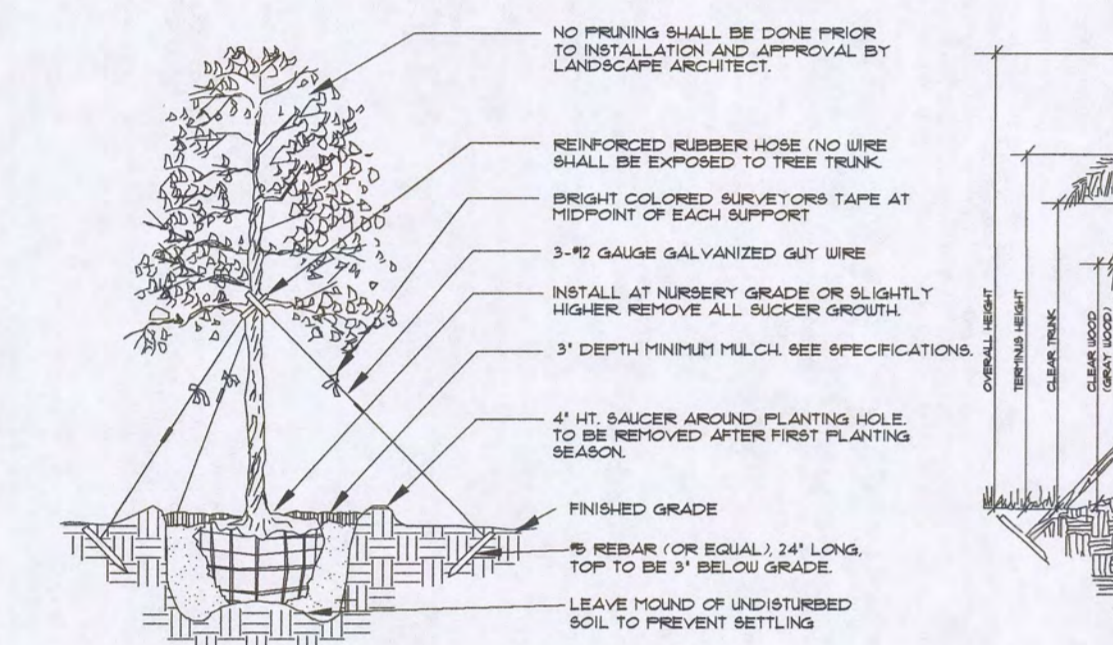
MEASUREMENTS
Trees: Height shall be measured from ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Measurements are not to include any terminal growth. Single trunk trees shall be free of "V" crotches that could be points of weak limb structure or disease infestation.
Shrubs: Heights shall be measured from the ground to the average points where mature plant growth stops. Spread shall be measured to the end of branching equally around the shrub mass. Measurements are not to include any terminal growth.
Palms: Clear Trunk (C.T.) shall be measured from the ground at the time of installation to the point where the mature aged trunk joins the immature or grass portion of the trunk or the head.
Overall height (O.H.) shall be measured from the ground at the time of installation to a point three quarters the length of the unopened bud. Palms with narrow or banded trunks will not be accepted.

SOIL
Planting soil for use in preparing backfill for plant pits shall be added at a rate of seventy-five (75%) percent to twenty-five (25%) percent existing soil. This soil mix shall be used in all plant pits except Sabal palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil or loamy character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and shall be free from heavy clay, stones, lime plants, roots or other foreign materials or noxious grasses (such as Bermuda or nut grass) and noxious weeds. It shall not contain toxic substances which may be harmful to plant growth.

COMMERCIAL FERTILIZER
Two fertilizers shall be used in all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be delivered to the site in the original unopened bags, each bearing the manufacturer's statement of analysis, and shall meet the following requirements: sixteen (16%) percent nitrogen, seven (7%) percent phosphorus, twelve (12%) percent potassium, plus iron. Tablet fertilizer (Agriform or equal) in 2 1/2 gram size shall meet the following requirements: twenty (20%) percent nitrogen, ten (10%) percent phosphorus, five (5%) percent potassium.

The two fertilizers will be applied at the following rates:
PLANT SIZE 16"-12" *AGRIFORM* TABLET (21 Grams)
1 gal. 1/4 lb. 1
3 gal. 1/2 lb. 2
1-1/2 gal. 1/2 lb. 4
1'-6" caliper 2 lbs/1" caliper 2 1/2" caliper
6" and larger 3 lbs/1" caliper 2 1/2" caliper
Florida East Coast Palm Special will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper unless otherwise specified.
MULCH
Mulch material shall be three (3) inches of shredded melaleuca mulch (sterilized and free of seeds) or approved equal, moistened at the time of application to prevent wind displacement.
SUBSTITUTIONS
No substitutions of plant material types or size will be allowed without written consent of the Landscape Architect. B&B material will not be accepted as substitute for container grown material unless previously approved. Alternate substitutions shall be indicated in bid.

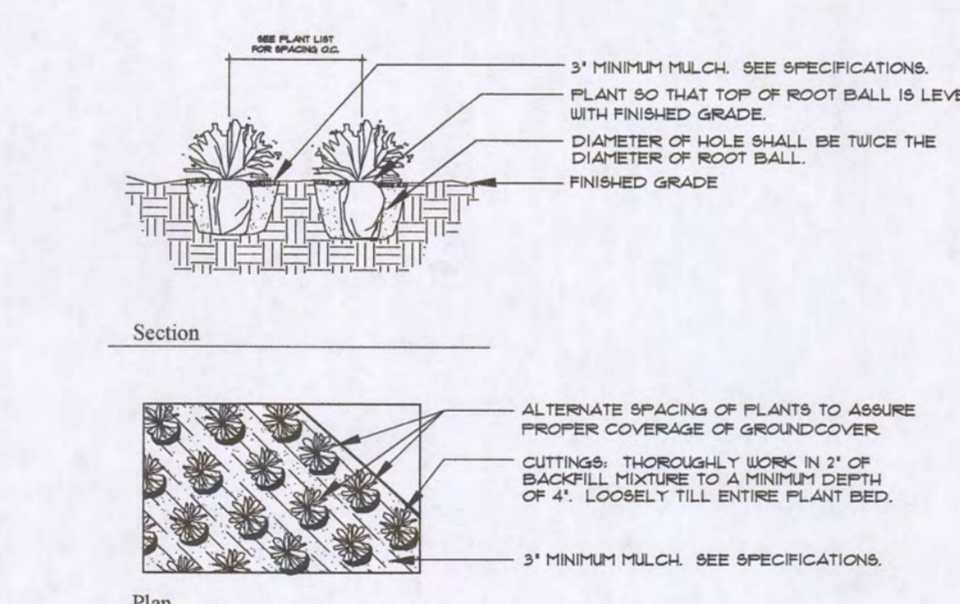
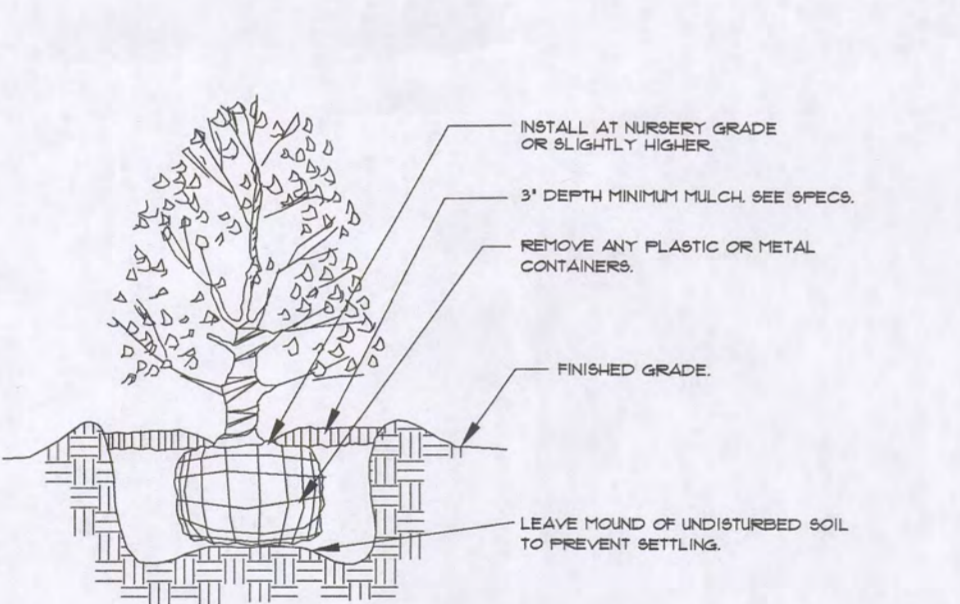
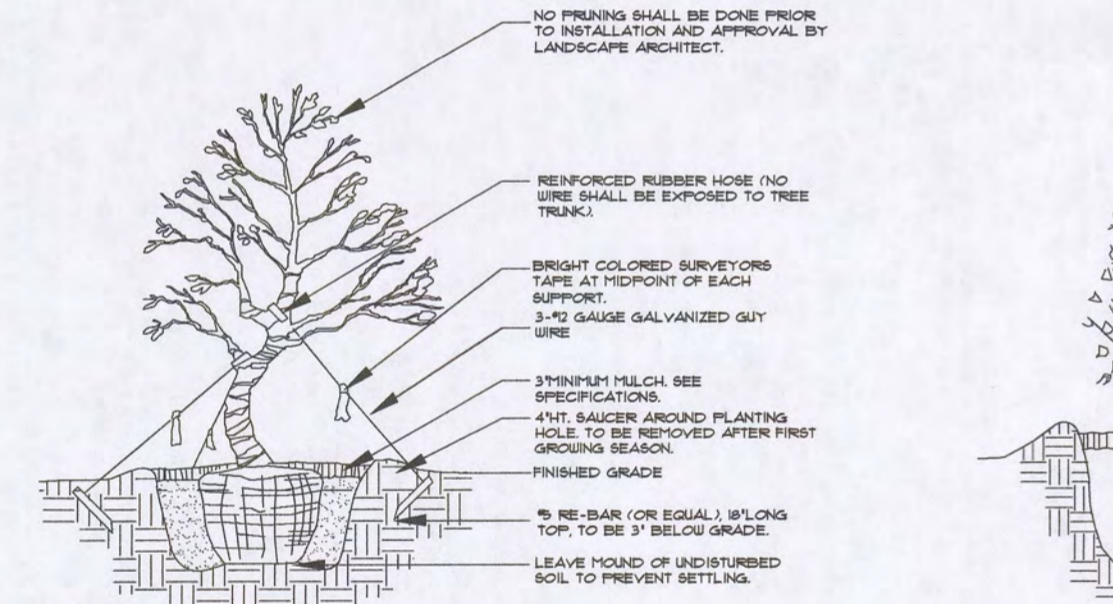
Planting Details



Tree Planting
SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.
BRACING - SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE (OR WIRE) ALL TREES TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.

Palm Planting
APPLIES TO: ROYAL PALMS, GREEN PALMS, ALEXANDER PALMS, MANILA PALMS.
SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.
BRACING - SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE ALL PALMS TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.

Palm Planting
APPLIES TO: SABAL PALMS, WASHINGTON PALMS, CANARY ISLAND DATE PALMS, BIRNIAL DATE PALMS.
SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.
BRACING - SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE ALL PALMS TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.



Irregular & Multi-Stem Tree Planting
FOR TREES 6"-14"
SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.
BRACING - SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE (OR WIRE) ALL TREES TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.

Shrub Planting
SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.

Groundcover Planting
SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.

Plant List

SYM	QTY	NAME	SPECIFICATIONS
PALMS			
O CM	54	Caryota mitis / Fishtail Palm	16' ht., full to base, dense
O CN	29	Coccothrinax / Green Malay Palm / Coconut Palm	heavy cal., full frond, see plans for cul. Hts. and curved trunks
O DL	9	Dypsis lutescens / Areca Palm	14' ht., full frond, dense
O LC	25	Livingstonia chinensis / Chinese Fan Palm	10' ht., multi-stem, full frond, dense
O PD	6	Phoenix dactylifera 'Medjool' / Medjool Date Palm	heavy caliper, full frond, Florida Fancy, see plan for c.t. Hts.
O RE	3	Rhapis excelsa / Lady Palm	6' o.a., full frond
O SP	3	Sabal palmetto / Cabbage Palm	slight trunk, regenerated heads, see plans for c.t. Hts.
O SP-R	1	Sabal palmetto / Cabbage Palm	Relocate from on-site
O TR-1	7	Thrinax radiata / Florida Thatch Palm	5' ht., heavy cal., full frond
O TR-2	13	Thrinax radiata / Florida Thatch Palm	8' c.t., heavy cal., full frond
O TR-3	1	Thrinax radiata / Florida Thatch Palm	7' c.t., heavy cal., full frond
TREES			
O CAE	3	Casalpinia grandiflora / Bridalveil Tree	14' x 10', full canopy, trunk with character, LA approved
O FA	1	Ficus aurea / Strangler Fig	25' x 20', full canopy, LA approved
O FR	4	Ficus rubiginosa / Rusty Fig	16' x 12', full canopy, dense
O LJ	14	Ligustrum japonicum / Glossy Privet Standard	10' x 9', multi-stem, limbed up, full canopy

ACCENTS / SHRUBS / GROUNDCOVER / VINES			
O AG	110	Arachis glabrata / Perennial Peanut	1 gal., 6' x 10', full
O AIG	10	Alcantarea imperialis 'Green' / Green Imperial Bromeliad	15 gal., 24' x 28', full
O AIR	25	Alcantarea imperialis 'Rubra' / Red Imperial Bromeliad	15 gal., 24' x 28', full
O AZ	101	Alpinia zerumbet / Shell Ginger	3 gal., 22' x 20', green leaf, white flowers, full
O CGE	55	Clusia guttifera / Small Leaf Clusia	6' x 4', full to base
O CGS	14	Clusia guttifera / Small Leaf Clusia	8' x 4', full to base
O CI	35	Chrysobalanus icaco / Green Cocoplum	3 gal., 24' x 22', full
O CI-1	37	Chrysobalanus icaco / Green Cocoplum	15 gal., 48' x 36', full to base
O CH	184	Chrysobalanus icaco 'Horizontal' / Horizontal Cocoplum	3 gal., 16' x 18', full
O DS	12	Dioon spinulosum / Giant Dioon	32' x 30', full
O EG	221	Evolvulus glomeratus 'Blue My Mind' / Blue Daze	1 gal., 12' x 14', full
O EL	34	Ernodea littoralis / Golden Creeper	3 gal., 12' x 14', full
O FGI	226	Ficus 'Green Island' / Green Island Ficus	3 gal., 14' x 18', full
O FGI-1	86	Ficus 'Green Island' / Green Island Ficus	7 gal., 22' x 20', full
O HEL	11	Heliconia rostrata / Lobster Claw	15 gal., 1' ht., full to base, dense, Florida Fancy
O LM	2010	Liriope muscari 'Super Blue'	3 gal., 16' x 14', full
O MC	182	Muhlenbergia capillaris / Muhly Grass	3 gal., 22' x 18', full
O MD	18	Monstera deliciosa / Swiss Cheese Plant	3 gal., 18' x 24', full
O MDK	116	Microsorium diversifolium / Kangaroo Fern	1 gal., 10' x 10', full
O NCR	43	Neomarica caerulea 'Regina' / Giant Apostle's Iris	3 gal., 24' x 24', full, purple flower
O OC	428	Odontonema callistachyum / Purple Firespike	3 gal., 24' x 22', full
O FB	175	Philodendron bipinnatifidum / Sellow	3 gal., 24' x 22', full
O FBH	155	Philodendron bipinnatifidum 'Hope'	3 gal., 24' x 22', full
O FBH	440	Philodendron 'Burle Marx'	3 gal., 16' x 18', full
O FN	467	Psychotria nervosa / Wild Coffee	3 gal., 22' x 20', full
O FC	47	Philodendron 'Rejo Congo'	7 gal., 24' x 30', full
O SF	29	Stephanotis floribunda / Bridal Wreath	25 gal., 6' ht., full to base, espalier to wall
O SN	6	Streptocarpus 'White Bird of Paradise'	12'-14' o.a., multi-stem, dense, full frond
O SPG	155	Spathoglottis plicata 'Grappella'	3 gal., 16' x 16', full
O SR	33	Saranea repens 'Cinerea' / Silver Saw Palmetto	15 gal., 24' x 24', full
O SR-1	30	Saranea repens 'Cinerea' / Silver Saw Palmetto	25 gal., 3' x 4', full
O ZF	266	Zamia floridana / Florida Coontie	3 gal., 16' x 18', full
O ZF-1	2	Zamia floridana / Florida Coontie	15 gal., 20' o.a., full

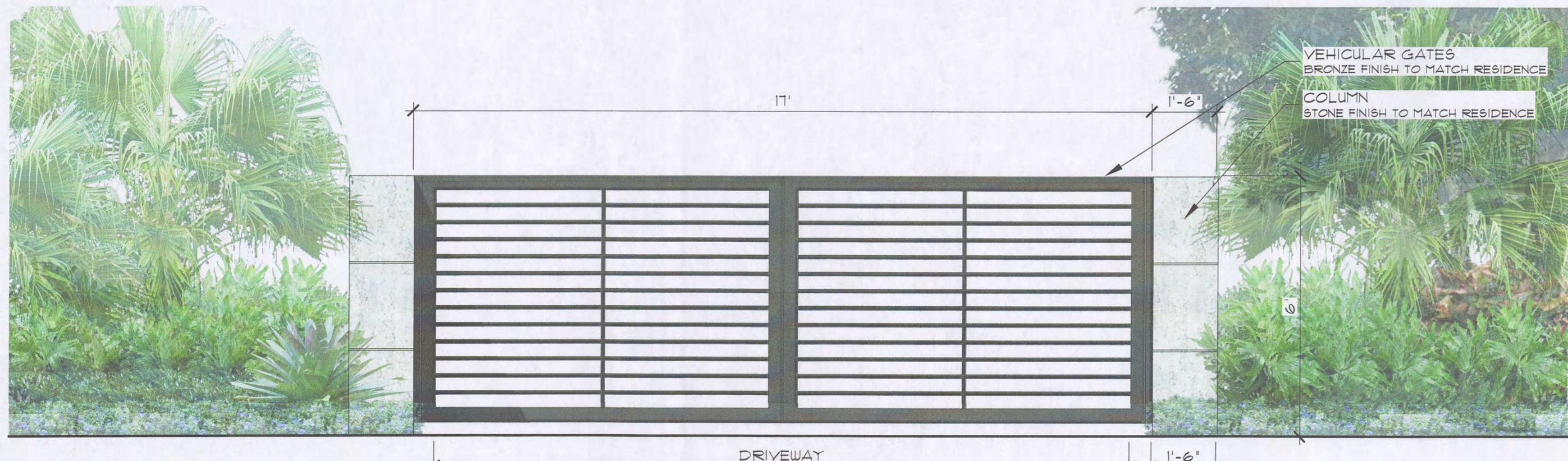
MISCELLANEOUS
SOD Stenotaphrum secundatum 'Palmetto' / St. Augustine 'Palmetto' Solid sod, laid tight
O Denotes Drought Tolerance
* Denotes Florida Native Species

Notes

- Prior to the installation of any plant material all existing and imported soils shall be tested and amended to meet the soil specifications and specific plant needs as shown on this plan.
- All plant material, unless specified as being Florida Fancy or Specimen shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry.
- All plant materials and sod shall have an automatic irrigation system providing 100% coverage. Said system shall consist of an automatic or electronic timing device or switch that will override the irrigation cycle of the sprinkler system when adequate rainfall has occurred.
- Maintain positive drainage away from residence.
- All plant material shall be planted, fertilized and mulched as per the Plant Details and Plant Specifications noted on this plan.
- Landscape Contractor shall research plans and contact appropriate agencies to determine location of utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported immediately to the Landscape Architect.
- Landscape Contractor will be responsible for obtaining all necessary permits, licenses, inspections, and insurance as required by the State and local agencies.

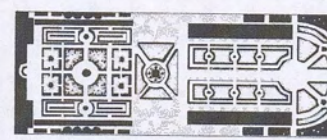
Lot Coverage Data

TOTAL LOT AREA: 12,367 SF.
TOTAL LANDSCAPE OPEN SPACE: 4149 SF.
LANDSCAPE OPEN SPACE COVERAGE: 51.2% (50% MIN.)



A ENTRY GATE ELEVATION

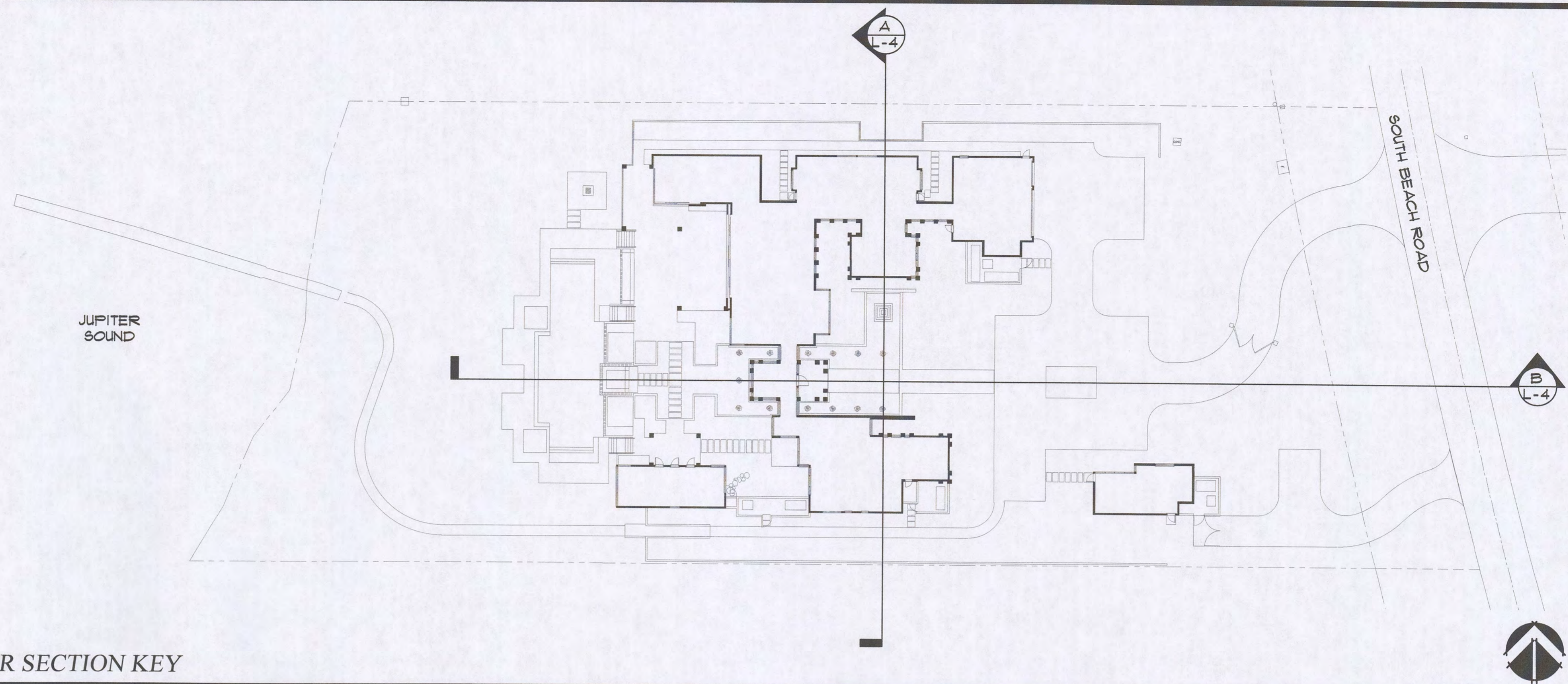
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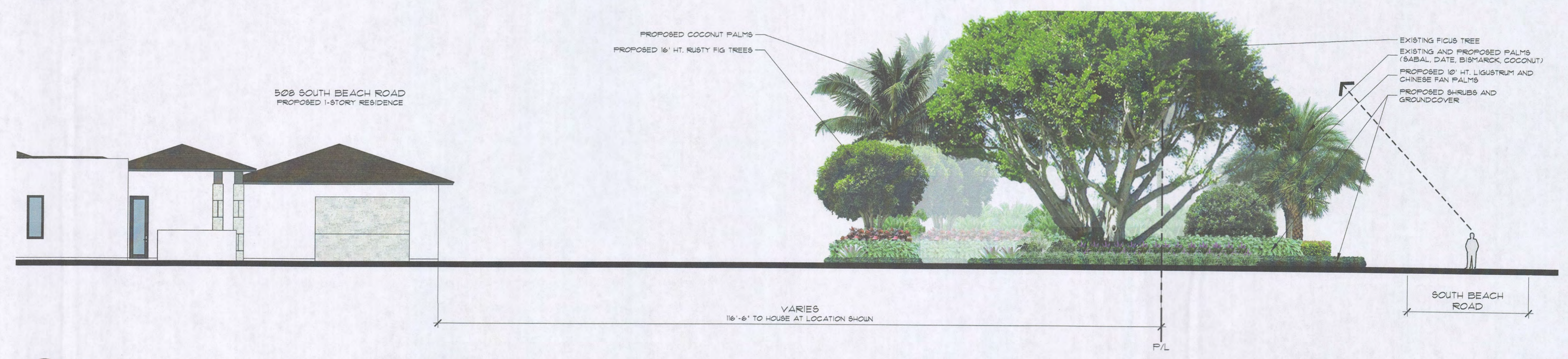
BUFFER SECTION KEY

SCALE: 1/32" = 1'-0"



A NORTH AND SOUTH BUFFER SECTION 'A'
L-4

SCALE: 1" = 10'-0"



B EAST BUFFER SECTION 'B'
L-4

SCALE: 1" = 10'-0"

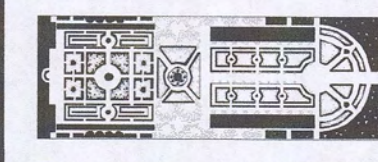
BURFORD RESIDENCE
508 SOUTH BEACH ROAD
JUPITER ISLAND, FLORIDA
BUFFER SECTIONS

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Digitally signed by Paul S. Catania II
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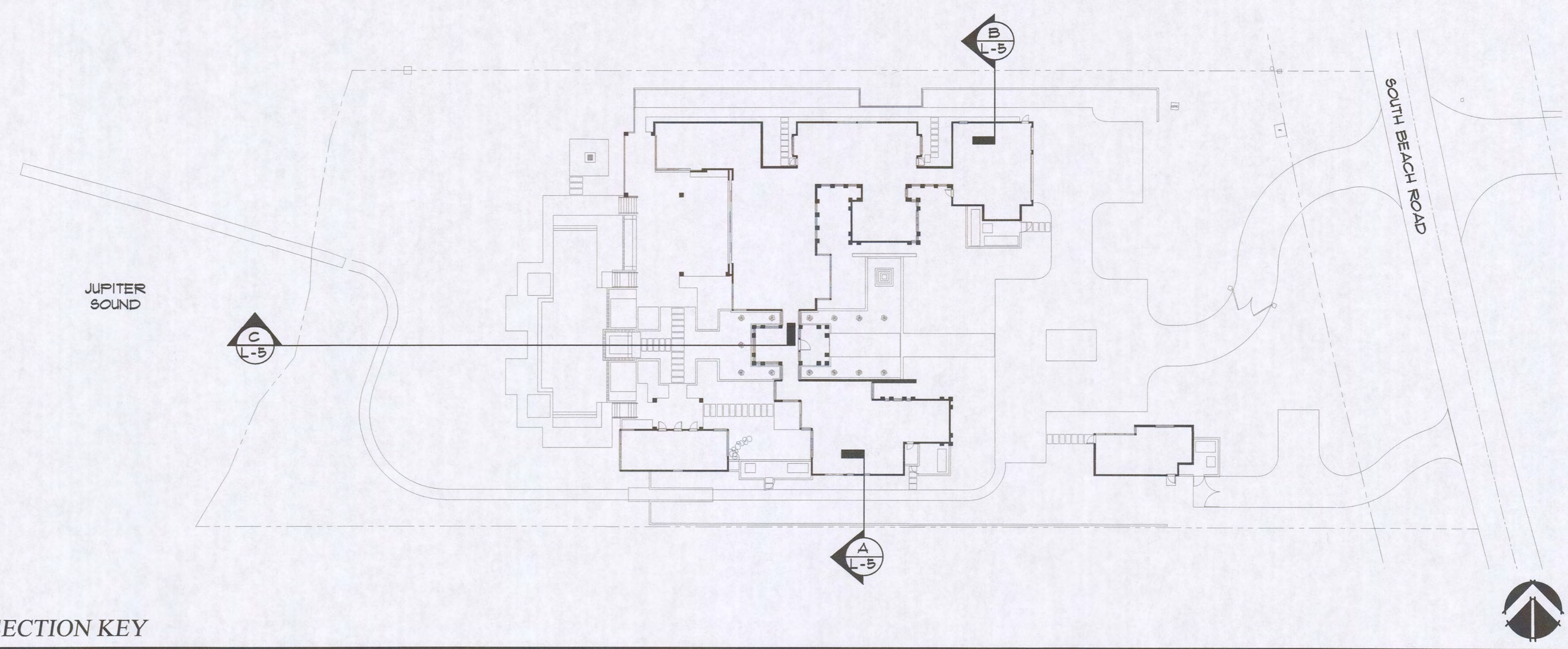
SHEET:
L-4



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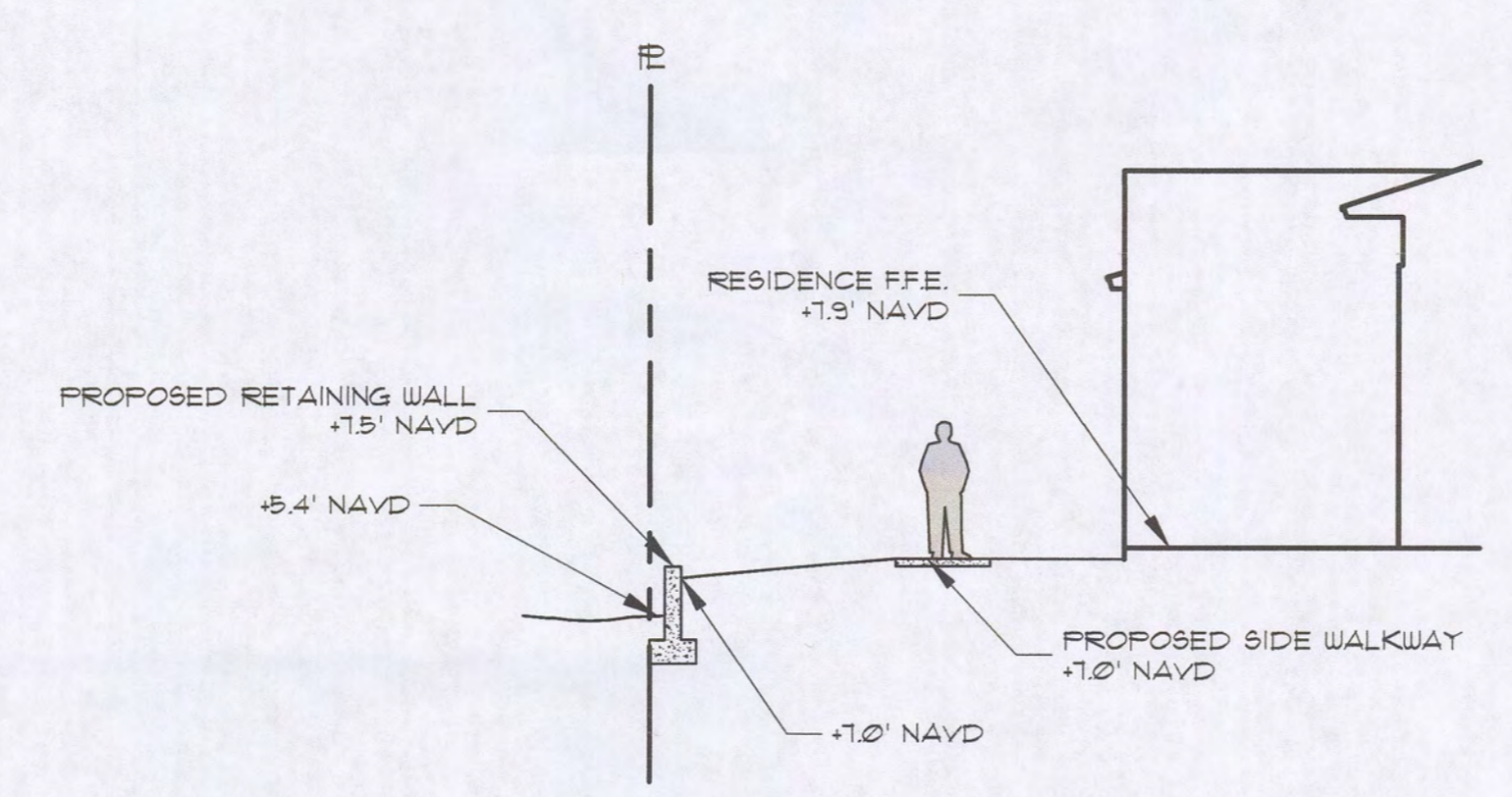
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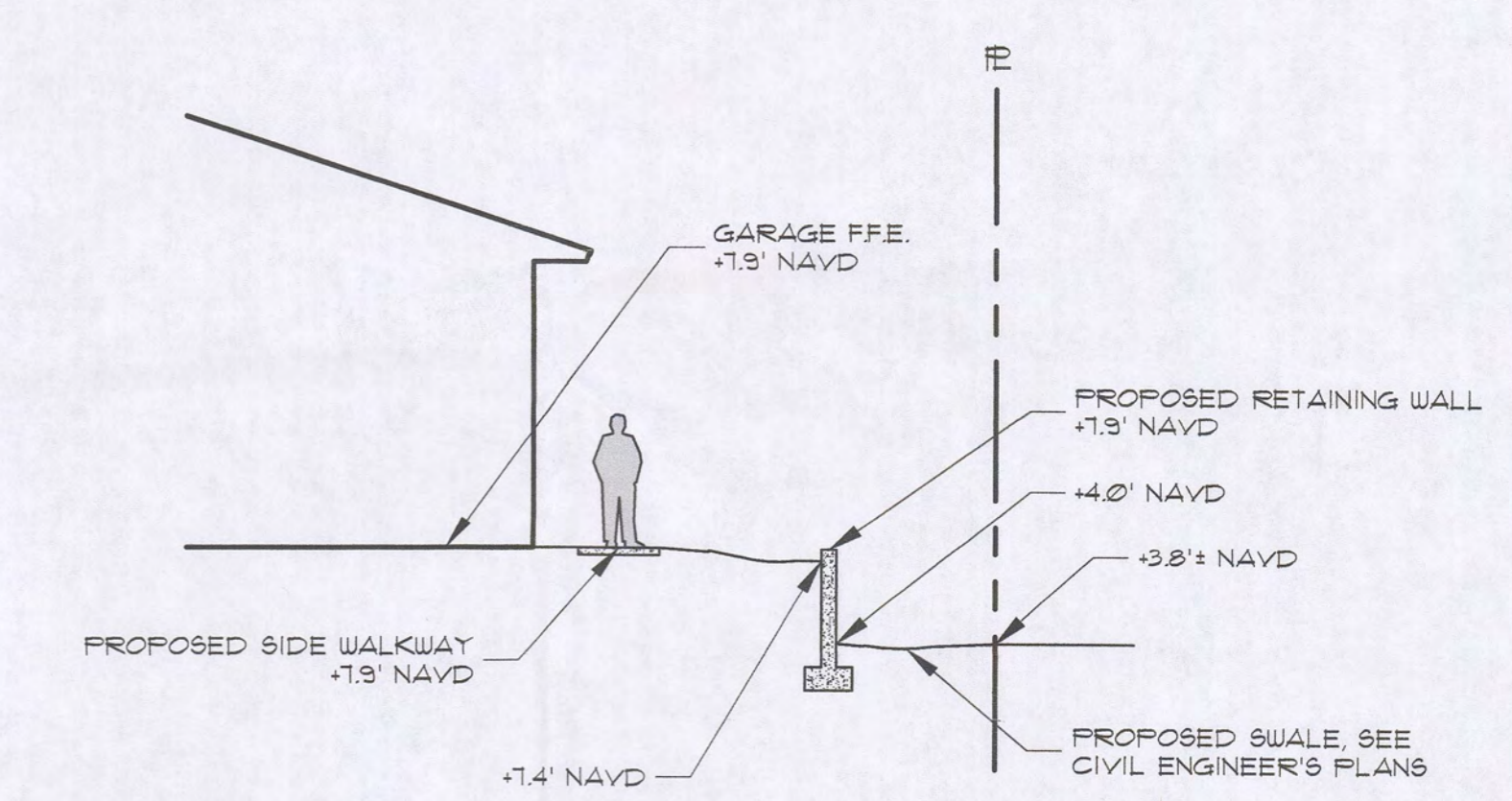


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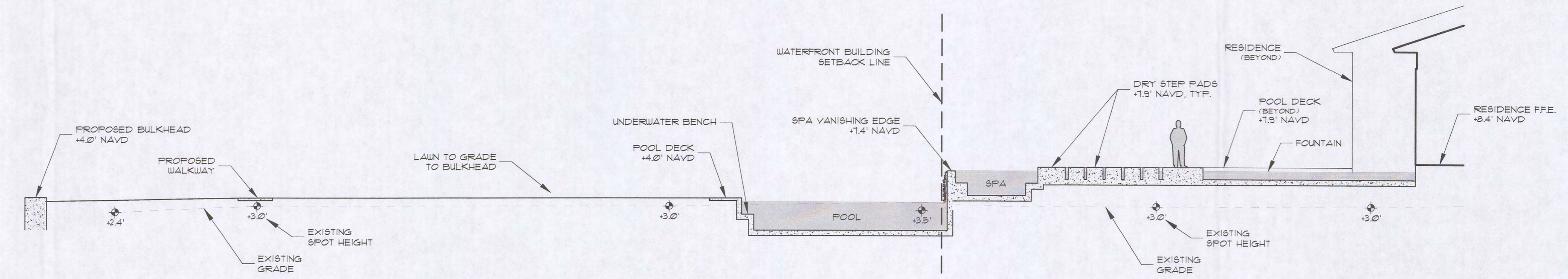
SCALE: 1/32" = 1'-0"



A SOUTH SIDE RETAINING WALL SECTION DETAIL
L-5 SCALE: 1/8" = 1'-0"



B NORTH SIDE RETAINING WALL SECTION DETAIL
L-5 SCALE: 1/8" = 1'-0"



C POOL AND POOL DECK SECTION DETAIL
L-5 SCALE: 1/8" = 1'-0"

BURFORD RESIDENCE
508 SOUTH BEACH ROAD
JUPITER ISLAND, FLORIDA
SITE SECTIONS

DATE: 6.12.24
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1.23.25 BOA/IRC
2.13.2025 BOA/IRC
6.11.2025 IRC

Digitally signed by Paul S. Catania II
Date: 2025.07.18 14:14:25 -04'00'

SHEET: L-5



Existing East Buffer
Note: View from South Beach Road



Proposed East Buffer
Note: View from South Beach Road

Burford Residence
508 South Beach Road, Jupiter Island, Florida



Existing North Buffer - West End
Note: View from inside of property



Existing North Buffer - East End
Note: View from inside of property

Burford Residence
508 South Beach Road, Jupiter Island, Florida



Proposed North Buffer - West End
Note: View from inside of property



Proposed North Buffer - East End
Note: View from inside of property

Burford Residence
508 South Beach Road, Jupiter Island, Florida



Existing South Buffer - East End
Note: View from inside of property



Existing South Buffer - West End
Note: View from inside of property

Burford Residence
508 South Beach Road, Jupiter Island, Florida



Proposed South Buffer - East End
Note: View from inside of property



Proposed South Buffer - West End
Note: View from inside of property

Burford Residence
508 South Beach Road, Jupiter Island, Florida



Existing West Buffer
Note: View from Intracoastal Waterway



Proposed West Buffer
Note: View from Intracoastal Waterway

Burford Residence
508 South Beach Road, Jupiter Island, Florida



GRUBER CONSULTING ENGINEERS

2475 Mercer Avenue, Suite 305
West Palm Beach, FL 33401
561.312.2041
office@gruberengineers.com

48 HOURS BEFORE DIGGING,
CALL 1-800-432-4770
SUNSHINE STATE ONE
CALL OF FLORIDA, INC.

Contractor is responsible for
obtaining location of existing
utilities prior to commencement
of construction activities.

Proposed Septic System Plan For: **PROPOSED RESIDENCE**

508 South Beach Road
Jupiter Island, Florida

PROJECT INFORMATION:	
Project No.	2024-0041
Issue Date	02/11/2025
Scale	1" = 20'

REVISIONS:	
1	06/27/2025
2	
3	
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CHAD M. GRUBER
FLORIDA P.E. NO. 57466
Digitally signed by
Chad M. Gruber
Date: 2025.06.27 15:02:04 -04'00'

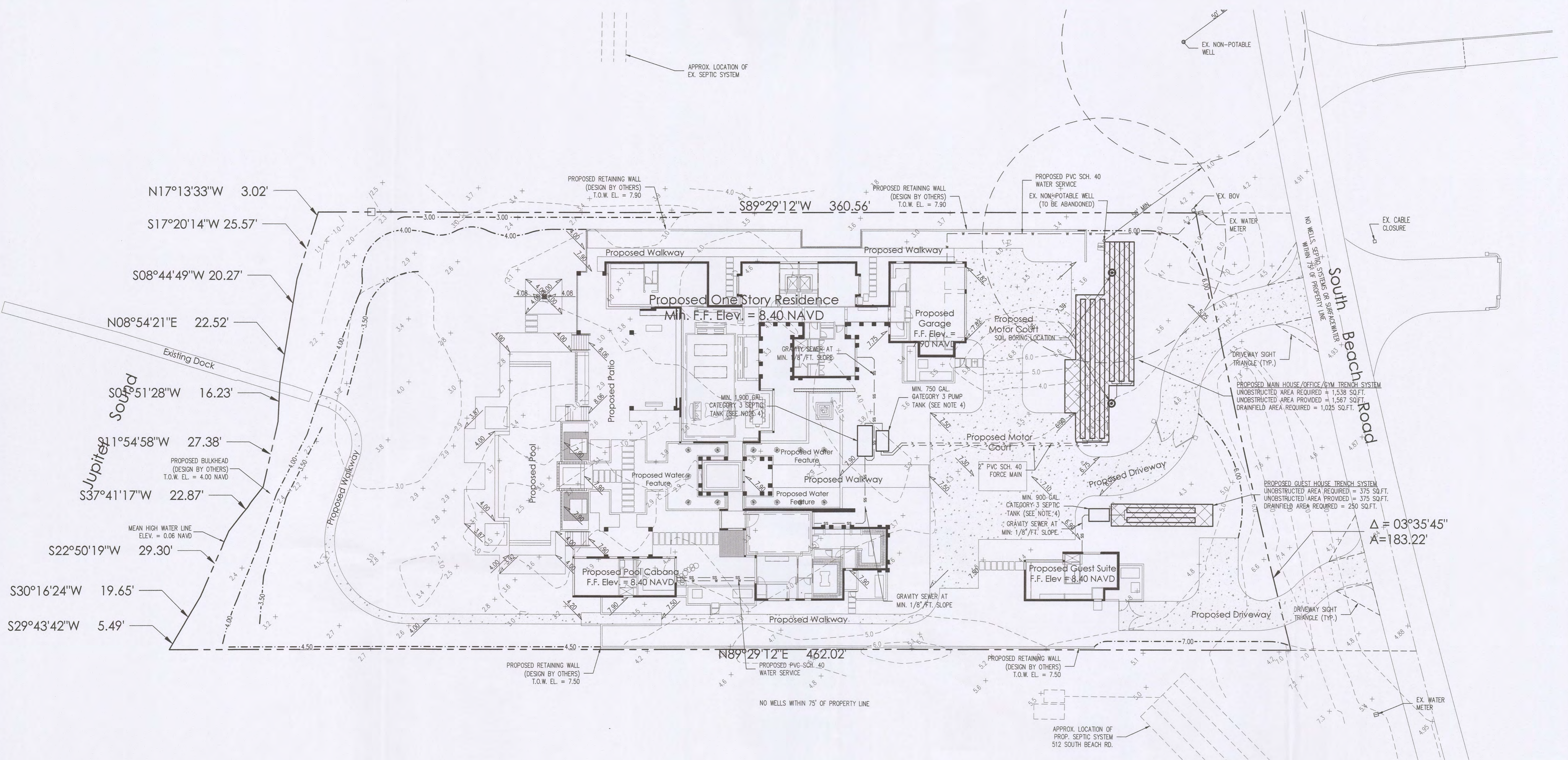
This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

SHEET NUMBER:

SS-1

Plan Background from Hardscape
Plan by Parker-Yannette Design Group
Received 6/26/25

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Septic System Notes:

- 1) Removal of any existing septic system and installation of any proposed septic system shall be in accordance with the requirements of the current specifications and standards of Chapter 62-6 of the Florida Administrative Code and Chapter 381 of the Florida Statutes.
- 2) Fill material used for septic system installation shall meet the requirements of the current specifications and standards of Chapter 62-6 of the Florida Administrative Code and Chapter 381 of the Florida Statutes.
- 3) Septic system drainfield area shall be sodded immediately after the drainfield has been covered.
- 4) Contractor to determine final amount of cover over septic tanks prior to tank installation. Final cover of 18" or less with the wet season water table below top of tank requires min. Category 3 tank. Final cover of 18" to 48" or a wet season water table above the top of tank requires min. Category 4 tank. Contact engineer immediately if amount of cover over tank will be greater than 48".

Sewage Disposal Calculations (Main House/Office/Gym)

A. Project Information

Net usable lot size: 1.655 ac.
 Proposed main house A/C space: 7,144 sq.ft.
 Proposed main house number of bedrooms: 4 bedrooms
 Proposed office/gym A/C space: 711 sq.ft.
 Proposed office/gym number of bedrooms: 0 bedrooms
 Total A/C space: 7,855 sq.ft.
 Total number of bedrooms: 4 bedrooms

Type of drainfield configuration proposed: Trench
 Estimated soil loading rate: 0.8 gpd/sq.ft.

B. Estimated Daily Flow Calculations

The first 3,300 sq.ft. of air-conditioned space is equivalent to 4 bedrooms with each bedroom generating an estimated 100 gpd. The remaining 4,555 sq.ft. of air-conditioned space is converted to equivalent bedrooms using the following formula:

1 equiv. bedroom = 750 sq.ft. of remaining air-conditioned space
 4,555 sq.ft./750 sq.ft./equiv. bedroom = 6.07 equiv. bedrooms
 Use 7 equivalent bedrooms at 60 gpd/bedroom = 420 gpd

Estimated daily flow = 400 gpd + 420 gpd = 820 gpd

C. Proposed Septic System Specifications

Main Trench Septic System Specifications
 Required Drainfield Area: 1,025 sq.ft.
 Required Unobstructed Area: 1,538 sq.ft.
 Min. Septic Tank Size: 1,900 gal.
 Min. Pump Tank Size: 750 gal.

Sewage Disposal Calculations (Guest House)

A. Project Information

Net usable lot size: 1.655 ac.
 Proposed guest house A/C space: 696 sq.ft.
 Proposed main guest house number of bedrooms: 1 bedrooms

Type of drainfield configuration proposed: Trench
 Estimated soil loading rate: 0.8 gpd/sq.ft.

B. Estimated Daily Flow Calculations

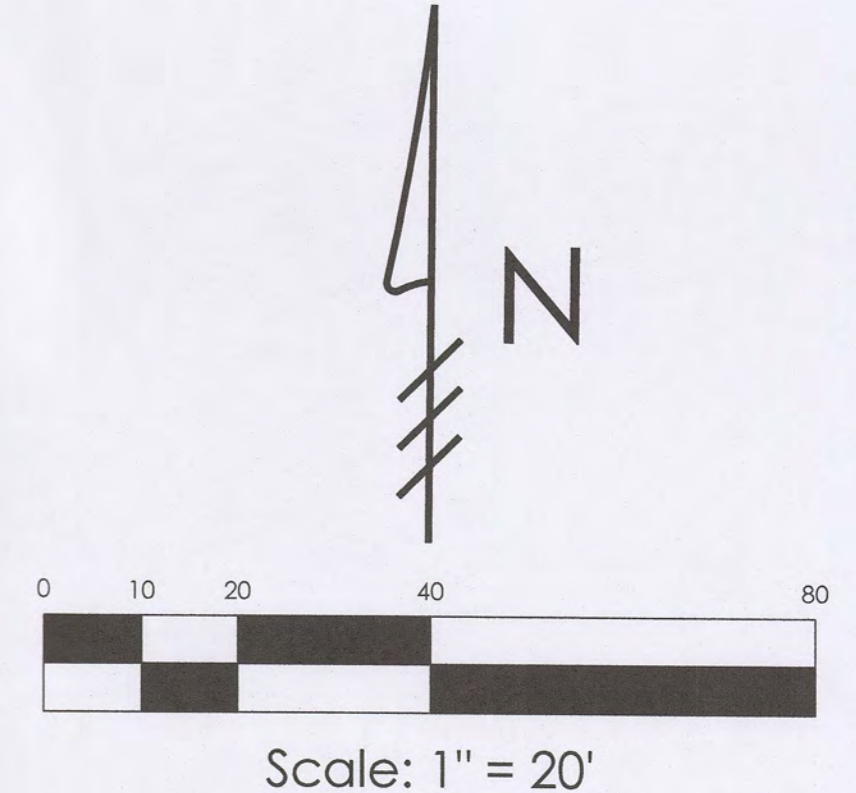
0-750 sq.ft. 1 bedroom equivalent 100 gpd
 System size shall be based on a minimum of 200 gpd
 Estimated daily flow = 200 gpd

C. Proposed Septic System Specifications

Main Trench Septic System Specifications
 Required Drainfield Area: 250 sq.ft.
 Required Unobstructed Area: 375 sq.ft.
 Min. Septic Tank Size: 900 gal.

Legend

- + EXISTING ELEVATION PER R.L. VAUGHT & ASSOC. (NAVD-88)
- 7.0--- EXISTING ELEVATION CONTOUR PER R.L. VAUGHT & ASSOC. (NAVD-88)
- 7.00--- PROPOSED ELEVATION CONTOUR (NAVD-88)
- [Cross-hatched box] SEPTIC SYSTEM UNOBSTRUCTED AREA
- SS--- GRAVITY SEWER AT MIN. 1/8"/FT.
- >>>--- 2" PVC SCH. 40 FORCE MAIN
- W--- WATER SERVICE LOCATION
- ⊙ SOIL BORING LOCATION



06/27/25 UPDATE PLAN BACKGROUND; REVISE SEPTIC SYSTEMS AND CALCULATIONS

Location Map
N.T.S.



GRUBER CONSULTING ENGINEERS

2475 Mercer Avenue, Suite 305
West Palm Beach, FL 33401
661.312.2041
office@gruberengineers.com

48 HOURS BEFORE DIGGING,
CALL 1-800-432-4770
SUNSHINE STATE ONE
CALL OF FLORIDA, INC.
Contractor is responsible for
obtaining location of existing
utilities prior to commencement
of construction activities.

Site Drainage & Septic System Plan For:
PROPOSED RESIDENCE
508 South Beach Road
Jupiter Island, Florida

PROJECT INFORMATION:
Project No. 2024-0041
Issue Date 04/02/2025
Scale 1" = 20'

REVISIONS:

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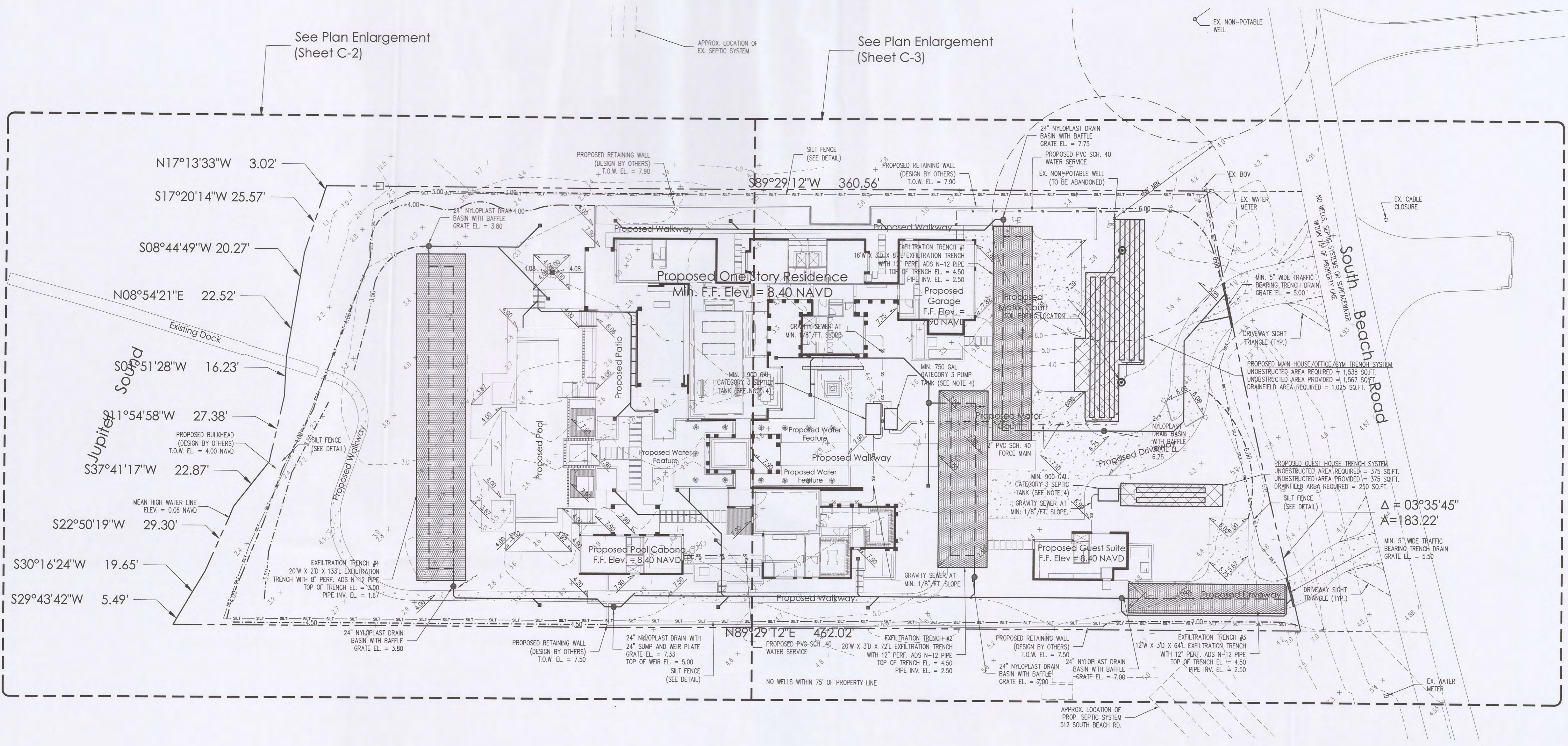
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SHEET NUMBER:

C-1

Plan Background from Hardscape
Plan by Parker-Yannette Design Group
Received 6/26/25
© 2025 Gruber Consulting Engineers, Inc.

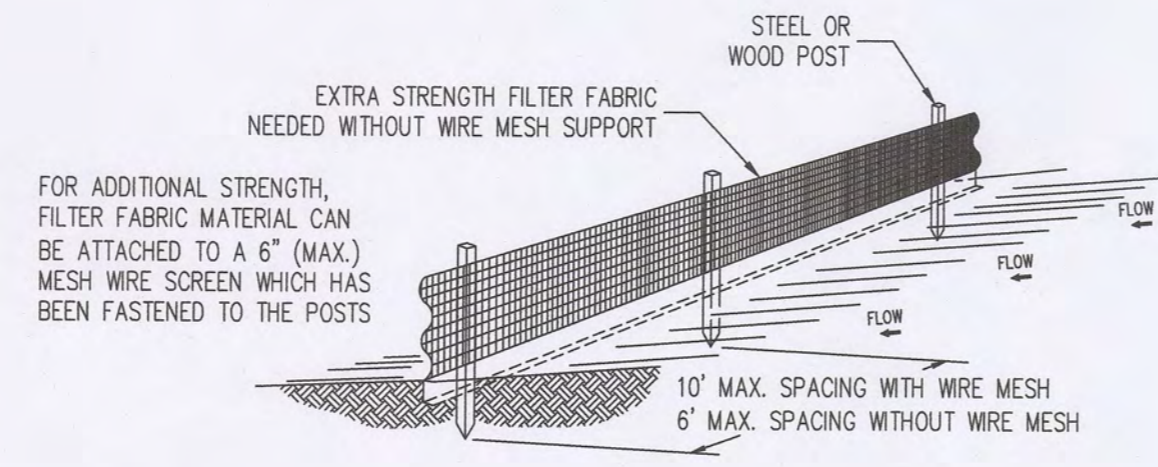


Drainage System Notes:

- 1) Infiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- 3) Contractor is responsible for installing and maintaining erosion control measures during construction.

Septic System Notes:

- 1) Removal of any existing septic system and installation of any proposed septic system shall be in accordance with the current specifications and standards of Chapter 62-6 of the Florida Administrative Code and Chapter 381 of the Florida Statutes.
- 2) Fill material used for septic system installation shall meet the requirements of the current specifications and standards of Chapter 62-6 of the Florida Administrative Code and Chapter 381 of the Florida Statutes.
- 3) Septic system drainfield area shall be sodded immediately after the drainfield has been covered.
- 4) Contractor to determine final amount of cover over septic tanks prior to tank installation. Final cover of 18" or less with the wet season water table below top of tank requires min. Category 3 tank. Final cover of 18" to 48" or a wet season water table above the top of tank requires min. Category 4 tank. Contact engineer immediately if amount of cover over tank will be greater than 48".

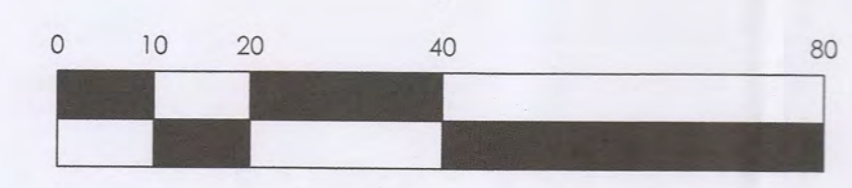
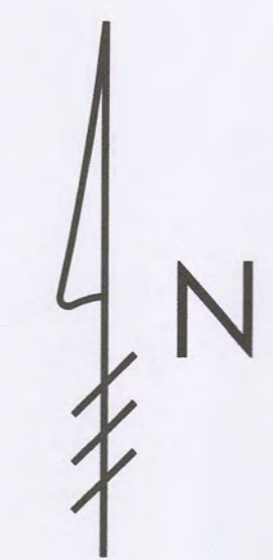


Notes:

- 1) The height of a silt fence shall not exceed 36".
- 2) Filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
- 3) Posts shall be spaced a maximum of 10' apart at the barrier location and driven securely into the ground a minimum of 12". When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6'.
- 4) A trench shall be excavated approximately 4" wide and 4" deep along the line of posts and upslope from the barrier.
- 5) When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1" long, tie wires, or hog rings. The wire shall extend into the trench a minimum of 2" and shall not extend more than 36" above the original ground surface.
- 6) The standard strength filter fabric shall be stapled or wired to the fence, and 8" of the fabric shall be extended into the trench. The fabric shall not extend more than 36" above the original ground surface.
- 7) The trench shall be backfilled and the soil compacted over the filter fabric.

Legend

- 5.7 + EXISTING ELEVATION PER R.L. VAUGHT & ASSOC. (NAVD-88)
- 7.0 - EXISTING ELEVATION CONTOUR PER R.L. VAUGHT & ASSOC. (NAVD-88)
- 7.00 - PROPOSED ELEVATION (NAVD-88)
- 7.00 - PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE
- SEPTIC SYSTEM UNOBSTRUCTED AREA
- SS - SS - GRAVITY SEWER AT MIN. 1/8"/FT.
- > - > - 2" PVC SCH. 40 FORCE MAIN
- - - - WATER SERVICE LOCATION
- SOIL BORING LOCATION



Scale: 1" = 20'



Stormwater Retention Calculations

A. SITE INFORMATION

Total Property Area = 72,107 sq.ft. (1.655 ac.)

Impervious Plan Area = 30,169 sq.ft.

Remaining Pervious Plan Area = 41,938 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

1. Rainfall and Soil Storage Data

Accumulated 5yr-1day rainfall (P): 7.0 in.
Soil type and condition: coastal, sandy, compacted
Potential maximum soil retention (Smax): 8.18 in.

2. Estimated Runoff Volume

Determine the weighted soil storage amount by multiplying the potential maximum retention (Smax) by the percent of pervious surface area proposed:
Sweighted = (8.18 in. x 41,938 sq.ft.) / 72,107 sq.ft. = 4.76 in.

The amount of accumulated direct runoff in inches can be determined from the following formula:

$$Q = (P - 0.2 \times S_{weighted}) / (P + 0.8 \times S_{weighted}) = 3.38 \text{ in.}$$

Volume of Runoff = 3.38 in. x 72,107 sq.ft. x 1 ft./12 in. = 20,310 cu.ft.

Vol. of runoff to be retained in exfiltration trenches (including 20% safety factor) = 24,372 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

Per SFWMD Volume IV, Permit Information Manual, Figure F-4, the formula for determining the required length of exfiltration trench is given as:

$$L = \frac{V}{K(H_2W + 2H_2Du - Du^2 + 2H_2Ds) + (1.39 \times 10^{-4})WDu}$$

Exfiltration Trench #1
L = Total Length of Trench Provided = 87 ft
W = Trench Width = 16 ft
K = Hydraulic Conductivity = 0.000102 cfs/sq.ft./ft. of head
H2 = Depth to Water Table = 3.50 ft
DU = Un-Saturated Trench Depth = 3.00 ft
DS = Saturated Trench Depth = 0.00 ft

V = Volume Treated = 4,297 cu.ft.

Exfiltration Trench #2
L = Total Length of Trench Provided = 72 ft
W = Trench Width = 20 ft
K = Hydraulic Conductivity = 0.000102 cfs/sq.ft./ft. of head
H2 = Depth to Water Table = 3.50 ft
DU = Un-Saturated Trench Depth = 3.00 ft
DS = Saturated Trench Depth = 0.00 ft

V = Volume Treated = 4,366 cu.ft.

Exfiltration Trench #3
L = Total Length of Trench Provided = 64 ft
W = Trench Width = 12 ft
K = Hydraulic Conductivity = 0.000102 cfs/sq.ft./ft. of head
H2 = Depth to Water Table = 3.50 ft
DU = Un-Saturated Trench Depth = 3.00 ft
DS = Saturated Trench Depth = 0.00 ft

V = Volume Treated = 2,442 cu.ft.

Exfiltration Trench #4
L = Total Length of Trench Provided = 133 ft
W = Trench Width = 20 ft
K = Hydraulic Conductivity = 0.000102 cfs/sq.ft./ft. of head
H2 = Depth to Water Table = 2.30 ft
DU = Un-Saturated Trench Depth = 1.50 ft
DS = Saturated Trench Depth = 0.50 ft

V = Volume Treated = 4,621 cu.ft.
Total Volume Retained in Exfiltration Trenches = 15,726 cu.ft.

Report of Exfiltration Test

Client: Gruber Consulting Engineers, Inc. Order No: 498.11
Project: Existing Residence Report No: 1
Location: 508 South Beach Road Date: 7/25/24
City: Jupiter, Florida
Test: Usual Open Hole Exfiltration Test
Surface Elevation: Approx. 1' below Road Crown Water table from ground surface: 3'
Casing Diameter: 6"
Tube Depth: 8'

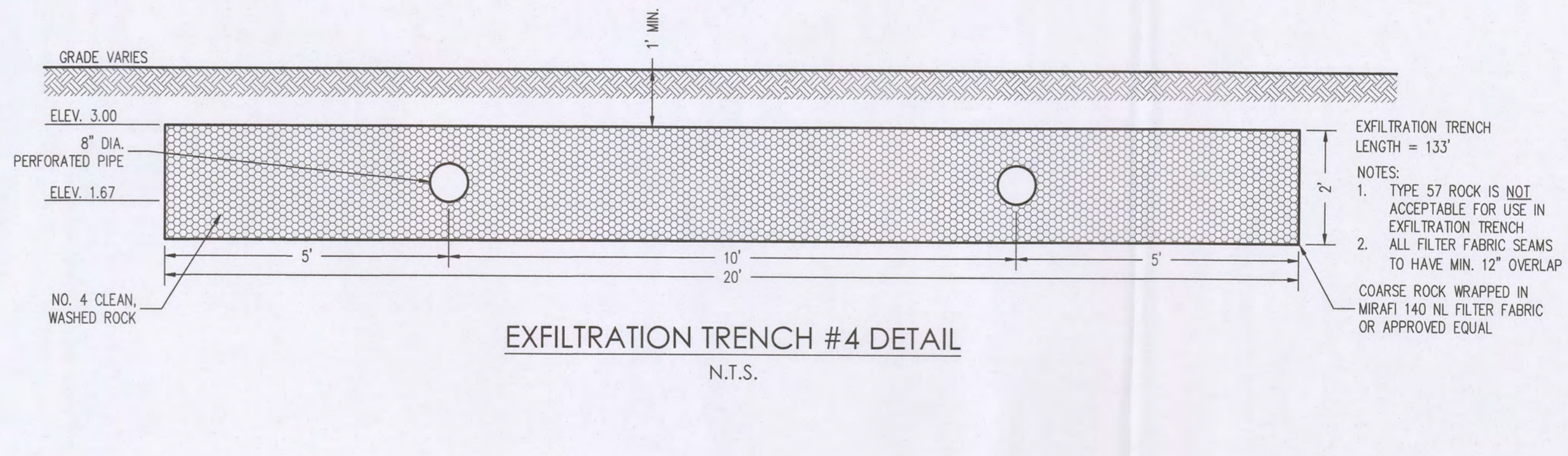
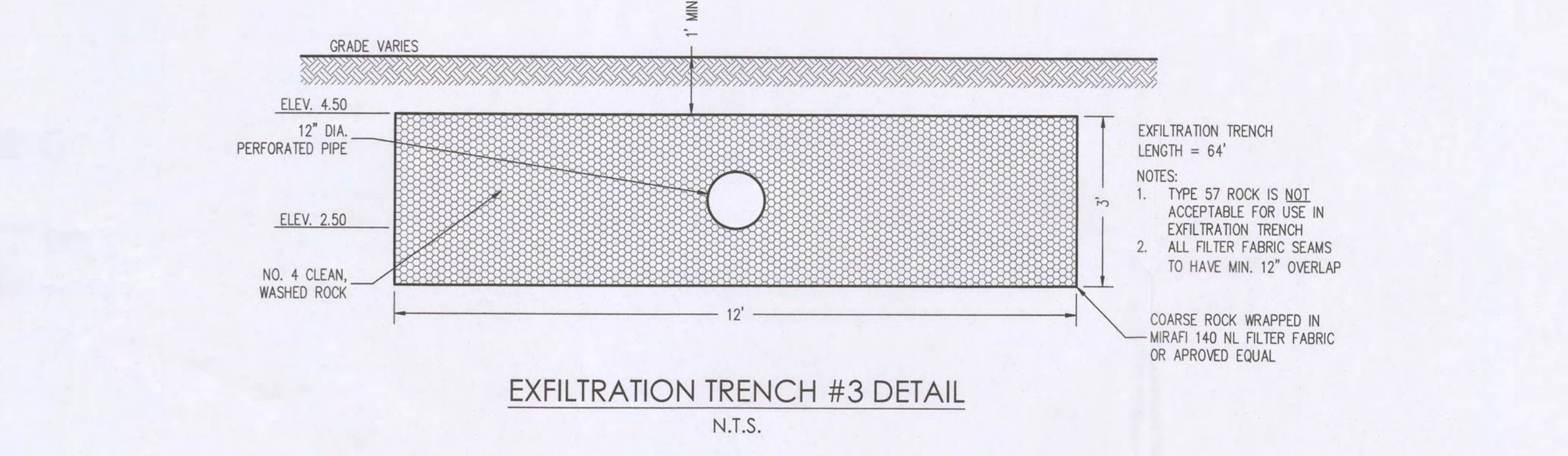
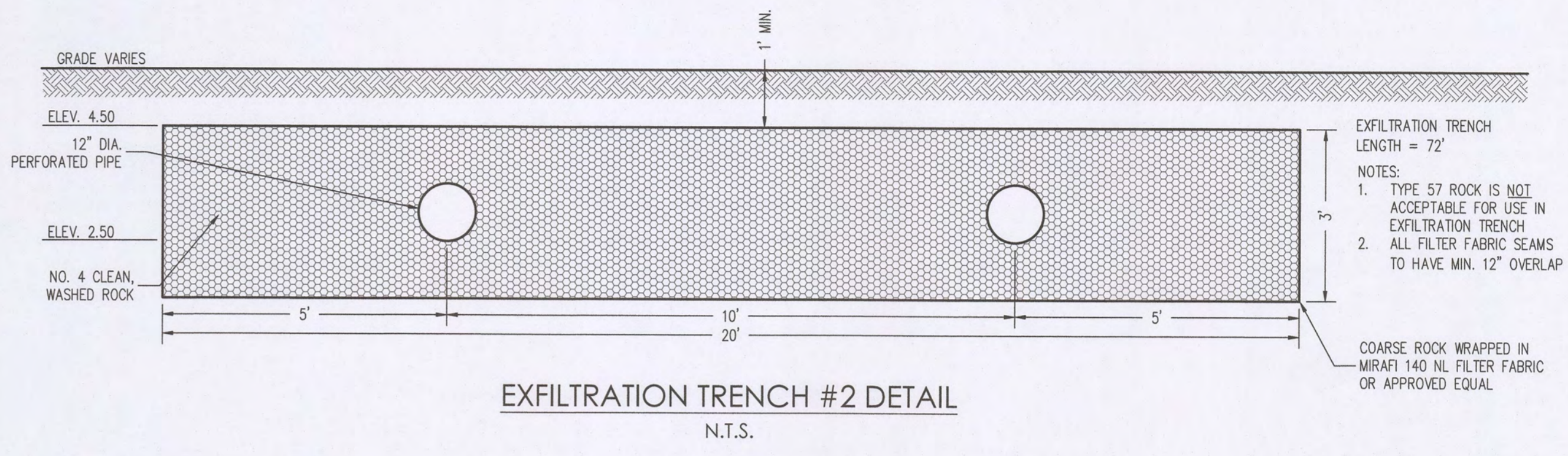
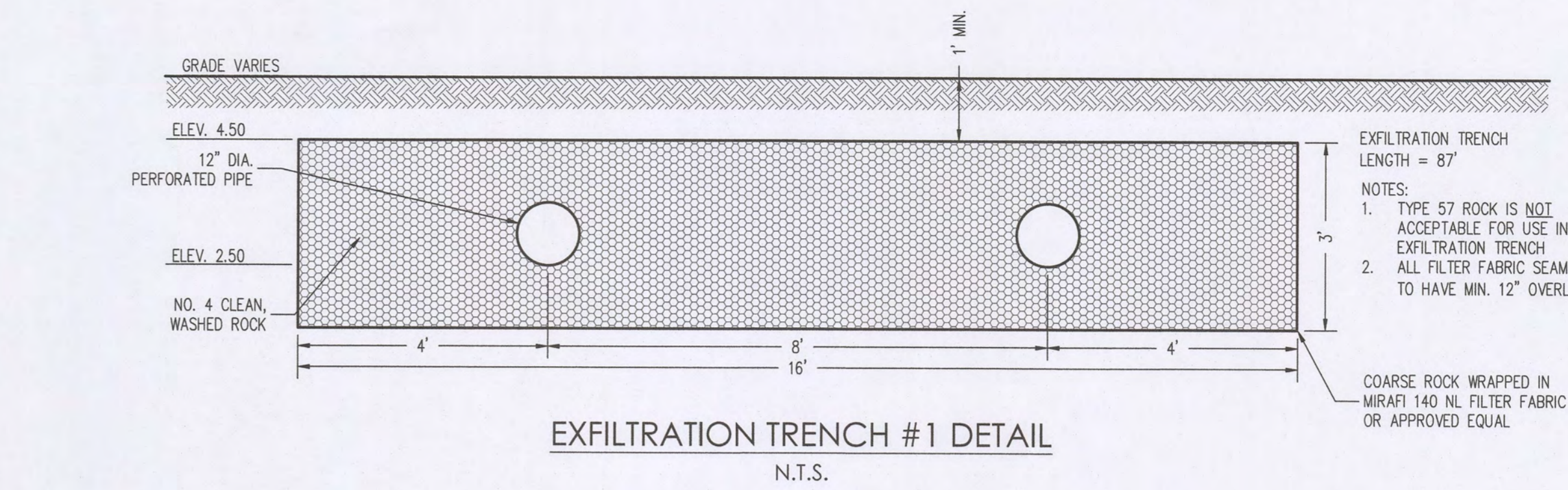
Hydraulic Conductivity (K) = 1.02 x 10⁻⁴ cfs/ft²/ft. head

EXFIL NO. 1	One Minute Increment	Pump Rate in Gal/Min
1	1.5	
2	1.5	
3	1.0	
4	1.0	
5	1.0	
6	1.0	
7	1.0	
8	1.0	
9	0.5	
10	0.5	

Sample Location: Approx. as located on Test Location Plan.

Material:
0-4" Gray to brown fine SAND
4-1" LI tan fine SAND
1-4" LI gray fine SAND, trace shell
4-8" Brown fine SAND, trace limestone and shell

1318 NEPTUNE DRIVE - BOYNTON BEACH, FLORIDA 33426 461-736-4988 - FAX 561-737-9975
Treasurer Coast 772-498-1050 - Broward 954-941-8700 - Miami Dade 305-824-0060



1 06/27/25 REVISE CALCULATIONS AND EXFILTRATION TRENCH DETAILS



GRUBER CONSULTING ENGINEERS

2475 Mercer Avenue, Suite 305
West Palm Beach, FL 33401
561.312.2041
office@gruberengineers.com

48 HOURS BEFORE DIGGING,
CALL 1-800-432-4770
SUNSHINE STATE ONE
CALL OF FLORIDA, INC.
Contractor is responsible for
obtaining location of existing
utilities prior to commencement
of construction activities.

Drainage Specification & Details For:
PROPOSED RESIDENCE
508 South Beach Road
Jupiter Island, Florida

PROJECT INFORMATION:
Project No. 2024-0041
Issue Date 04/02/2025
Scale As Shown

REVISIONS:

1	06/27/2025
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Chad M
Gruber
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SHEET NUMBER:

C-5



**TOWN OF JUPITER ISLAND
Impact Review Committee
September 11, 2025**

STAFF REPORT

To: Members of the Impact Review Committee
CC: Thomas Baird, Town Attorney; Robert Garlo, Town Manager
From: Catherine Harding, Building Planning and Zoning Director
Ref: 101 Harbor Way

Owners:

Luke Charlton and Erin Charlton, represented by Tyler Nielsen of Nielsen Landscape Architects, LLC.

Property Description:

101 Harbor Way, B-40 District, 1-Acre Estate Residential District.

Request:

Improvements to landscape, installation of new driveway, entry gate, pool and pool terrace.

Planning and Zoning Analysis:

There is no new floor area. This request is to improve existing conditions.

The attached reports were submitted by Fire Chief, Frank Lasaga and King Tree Service. Any requirements in these reports will be enforced by the Building Department prior to a Building Permit or Certificate of Occupancy being issued.

Stuart Trent, SMRU Director and Director of Engineering stated in an email dated August 11, 2025 that there is no SMRU review necessary for this project as it does not require any additional utility services. Nor is an engineering review necessary as it does not require a drainage or stormwater review.

The Construction Site Maintenance and Landscaping Buffer Requirements will be enforced by Code Compliance.

IRC Review Standards:

The applicant has replied to the Impact Review Standards set in the Town of Jupiter Island Land Development Regulations, Article X, Division 2. Impact Review, Section 2.02 Standards for Impact Review, attached.

Upon review, the Committee shall make a decision based upon compliance with these standards.

CAH/8-21-25

Sec. 2.02. - Standards for impact review.

The decision-maker shall approve an application for impact review approval if the applicant demonstrates that:

- A. The proposed development will not adversely affect the public interest; and
- B. The proposed development is consistent with the surrounding neighborhood character; and
- C. The visibility of the proposed development from public rights-of-way, adjacent properties, the beach, the ocean and the intracoastal waterway is minimized in a manner that is consistent with the surrounding neighborhood character; and
- D. The landscape treatment along the front lot line is comparable to the character and quantity of the streetscape along lot frontage on the same public road for a distance of 1,000 feet in both directions; and
- E. The proposed ingress and egress is functionally adequate with regard to vehicular and pedestrian safety, separation of automotive traffic, traffic flow and control, provision of services, servicing of utilities, refuse collection, and access in case of fire, catastrophe or emergency; and
- F. Proposed screens and buffers are sufficient to ensure compatibility of uses and buildings with adjacent properties; and
- G. The location, design and character of lighting and sound will not adversely affect adjacent properties; and
- H. The proposed stormwater management system is sufficient to prevent runoff from adversely affecting adjacent properties; and
- I. The proposed development is designed and located so that all buildings are screened from view from adjacent properties and public roads such that the visual character of the proposed development from adjacent properties and public roads is predominantly natural, landscape plant material, and land forms.

(Ord. No. 368, § 3, 7-17-18)

KING TREE SERVICE

OF SOUTH FLORIDA

P.O. Box 210847
Royal Palm Beach, FL 33421-0847

August 7, 2025

**Catherine Harding
Town of Jupiter Island
2 Bridge Road
Hobe Sound, FL 33455**

RE: 101 Harbor Way

Overview

Scope of work- Landscape, driveway, pool, hardscape.

Is a Tree Survey Included? A standard tree survey is not included but we are able to get a good idea of what is on site with the Disposition Plan.

Are Trees Tagged and Numbered? Yes, however, the tree numbers do not match the numbers shown on the Disposition plan.

Is a Tree Disposition List Included? Yes. Trees affected by construction are shown on the Disposition List. It appears that nearly all major trees will be removed from the site. The tree numbers on the disposition schedule do not match the tag numbers on the trees.

Number of trees on site: Exact number is unknown but is approximately 38.

Number of trees affected by construction: 38

Trees to Remove

Number of removals: 38

Will all invasive species be removed? Invasive species were not noted to be present.

Number of Native species removed: 4 Southern Magnolia are scheduled for removal. While the Magnolia is considered native to Florida, its native range is north and central Florida, not south Florida. Also, the replacement trees for the Magnolias consist of Green Buttonwood and Mahogany which are a better native species for this area. I am ok with the removal of the Magnolias.

Trees to Relocate

Number of relocations: 0

Number of Native species relocated: 0

Trees To Remain

Are the trees to remain suitable for the site and location? Yes. Also, all Mangroves will remain undisturbed.

Is tree protection fencing to be installed? No but I do not believe it will be necessary for this project.

KING TREE SERVICE

OF SOUTH FLORIDA

P.O. Box 210847
Royal Palm Beach, FL 33421-0847

Sight Triangle

Is the sight triangle impacted by plant material? The egress from this driveway is a straight line and therefore a clear sight triangle is not necessary.

Construction Buffer

Temporary fence, gates, screen material in place? Yes

North Property Line: Appears to be overall Sufficient / Insufficient

South Property Line: Appears to be overall Sufficient / Insufficient

East Property Line: Appears to be overall Sufficient / Insufficient

West Property Line: Appears to be overall Sufficient / Insufficient

Notes:

Final Buffer

North Property Line: Appears to be overall Sufficient / Insufficient

South Property Line: Appears to be overall Sufficient / Insufficient

East Property Line: Appears to be overall Sufficient / Insufficient

West Property Line: Appears to be overall Sufficient / Insufficient

Notes:

New Plant Material

Are new plant species suitable for the site? Yes. A large amount of new plant material will consist of native species.

Prepared by:



Brian Fischer
ISA Certified Arborist FL-5287A



MEMORANDUM

TO: Building Department
FROM: Sergeant/Fire Chief Frank Lasaga
DATE: August 6, 2025
SUBJECT: 101 Harbor Way

After reviewing the proposed plans for the construction of a single-family residence at 101 Harbor Way, Jupiter Island, I find the following considerations relating to Traffic and Safety for the project:

Traffic: Please advise the builder to limit disruption to the adjacent traffic flow. Please have arriving and departing truck traffic at the site enter via S Beach Rd. Trucks over 1 ton are prohibited on Gomez Rd, except for local deliveries.

Traffic control, i.e. flag crews, are required when traffic entering and exiting the site impacts general traffic flow and when equipment/supply deliveries must be done from the roadway.

Parking: There will be limited parking available for this project. Please remind the builder to make parking arrangements and transport workers to and from the site from off island, as needed. There will be no parking in the following areas:

- On the road right of way
- On any other private property, unless specifically permitted by the owner of the property in question

Fire Suppression: There is adequate water supply for this site with the existing hydrants and the relatively short distance from the right of way to the dwelling.

The current site plan appears to provide adequate access for emergency vehicle access.

Please provide Public Safety with the gate code to include in the resident file for use in the event of an emergency.

Crime Prevention through Environmental Design: The site plan and landscaping plans appear to provide adequate space around the dwelling and its entry points. Site/landscaping lighting, in compliance with other town requirements, is encouraged to limit areas of potential concealment by persons.

Site Security: Please secure the site with a chain link fence and closing gate. “Felony Trespass Warning” signs should be posted in a visible location. Porta Jon’s shall be located to be out of plain view from the roadway. All tools should be secured on the site at the end of the day in a locked container or room.

The General Contractor should establish a file on all Contractor’s and Sub Contractor’s employees who are working on the site. This should include and document the names of all employees coming to work on the site and be updated weekly with the following:

- Name
- Address
- Driver’s license number
- Vehicle Registration number

Trespass authorization forms should be signed, notarized, and submitted to the Public Safety Department. The completed form enables officers to act on behalf of the property owner to warn trespassers to leave the site and not return upon penalty of law.

Other concerns: There **are full-time residents** in the immediate area of this construction site. The contractor shall ensure compliance with the following requirements:

- Noise ordinance requirements in and around the site, including decibel and time limits; no loud music permitted.
- No trespassing on private property
- Control of damage to lawns, curbs, rights of way or any foliage by contractors, workers, and equipment. Repairs need to be completed *immediately*.

The purpose of this is to ensure a safe and secure construction site on Jupiter Island. We are requesting this information be incorporated in the initial plan review process and as such, be indicated and agreed upon by the Town of Jupiter Island Building Department prior to issuance of the permit.



**Town of Jupiter Island
Development Application
For
Board of Adjustment
And/Or
Impact Review Committee**



The undersigned owner(s) of the following described property hereby petition this committee to make a determination of the following:

NATURE OF THE REQUEST: (Please Print or Type)

BOARD OF ADJUSTMENT

Variance: Article: _____ Division: _____ Section: _____
 Variance: Article: _____ Division: _____ Section: _____

IMPACT REVIEW COMMITTEE

Development and/or Demolition (Circle all that apply)

FEE: \$1,000 per Request (Please make check payable to the Town of Jupiter Island)

PROPERTY OWNER, as shown in the official County Records (please attach current tax bill & deed)

Name: Luke Charlton & Erin Charlton
 Mailing Address: 101 Harbor Way

<u>Hobe Sound</u>	Street Address	FI	<u>33455</u>
City	State	Zip	

 Phone #: (281) 745-1089 Email: Lwcharlton@yahoo.com

AGENT (If Applicable, notarized power of attorney must be attached)

Name: Nielsen Landscape Architects, LLC
 Mailing Address: 1447 Cypress Drive, Unit 2

<u>Jupiter</u>	Street Address	FI	<u>33469</u>
City	State	Zip	

 Phone #: (561) 402-9414 Email: Tyler@nielsenlandarch.com

DESCRIPTION OF PROPERTY:

Street Address: 101 Harbor Way
 Tax Parcel Number: 35-38-42-018-000-00010-6 Zoning: B-40 (1 Acre Estate)
 Legal/General Description Sadler Tract West, Lot 1

EXPLANATION OF REQUEST (describe what you are trying to accomplish):

*Improvements to landscape

*Installation of new driveway, pool, and pool terrace

AFFECTED ARTICLE AND SECTION (list the wording of the section as it applies):

N/A

HARDSHIP STATEMENT, IF VARIANCE IS REQUESTED:

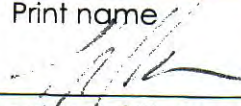
In seeking this variance, I contend that the following hardship would result if the ordinance provisions were strictly enforced and my hardship was denied:

N/A

Information as contained within this application MUST be provided and accepted by the Town of Jupiter Island in order for this project to be considered. Additional information as required by the administrative official or as attached by the applicant constitutes a part of this application. The administrative official reserves the right to reject any application which is improperly filled out or incomplete.

BY: Luke Charlton

Print name


Signature of Owner or Agent—**REQUIRED**

Note: Public Notification

Notice of public hearing is posted as required by law and mailed to residents within one thousand feet (1320') of the property. The notice explains the specific nature of the request, as well as the time, date and location of the public hearing. Any interested party is invited to attend the meeting and may present testimony or written arguments.

Nielsen Landscape Architects
1447 Cypress Drive, Suite 2
Tequesta Florida 33469
561.402.9414

July 15, 2025

VIA HAND DELIVERY

Catherine Harding
Town of Jupiter Island
P.O. Box 7
Hobe Sound, FL 33455

RE: Luke Charlton & Erin Charlton, Application for Impact Review for improvements to the landscape and the installation of a new driveway, pool, and pool terrace.

Property Address: 101 Harbor Way, Jupiter Island, FL 33455

Dear Mrs. Harding:

This office represents the interests of Luke and Erin Charlton as it pertains to their application to the Impact Review Committee. The intent of the application is for improvements to the landscape and the installation of a new driveway, pool, and pool terrace for the referenced residential lot within the Town of Jupiter Island, Florida. The objective of the installation is to improve vehicular circulation within the property and enhanced outdoor livability.

The lot size of 101 Harbor Way is **1 Acre** or **43,560 SF**.

The layout and design of the exterior vehicular driveway, pool, and pool terrace comply with all Jupiter Island regulations 3.16. All of the proposed improvements are located within the property line.

Upon approval of this application by the Impact Review Committee, it is the aim of the applicants to begin the installation within one month.

It is the applicant's intention and desire that the proposed development be constructed in a manner that is consistent with and complimentary to the existing infrastructure of the Town, the surrounding properties and the neighborhood, and cohesive with the characteristics of the area in which the proposed development will occur.

Should you have any questions and/or concerns with regard to any of the foregoing, please do not hesitate to contact the undersigned.

Sincerely yours,

Steven Tyler Nielsen

Steven Tyler Nielsen, PLA 6667067 ASLA

Nielsen Landscape Architects
1447 Cypress Avenue, Suite 2
Tequesta, Florida 33469
561.402.9414

July 15, 2025

VIA HAND DELIVERY

Catherine Harding
Town of Jupiter Island
P.O. Box 7
Hobe Sound, FL 33455

RE: Application for Impact Review for landscape improvements.

Property Address: 101 Harbor Way, Jupiter Island, FL 33455

This office represents the interests of Luke and Erin Charlton as it pertains to their application to the Impact Review Committee for landscape improvements for the referenced residential lot within the Town of Jupiter Island, Florida.

The property owner is seeking permission to make landscape improvements to the property. The scope of work for the project includes the following:

- Renovation of existing driveway (New Gravel and Stone Pavers).
- Demolition of existing pool and installation of new pool.
- Installation of new pool terrace.
- Renovation of outdoor living terrace.
- Enhancement of interior landscape plantings.

The lot size of 101 Harbor Way is **1 Acre** or **43,560 SF**.

As the enclosed application packet, including site plan and landscape plans will demonstrate, my client's request meets the Standards for Impact Review as set forth in Article X, Division II, Section 2.02 in that:

A. The proposed development will not adversely affect the public interest.

The existing landscape buffer and interior plantings will be augmented with additional plantings. The proposed landscape enhancements will be an improvement to the existing property and will be keeping with the character of the Town of Jupiter Island.

B. The proposed development is consistent with the surrounding neighborhood character.

The proposed development shall be consistent with the surrounding neighborhood character.

C. The visibility of the proposed development from public rights-of-way, adjacent properties, the beach, the ocean and the

Intracoastal Waterway is minimized in a manner that is consistent with the surrounding neighborhood character.

As shown in the landscape plan, supplementary landscaping will be added to the East and West property lines and along the private drive entry in order to more sufficiently buffer the proposed development from neighboring properties and public rights-of-way.

D. The landscape treatment along the front lot line is comparable to the character and quantity of the streetscape along lot frontage on the same public road for a distance of one thousand (1,000) feet.

The landscape treatment at the property entrance private drive will be in character with this area utilizing much of the existing vegetation and proposed supplementary plantings.

E. The proposed ingress and egress is functionally adequate with regard to vehicular and pedestrian safety, separation of automotive traffic, traffic flow and control, provision of services, servicing utilities, refuse collection, and access in case of fire, catastrophe or emergency.

The property is located at the end of a private driveway off of Harbor Way. The proposed development will comply with all of the Town's public safety, required servicing, and fire and emergency requirements and will be easily accessible for emergency and other service vehicles.

F. Proposed screens and buffers are sufficient to ensure compatibility of uses and buildings with adjacent properties.

The existing vegetation, combined with the proposed installation of new landscaping, will be sufficient to ensure that the interior of the property is properly shielded from the view of adjacent properties and the public, and shall be in conformity with these Land Development Regulations and in keeping with the character of other properties located within the Large Intracoastal District.

G. The location, design and character of outdoor lighting and sound will not adversely affect adjacent properties.

Outdoor lighting improvements are not within the scope of work.

H. The proposed stormwater management system is sufficient to prevent runoff from adversely affecting adjacent properties.

The proposed stormwater management system will be sufficient to prevent runoff from adversely affecting adjacent properties.

I. The proposed development is designed and located so that all buildings are screened from view from adjacent properties and public roads such that the visual character of the proposed development from adjacent properties and public roads is predominantly natural, landscape plant material and land forms.

The existing structures will be screened from adjacent lots.

Page 3 of 3

June 10, 2022

Re: 410 South Beach Road - Standards for Impact Review

It is my client's intention and desire that all construction be completed in a manner that is consistent with and complimentary to the existing infrastructure of the Town, the surrounding properties and the neighborhood, and cohesive with the characteristics of the area in which the proposed redevelopment will occur.

Should you have any questions and/or concerns with regard to any of the foregoing, please do not hesitate to contact the undersigned.

Sincerely yours,

Steven Tyler Nielsen

Steven Tyler Nielsen, ASLA



Recorded in Martin County, FL 2/9/2024 11:27 AM
 Carolyn Timmann, Clerk of the Circuit Court & Comptroller
 Rec Fees: \$18,500 Deed Tax: \$31,150.00
 CFN#3057125 BK 3419 PG 1589 PAGE 1 of 2

APN: 35-38-42-018-000-00010.60000

Recordation Requested By/Return to:
 ORCHARD STREET SETTLEMENTS LLC
 18 ROBBINS STREET
 TOMS RIVER, NJ 08753
 File No. 23-100277

Send Tax Notices to:
 LUKE W. CHARLTON AND ERIN CHARLTON
 101 HARBOR WAY
 HOBE SOUND, FL 33455

This Instrument Prepared By:
 CAROL ZIMMERLY, ESQ.
 o/b/o BC LAW FIRM, P.A.
 3501 WEST VINE STREET #512
 KISSIMMEE, FL 34741

Copy Copy Copy

WARRANTY DEED

For good consideration in the amount of **Four Million Four Hundred Fifty Thousand and 00/100 Dollars (\$4,450,000.00)**, I (we) **DAVID STONE AND CHRISTINE G. STONE, HUSBAND AND WIFE** whose mailing address is 9104 CORAL ISLES CIRCLE, PALM BEACH GARDENS, FL 33412 hereby bargain, deed and convey to **LUKE W. CHARLTON AND ERIN CHARLTON, AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP**, whose mailing address is 101 HARBOR WAY, HOBE SOUND, FL 33455, the following described land in MARTIN County, State of Florida, free and clear with **WARRANTY COVENANTS**, to wit:

Lot 1 of SADLER TRACT WEST, according to the Plat thereof, as recorded in Plat Book 11, Page 37, of the Public Records of Martin County, Florida;

TOGETHER WITH an easement ingress and egress over that property described in Official Records Book 724, Page 710, as modified by that certain Amendment to Easement Agreement- Vaught Route recorded in Official Records Book 1566, Page 2650 and that certain Second Amendment to Easement Agreement recorded in Official Records Book 1851, Page 1540, all of the Public Records of Martin County, Florida.

Together with that certain Easement for Beach Access recorded in OR Book 2192, Page 243, Public Records of Martin County, Florida.

PROPERTY ADDRESS: 101 HARBOR WAY, HOBE SOUND, FL 33455
 This instrument was prepared without the benefit of a title examination.

Grantor, for itself and its heirs, hereby covenants with Grantee, its heirs, and assigns, that Grantor is lawfully seized in fee simple of the above-described premises; that it has a good right to convey; that the premises are free from all encumbrances; that Grantor and its heirs, and all persons acquiring any interest in the property granted, through or for Grantor, will, on demand of Grantee, or its heirs or assigns, and at the expense of Grantee, its heirs or assigns, execute and instrument necessary for the

further assurance of the title to the premises, heirs will forever warrant and defend all of person lawfully claiming the same or any pa

TOGETHER with all and singular, the tenem or appertaining; and every right, title, or inter

TO HAVE AND TO HOLD same unto Gran appurtenances thereunto belonging.

WITNESS the hands and seal of said Grantor



DAVID STONE



Printed Witness Name

Mailing Address (required): 2504 Sec

Kristan Barcalow
Printed Witness Name

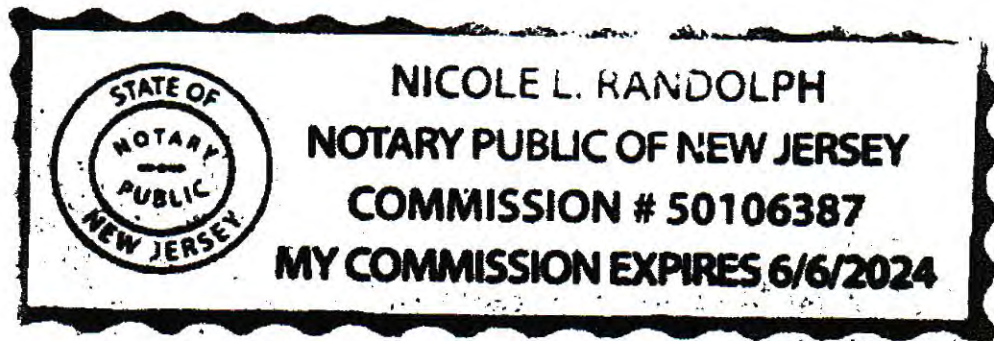
Mailing Address (required): 610 Baldwin

STATE OF ~~FLORIDA~~ New Jersey
COUNTY OF Ocean S:

The foregoing instrument was acknowledged
notarization,

this 11 day of Jan 2024

(Seal)



Personally Known: _____

OR Produced Identification: +

Type of Identification Produced: Drivings lic

Copy Copy Copy



**HONORABLE
RUTH PIETRUSZEWSKI, CFC**

MARTIN COUNTY TAX COLLECTOR
3485 SE WILLOUGHBY BLVD
STUART, FL 34994

Property Address 101 HARBOR WAY
Legal Description SADLER TRACT WEST, LOT 1

REAL ESTATE

**2024 MARTIN COUNTY
Notice of Ad Valorem Taxes and Non-Ad Valorem Assessments**

CHARLTON LUKE W & CHARLTON ERIN
101 HARBOR WAY
HOBE SOUND, FL 33455

PARCEL ID: 35-38-42-018-000-0010.60000
ALTERNATE ID: 57898
ESCROW CODE:



SCAN TO VIEW YOUR
BILL ONLINE!

If Paid By	Nov 30, 2024	Paid	\$39,013.39	11/21/2024
Please Pay	\$39,013.39			

Ad Valorem Assessments

Taxing Authority	Telephone	Millage	Assessed Value	Exemption	Taxable Value	Tax Amount
JUPITER ISLAND-AD VAL-OP	772-545-0100	2.8086	2,440,014	50,000	2,390,014	6,712.59
JUPITER ISLAND-EROSION	772-545-0100	0.9593	2,440,014	50,000	2,390,014	2,292.74
JUPITER ISL-DEBT SERVICE	772-545-0100	0.2273	2,440,014	50,000	2,390,014	543.25
SCHOOL-GENERAL FUND	772-219-1200 ext 30273	3.0770	2,440,014	25,000	2,415,014	7,431.00
SCHOOL CAPITAL OUTLAY	772-219-1200 ext 30273	1.5000	2,440,014	25,000	2,415,014	3,622.52
SCHOOL - DISCRETIONARY	772-219-1200 ext 30273	0.7480	2,440,014	25,000	2,415,014	1,806.43
SCHOOL ADDTNL VOTER MIL	772-219-1200 ext 30273	0.4250	2,440,014	25,000	2,415,014	1,026.38
CHILDRENS SERVICES ORDNCS	772-288-5758	0.3618	2,440,014	50,000	2,390,014	864.71
FL-INLAND NAVIGATION DIST	561-627-3386	0.0288	2,440,014	50,000	2,390,014	68.83
S. FLA WTR MGMT	561-686-8800	0.2301	2,440,014	50,000	2,390,014	549.94
COUNTY-GENERAL FUND-OP	772-463-2868	6.5776	2,440,014	50,000	2,390,014	15,720.56
MILLAGE CODE 4300	TOTAL MILLAGE	16.9435	TOTAL AD VALOREM TAXES			\$40,638.95

Exemptions
ADDL HOMESTEAD
HOMESTEAD

Non Ad Valorem Assessments

Levying Authority	Telephone	Rate (\$ per unit)	Tax Amount
TOTAL NON AD VALOREM TAXES			\$0.00

TOTAL \$40,638.95

*SEE REVERSE SIDE FOR INSTRUCTIONS PLEASE DETACH AND RETURN BOTTOM PORTION WITH YOUR PAYMENT
OR PAY CURRENT TAXES ONLINE AT [HTTP://MARTINTAXCOLLECTOR.COM](http://MARTINTAXCOLLECTOR.COM)

2024

Make checks payable to: Ruth Pietruszewski, Tax Collector

Mail payments to: 3485 SE Willoughby Blvd Stuart, FL 34994 (772) 288-5600

CANADIAN CHECKS MUST BE PAYABLE IN U.S. FUNDS & DRAWN ON A U.S. BANK **DO NOT SEND CASH**

PARCEL ID: 35-38-42-018-000-0010.60000

ALTERNATE ID: 57898

ESCROW CODE:

CHARLTON LUKE W & CHARLTON ERIN
101 HARBOR WAY
HOBE SOUND, FL 33455

Please check one box. Current taxes are processed by the month they are postmarked. Delinquent taxes are processed by the date they are received.

Nov 30, 2024 \$39,013.39

Paid By **CHARLTON, LUKE W**

Paid \$39,013.39 11/21/2024

TAXES BECOME DELINQUENT APRIL 1 - ADD 3% PLUS FEES

Notice: If taxes on your property are not paid in full, a tax certificate will be sold for the delinquent taxes.

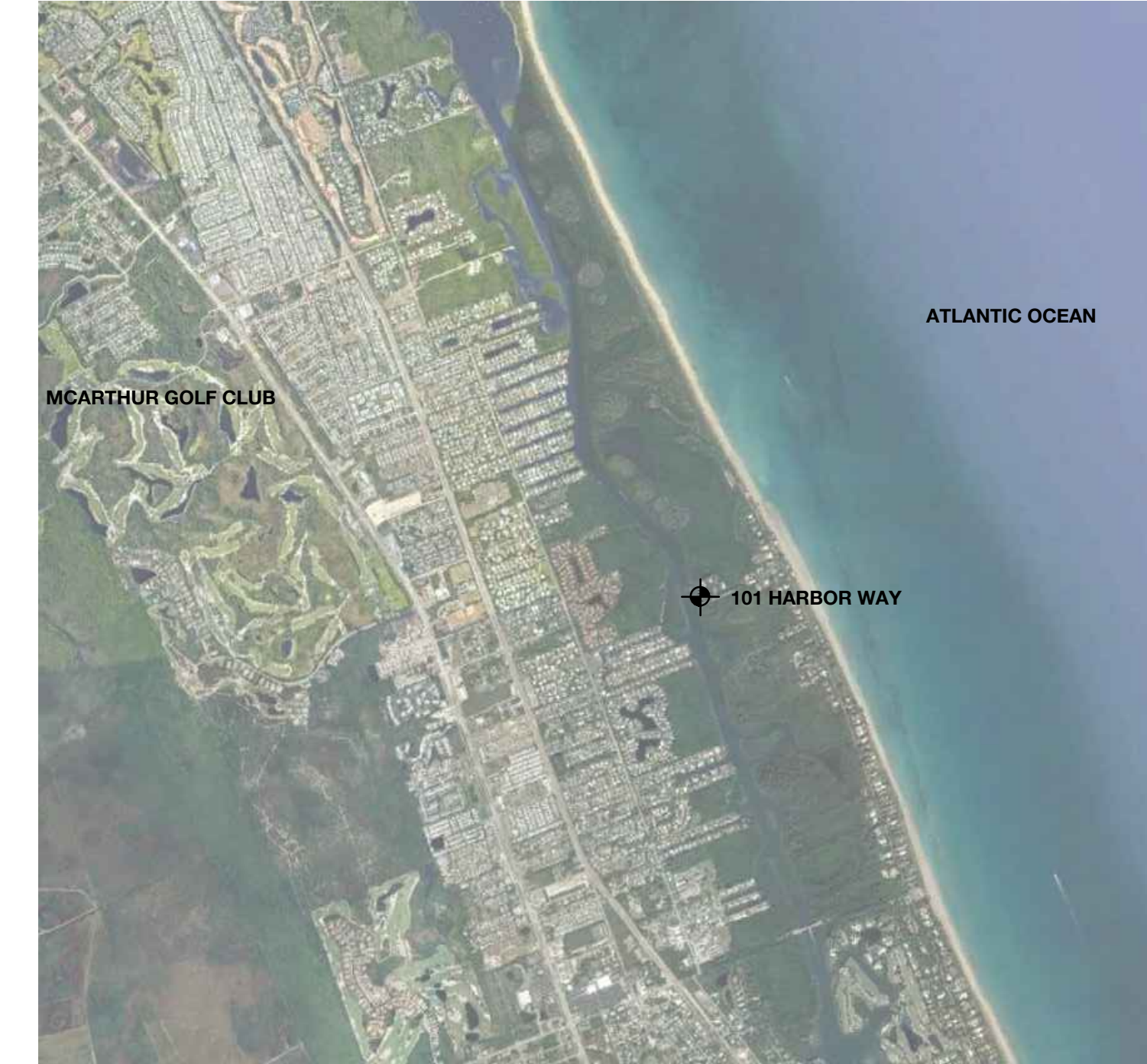


* 1 + 5 7 8 9 8 + 2 0 2 4 *

SITE RENDERING



LOCATION MAP



SCOPE OF WORK

THE FOLLOWING DRAWINGS ILLUSTRATE THE PROPOSED SCOPE OF WORK FOR 101 HARBOR WAY TO BE APPROVED BY TOWN OF JUPITER ISLAND:

- INSTALLATION NEW LANDSCAPE PLANTINGS
- INSTALLATION OF NEW IRRIGATION SYSTEM
- INSTALLATION OF NEW HARDSCAPE
- INSTALLATION OF NEW FRONT ENTRY DRIVEWAY
- INSTALLATION OF NEW LANDSCAPE LIGHTING

08.22.2025
 07.14.2025

SHEET INDEX

LANDSCAPE DRAWINGS	DRAWING NOTES
□ □ □ ■	L0VR COVER PAGE
□ □ □ ■	L001 GENERAL SITE NOTES
□ □ □ ■	L002 GENERAL SITE NOTES
□ □ □ ■	L003 OVERALL SITE PLAN
□ □ □ ■	L004 ELEVATIONS
□ □ □ ■	L005 ELEVATIONS
□ □ □ ■	L006 SECTIONS
□ □ □ ■	L007 RENDERINGS
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□ □ □ ■	L100 TREE DISPOSITION NOTES
□ □ □ ■	L101 TREE DISPOSITION NOTES
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□ □ □ ■	L103 TREE DISPOSITION PLAN
□ □ □ □	L200 DEMOLITION
□ □ □ ■	L300 MATERIALS PLAN
□ □ □ □	L400 GRADING PLAN
□ □ □ □	L500 LAYOUT PLAN
□ □ □ □	L600 CONSTRUCTION DETAILS
□ □ □ □	L601 CONSTRUCTION DETAILS
□ □ □ □	L602 CONSTRUCTION DETAILS
□ □ □ ■	L700 PLANTING SCHEDULE & NOTES
□ □ □ ■	L701 PLANT REFERENCE IMAGERY
□ □ □ ■	L702 CANOPY PLAN
□ □ □ ■	L703 UNDERSTORY PLANTING PLAN
□ □ □ ■	L704 PLANTING DETAILS
□ □ □ □	L800 IRRIGATION NOTES, SCHEDULE & DETAILS
□ □ □ □	L801 IRRIGATION DETAILS
□ □ □ □	L802 IRRIGATION PLAN
□ □ □ □	L900 LIGHTING PLAN

THE CHARLTON GARDEN
 101 HARBOR WAY | HOBE SOUND, FLORIDA 33465

SEAL (S TYLER NIELSEN - LA6667067)



COVER PAGE

DATE	ISSUE
07.14.2025	IRC SUBMITTAL
08.22.2025	IRC SUBMITTAL

SITWORK GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK BY THE SUBCONTRACTORS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR OF DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING ANY WORK.
3. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. ALL CONTRACTORS MUST COMPLY WITH PERMIT REQUIREMENTS, LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES RULES AND REGULATIONS AND LAND USE APPROVAL CONDITIONS AT ALL TIMES.
4. WORK PERFORMED WITHOUT APPROVAL OF LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES AND/OR NOT IN COMPLIANCE WITH SPECIFICATIONS AND/OR DRAWINGS IS SUBJECT TO REMOVAL AT CONTRACTOR'S EXPENSE.
5. ALL WORK SHALL CONFORM TO THE APPROPRIATE AGENCIES. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN ON THE DRAWINGS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS AND ELECTRICAL LINES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING ALL LAND MONUMENTS DISRUPTED BY CONSTRUCTION ACTIVITIES OR NEGLIGENCE ON THE PART OF THE CONTRACTOR. RESETS SHALL BE PERFORMED UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR AND MONUMENT RECORDS MUST BE FILED AS REQUIRED BY STATUTE FOR ALL MONUMENTS.
7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS AND STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORY TO THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
8. ALL BARRICADING AND TEMPORARY TRAFFIC CONTROL DEVICES OR METHODS USED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS. PROVIDE ADEQUATE TIME FOR REVIEW AND APPROVAL BY THE ABOVE JURISDICTIONS PRIOR TO COMMENCEMENT.
9. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES UTILIZED OR FOR SAFETY PRECAUTIONS OR PROBLEMS IN CONNECTION WITH THE WORK. THE LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACT DOCUMENTS INCLUDE THE CONSTRUCTION DOCUMENT DRAWING SET/TECHNICAL SPECIFICATIONS MANUAL/LASIS.
10. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
11. A SYSTEM OF DIAGRAMMATIC SYMBOLS, HATCHES AND NOTATIONS IS USED IN THESE DRAWINGS. REVIEW NOTATIONS CAREFULLY, NOTIFY LANDSCAPE ARCHITECT AND REQUEST CLARIFICATION OF ANY UNCLEAR NOTATION OR DISCREPANCY PRIOR TO COMMENCING WORK.

SITWORK GENERAL NOTES CONTINUED

1. PROVIDE SLEEVES AS REQUIRED FOR DRAINAGE, IRRIGATION AND ELECTRICAL LINES. IRRIGATION AND ELECTRICAL SLEEVES AND SUBSURFACE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK. UTILITY SLEEVES ARE REQUIRED IN ALL PLANT BEDS ISOLATED BY PAVEMENT OR ANY OTHER STRUCTURES.
2. SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.
3. VEHICLES, EQUIPMENT, AND/OR MATERIALS SHALL NOT BE PARKED OR STORED IN AREAS OF EXISTING VEGETATION, INCLUDING WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.
4. CONSTRUCTION WASTE-INCLUDING BUT NOT LIMITED TO: PLANT MATERIAL, BUILDING MATERIALS, DEMOLISHED MATERIALS, PACKAGING, LEFTOVER PAINT AND CONCRETE SLURRY-SHOULD BE PROPERLY REUSED, RECYCLED, DISPOSED OF LEGALLY OFF-SITE OR IN DESIGNATED WASH-OUT AREAS DETERMINED BY THE GENERAL CONTRACTOR.
5. RECYCLING AND TRASH BINS TO BE PROVIDED ON SITE. SEPARATE BINS FOR CARDBOARD, CO-MINGLED, AND OTHER RECYCLABLE/REUSABLE MATERIALS IDENTIFIED BY THE LOCAL JURISDICTION SHALL BE MAINTAINED. ALL BINS TO BE WILDLIFE-PROOF.
6. ON-SITE FUEL STORAGE FOR CONSTRUCTION EQUIPMENT IS DISCOURAGED. CONSTRUCTION EQUIPMENT USED ON SITE TO BE CHECKED REGULARLY TO ASSURE CONTAMINATION CONCERNS FROM OILS AND GREASES ARE ELIMINATED. NO TOXIC MATERIALS SHALL BE STORED ON-SITE.
7. GENERAL CONTRACTOR TO KEEP ALL ITEMS IMPLEMENTED BY LANDSCAPE ARCHITECT IN PROPER WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT.
8. THE CONSTRUCTION SITE TO BE INSPECTED ON A MONTHLY BASIS BY LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER TO ASSURE THAT THE SILT FENCE AND MUD TRACKING PAD ARE PROPERLY IN PLACE AND FUNCTIONING AS DESIGNED.
9. GREEN BUILDING PRACTICES SHALL BE EMPLOYED TO THE EXTENT FEASIBLE. SUCH PRACTICES INCLUDE: CARPOOLING/VANPOOLING TO JOB SITE, MINIMIZING MATERIALS PACKING BEFORE ARRIVAL TO JOB SITE, REDUCING MATERIAL/RESOURCE INEFFICIENCIES BY COORDINATING WORK.
10. THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.
11. WATERPROOFING OF SUBGRADE AND OTHER ARCHITECTURAL SPACES BELOW AND/OR ADJACENT TO IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT IS TO BE ADEQUATELY DESIGNED AND DETAILED BY OTHERS TO PERMANENTLY REPEL ALL WATER SOURCES INCLUDING, BUT NOT LIMITED TO: PRECIPITATION, STORM WATER RUNOFF, GROUND WATER, IRRIGATION, ROOF RUNOFF, GROUND WATER, AND PLUMBING LEAKS.
12. STRUCTURAL DESIGN TO SUPPORT IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT AND LOCATED ABOVE, BELOW, AND/OR ADJACENT TO SUBGRADE AND OTHER ARCHITECTURAL SPACES IS THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. THE STRUCTURAL DESIGN SHOULD BE ADEQUATELY DESIGNED TO SUPPORT ALL POSSIBLE LOADS INCLUDING, BUT NOT LIMITED TO: BACKFILL, COMPACTION, PLANTINGS, HARDSCAPES, RETAINING AND FREESTANDING SITE WALLS, AND CONSTRUCTION MATERIALS/EQUIPMENT/ACTIVITY.

SOIL EROSION CONTROL NOTES

1. PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL SESC MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS REQUIRED BY ANY GOVERNING AGENCIES.
2. ALL SESC MEASURES TO BE MAINTAINED DAILY.
3. THE CONTRACTOR TO CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SEDIMENT, GENERATED BY WIND OR WATER IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, AIR, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
4. WATER FROM TRENCHES AND OTHER EXCAVATION TO BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER.
5. NORTH AMERICAN GREEN SC-150 OR EQUIVALENT EROSION CONTROL FABRIC IS REQUIRED ON ALL DISTURBED SLOPES GREATER THAN 3:1 UNTIL PROJECT AREA IS REVEGETATED PER THE PLANTING PLAN.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
7. CONTRACTOR TO PROVIDE ONSITE WATERING TO REDUCE FUGITIVE DUST LEAVING THE SITE DURING CONSTRUCTION.
8. SOIL EROSION CONTROL MEASURES TO BE PROVIDED FOR ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS.
9. CONSTRUCTION STAGING AND PHASING SHALL OCCUR, WHERE APPLICABLE, TO MINIMIZE SOIL DISTURBANCE TIME.
10. BEST MANAGEMENT PRACTICES (BMPs) SHALL BE ADJUSTED AS NEEDED TO MEET ANY OTHER UNFORESEEN CONDITIONS.
11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING A MUD TRACKING PAD/WASHING PAD AT THE CONSTRUCTION ENTRANCES TO MINIMIZE MUD DETACHMENT FROM TRUCK TIRES. 1-1/2 INCH SCREENED ROCK TO BE PLACED ON MIRAFI 140-N FILTER FABRIC. ADDITIONAL CLEAN GRAVEL TO BE ADDED THROUGHOUT THE DURATION OF CONSTRUCTION AS NEEDED.
12. CONTRACTOR SHALL ABIDE BY THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES CONSTRUCTION MANAGEMENT PLAN REQUIREMENTS.
13. RESEED AS INDICATED IN SEEDING NOTES.

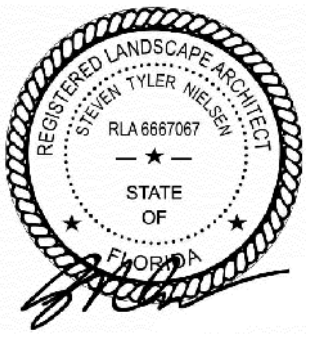
EXTERIOR LIGHTING NOTES

1. THE EXTERIOR LIGHTING PLAN ILLUSTRATES FIXTURE LOCATION AND TYPE SOLELY. ALL ELECTRICAL LOADS, WIRING, AND CALCULATIONS ARE BY OTHERS.
2. CONTRACTOR TO COORDINATE WITH CLIENT AND LANDSCAPE ARCHITECT CONTROL SYSTEM FOR EXTERIOR LIGHTING.
3. THE CONTRACTOR TO PROVIDE SLEEVES AND CONDUIT AS NEEDED FOR ALL EXTERIOR LIGHTING FIXTURES..
4. THE CONTRACTOR IS TO STAKE ALL EXTERIOR LIGHTING FIXTURES FOR LANDSCAPE ARCHITECT REVIEW.
5. ALL EXTERIOR FIXTURES TO BE INSTALLED TO PREVENT GLARE AND UNWANTED DIRECTED LIGHT. CONTRACTOR TO ENSURE ALL FIXTURES DO NOT DIRECT LIGHT ONTO ADJACENT PROPERTIES. ALL FIXTURES TO BE PROVIDED WITH SHROUD, REFER TO CUT SHEETS & SCHEDULE OF SHROUD DETAILS.
6. ALL FIXTURES EAST OF THE COASTAL CONSTRUCTION CONTROL LINE TO BE PLACED ON SEPARATE ZONE. THIS ZONE IS TO BE COMPLETELY TURNED OFF DURING TURTLE SEASON (MAY 1st - OCTOBER 31st).
7. THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT TWO WEEKS IN ADVANCE OF SCHEDULED EXTERIOR LIGHT INSTALLATION. UPON COMPLETION OF THE EXTERIOR LIGHT INSTALLATION, CONTRACTOR TO PROVIDE NIGHTTIME WALK THROUGH WITH LANDSCAPE ARCHITECT FOR FINAL REVIEW.
8. LANDSCAPE LIGHTING FIXTURES SHALL BE UNOBTRUSIVE OR HIDDEN FROM VIEW.



THE CHARLTON GARDEN
 101 HARBOR WAY | HOBE SOUND, FLORIDA 33455

SEAL (S TYLER NIELSEN - LA6667067)



08.22.2025

GENERAL SITE NOTES

DATE	ISSUE
07.14.2025	IRC SUBMITTAL
08.22.2025	IRC SUBMITTAL

L001



GRADING NOTES

1. VERIFY EXISTING ELEVATIONS PRIOR TO STARTING WORK. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. EXISTING AND PROPOSED GRADES ARE BASED ON SURVEY DOCUMENTS PREPARED BY SURVEYOR.
2. CONTRACTOR SHALL VERIFY THE PLACEMENT OF FLATWORK PENETRATIONS TO ENSURE COORDINATION OF SURFACE FIXTURES, SUCH AS DRAINS AND LIGHTS. NOTIFY GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT OF DISCREPANCIES PRIOR TO CONSTRUCTION OF FLATWORK.
3. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS TO VERIFY FINISHED FLOOR ELEVATIONS. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL REFER TO THE CIVIL ENGINEERING DRAWINGS TO VERIFY UTILITY AND OTHER DRAIN LOCATIONS. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. PROPOSED ELEVATIONS INDICATED ON DRAWINGS ARE FINISHED GRADE ELEVATIONS. THE CONTRACTOR SHALL DIRECT ROUGH GRADE WORK TO ALLOW FOR SUFFICIENT TOPSOIL AND OTHER FINISHED CONDITIONS AS DESCRIBED IN THE CONTRACT DOCUMENTS.
6. ALL FINISHED GRADES SHALL MEET AND BLEND SMOOTHLY WITH EXISTING GRADES AT THE PROJECT LIMIT.
7. ALL FINISHED GRADES SHALL BE WITHOUT LOW SPOTS OR POCKETS. CONTRACTOR SHALL SET FLOW LINES ACCURATELY AND PROVIDE A MINIMUM OF TWO (2) PERCENT OR MAXIMUM OF FIFTY (50) PERCENT, UNLESS OTHERWISE NOTED.
8. ALL FINISHED GRADES SHALL PRESENT SMOOTH TRANSITIONS BETWEEN TOES AND TOPS OF SLOPES.
9. THE MAXIMUM SLOPE OF SOD TO BE 3:1 IN AREAS DESIGNATED AS "LAWN," UNLESS OTHERWISE NOTED.
10. ALL MANHOLES, VALVE BOXES, UTILITY BOXES AND PEDESTALS, AND OTHER APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES OR UTILITY RULES AND REGULATIONS, UNLESS OTHERWISE NOTED.
11. SOIL COMPACTION BENEATH PAVEMENTS, STEPS, WALLS AND LIGHT FOUNDATIONS SHALL BE 95% PROCTOR DENSITY MINIMUM, UNLESS OTHERWISE SPECIFIED.
12. GRADING AND EXCAVATION WORK SHALL BE COMPLETED DURING DRY WEATHER CONDITIONS.
13. THE CONTRACTOR SHALL REMOVE AND STOCKPILE TOPSOIL FOR REUSE ON-SITE. SOIL SHALL BE SCREENED TO REMOVE ROCKS AND BOULDERS.
14. IF STRUCTURAL SOIL IS FOUND ON-SITE, THE CONTRACTOR SHALL REUSE.
15. THE CONTRACTOR SHALL PREVENT SOIL LOSS TO WIND AND WATER EROSION.
16. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
17. THE GENERAL CONTRACTOR SHALL INSTALL & MAINTAIN TEMPORARY DRAINAGE DEVICES DURING CONSTRUCTION.
18. THE CONTRACTOR SHALL VERIFY ALL CONTROL POINTS, FINISH FLOOR ELEVATIONS & PROPOSED SPOT ELEVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO FORMWORK INSTALLATION.
19. SPECIFICATIONS DELINEATED IN GEO-TECH REPORT TAKE PRECEDENCE OVER GRADING PLAN DRAWINGS. INFORM LANDSCAPE ARCHITECT OF DISCREPANCIES.

LAYOUT NOTES

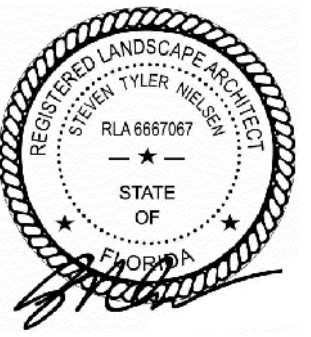
1. LAYOUT AND VERIFY DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE ALL LAYOUTS CONTAINED IN THE CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION.
2. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DIMENSIONS FROM REDUCED DRAWINGS.
3. DIMENSIONS REFERRED TO AS "EQUAL" INDICATE SPACING WHICH IS EQUIDISTANT MEASURED TO THE CENTERLINES.
4. MEASUREMENTS ARE TO THE FINISHED FACE OF BUILDINGS, WALLS, OR OTHER FIXED SITE IMPROVEMENTS. DIMENSIONS TO CENTERLINES ARE IDENTIFIED AS SUCH.
5. INSTALL INTERSECTING ELEMENTS AT 90-DEGREE ANGLES, UNLESS OTHERWISE INDICATED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS INDICATED IN CONTRACT DOCUMENTS.
6. SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.

MATERIALS NOTES

1. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
2. ALL CONSTRUCTION AND MATERIALS NOT SPECIFICALLY ADDRESSED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS.
3. THE CONTRACTOR SHALL PROVIDE A FULL-SCALE MOCKUP AND RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT FOR ALL SYSTEMS BEFORE BEGINNING CONSTRUCTION OF PAVEMENT.
4. EXPANSION JOINTS SHALL BE PROVIDED WHERE FLATWORK MEETS VERTICAL STRUCTURES, SUCH AS WALLS, CURBS, STEPS, AND OTHER HARDSCAPE ELEMENTS. EXPANSION JOINTS SHALL ALSO BE PROVIDED AT MATERIAL CHANGES. EXPANSION JOINT MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
5. CONTROL JOINTS SHOULD BE SPACED NO GREATER THAN TEN (10) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. EXPANSION JOINTS SHOULD BE SPACED NO GREATER THAN FORTY (40) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL ADVISE ON OTHER JOINTS AS NEEDED TO MINIMIZE CRACKING. THIS INFORMATION SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
6. CONTROL JOINTS SHALL BE PROVIDED AS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTROL JOINT MATERIALS, METHODS AND RECOMMENDATIONS ON ADDITIONAL CONTROL JOINTS TO MINIMIZE CRACKING SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
7. ALL STEPS SHALL HAVE TWELVE (12) INCH TREADS AND SIX (6) INCH RISERS, UNLESS OTHERWISE SPECIFIED.
8. HOLD TOP OF WALLS AND FENCES LEVEL, UNLESS OTHERWISE SPECIFIED.
9. CONTRACTOR SHALL NOT INSTALL WORK LOCATED ON TOP OF ARCHITECTURAL STRUCTURES WITHOUT FIRST REVIEWING ARCHITECTURAL DRAWINGS.
10. SAMPLES OF SPECIFIED MATERIALS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING FOR JOB.

THE CHARLTON GARDEN
 101 HARBOR WAY | HOBE SOUND, FLORIDA 33465

SEAL (S TYLER NIELSEN - LA6667067)

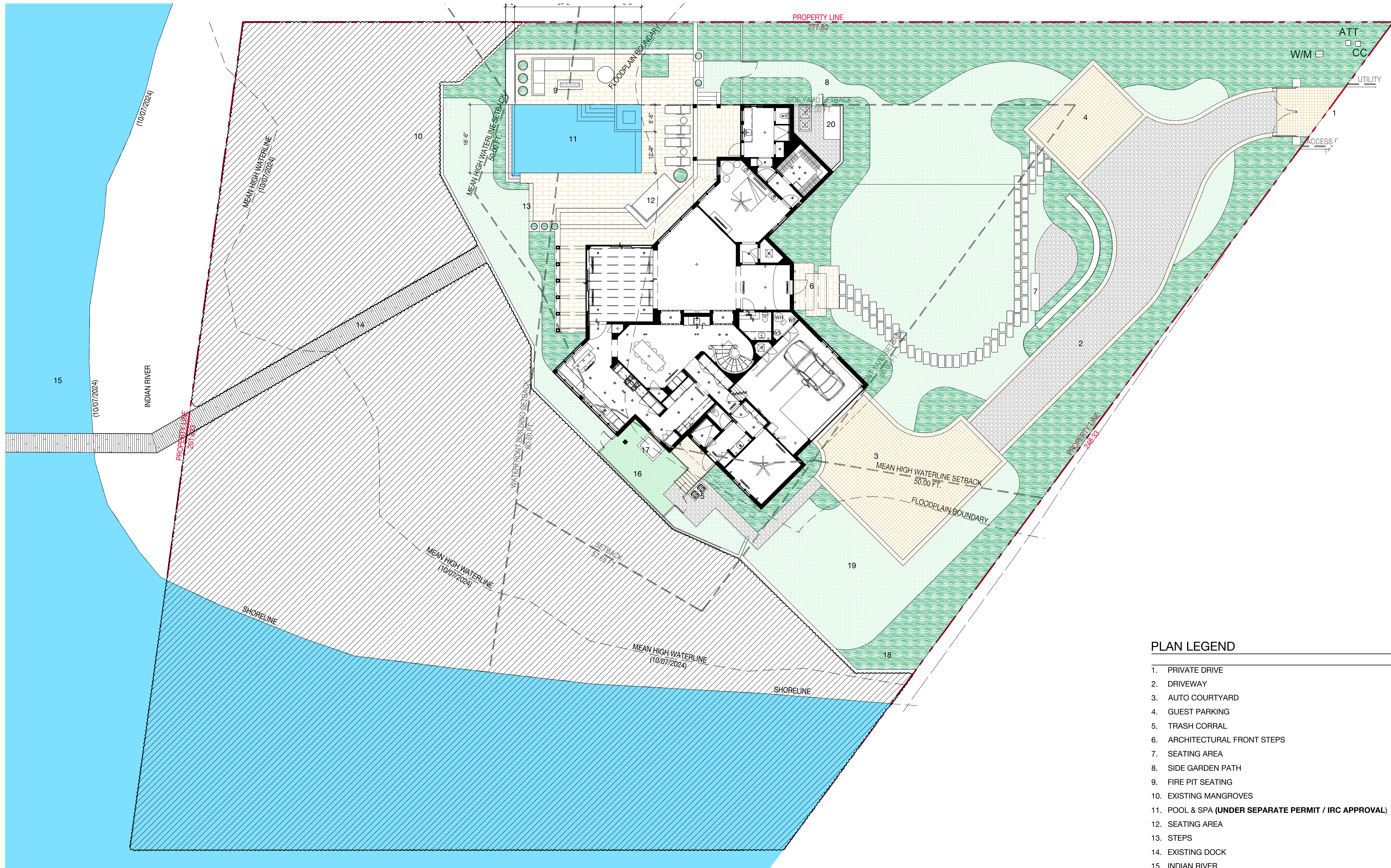


08.22.2025

GENERAL SITE NOTES

DATE	ISSUE
07.14.2025	IRC SUBMITTAL
08.22.2025	IRC SUBMITTAL

L002

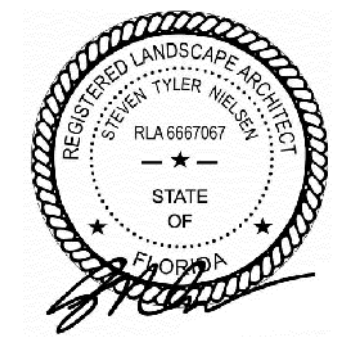


THE CHARLTON GARDEN
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PLAN LEGEND

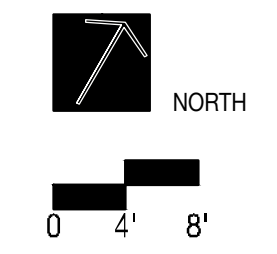
1. PRIVATE DRIVE
2. DRIVEWAY
3. AUTO COURTYARD
4. GUEST PARKING
5. TRASH CORRAL
6. ARCHITECTURAL FRONT STEPS
7. SEATING AREA
8. SIDE GARDEN PATH
9. FIRE PIT SEATING
10. EXISTING MANGROVES
11. POOL & SPA (UNDER SEPARATE PERMIT / IRC APPROVAL)
12. SEATING AREA
13. STEPS
14. EXISTING DOCK
15. INDIAN RIVER
16. DOG YARD
17. EQUIPMENT PAD
18. PLANTING AREA TYPICAL
19. ZOYSIA ZEON LAWN
20. POOL EQUIPMENT PAD

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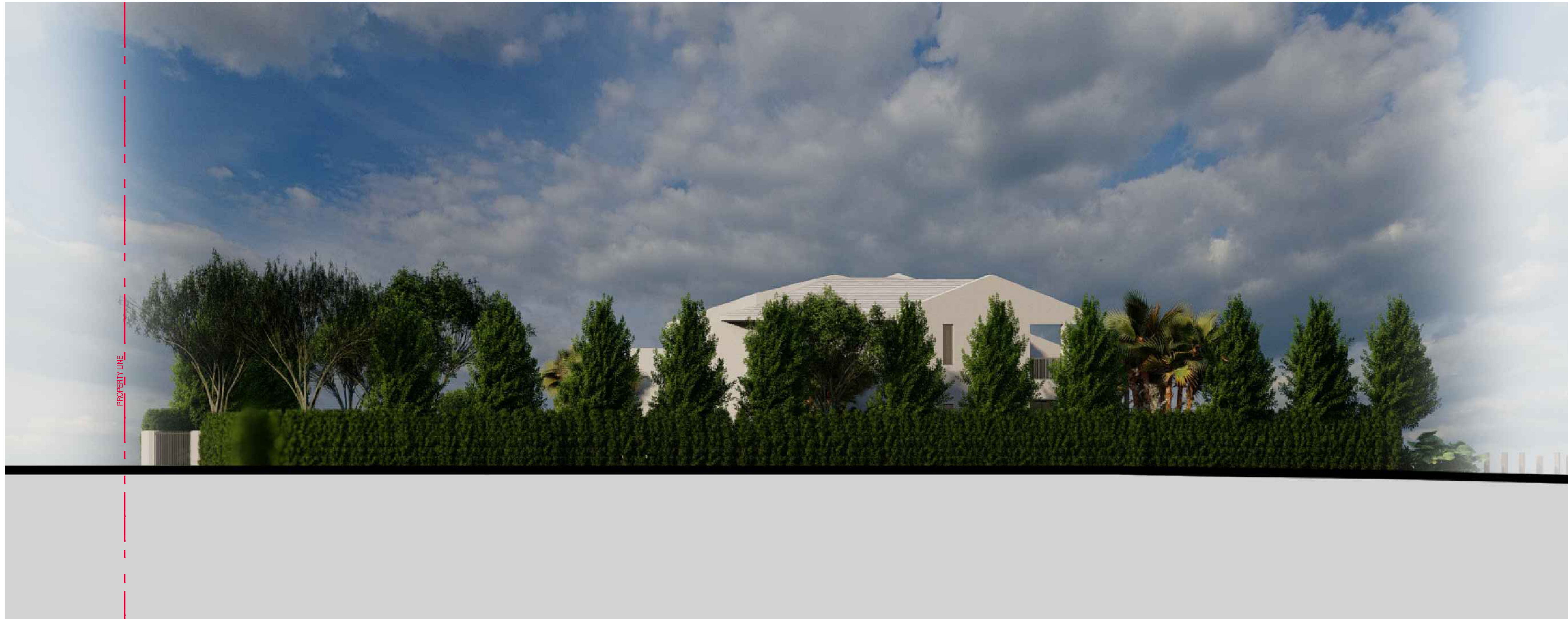
OVERALL SITE PLAN

DATE	ISSUE
07.14.2025	IRC SUBMITTAL
08.22.2025	IRC SUBMITTAL

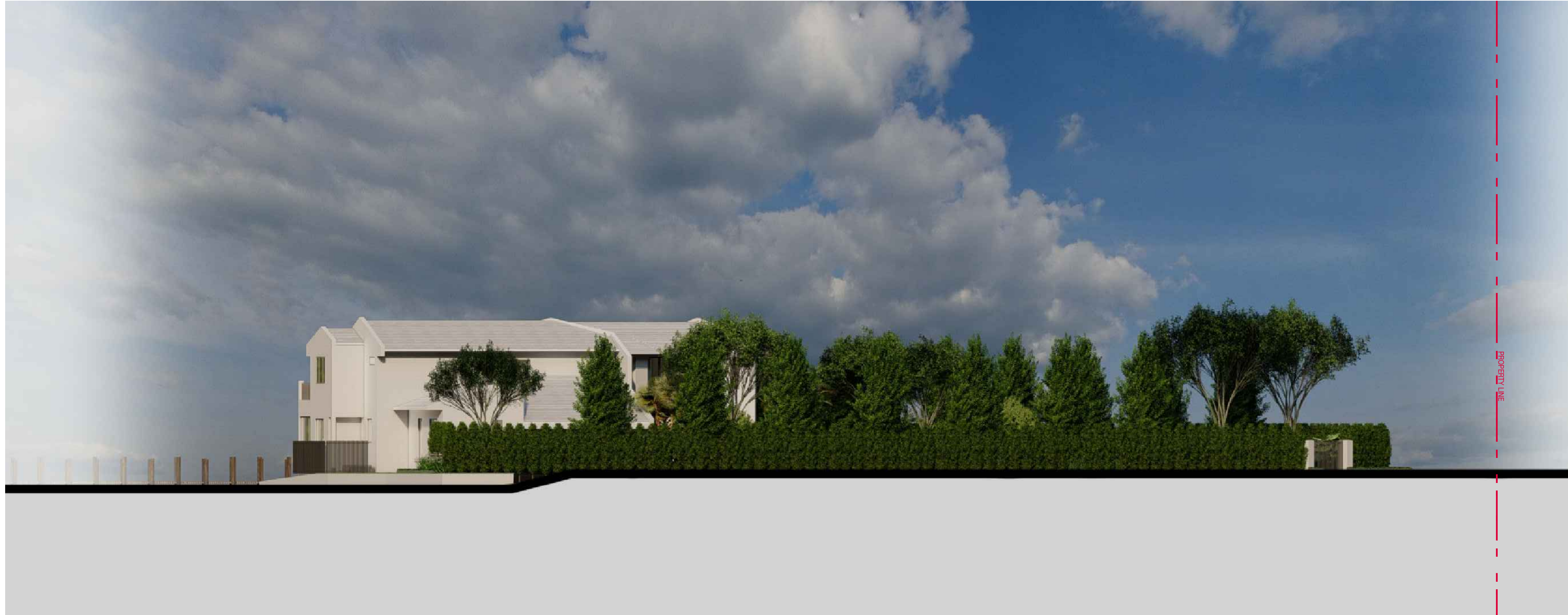


L003

NORTH ELEVATION

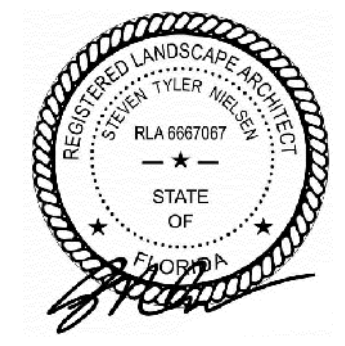


SOUTH ELEVATION



THE CHARLTON GARDEN
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SEAL (S TYLER NIELSEN - LA6667067)

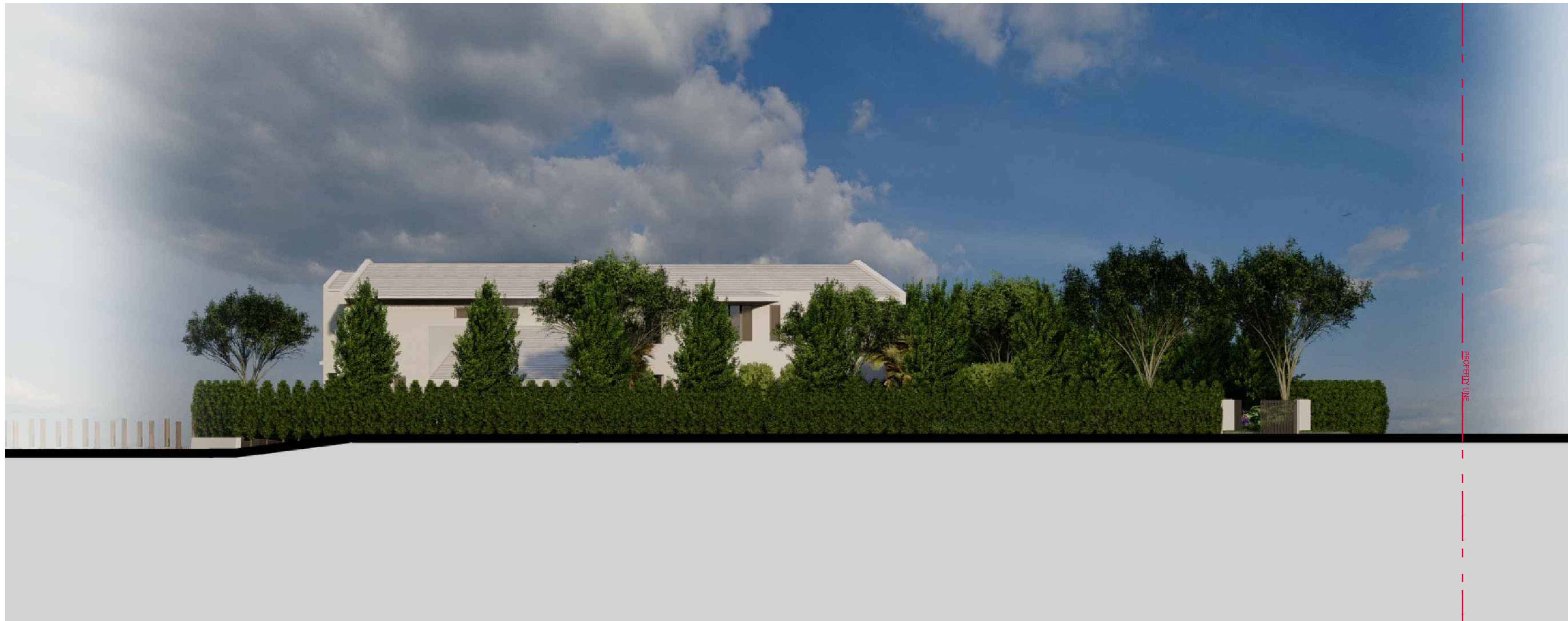


ELEVATIONS

DATE	ISSUE
07.14.2025	IRC SUBMITTAL
08.22.2025	IRC SUBMITTAL

L004

EAST ELEVATION



WEST ELEVATION



SEAL (S TYLER NIELSEN - LA6667067)



08.22.2025

ELEVATIONS

DATE	ISSUE
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L005

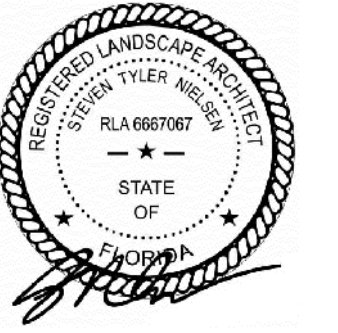
SOUTH SECTION



WEST SECTION



SEAL (S TYLER NIELSEN - LA6667067)



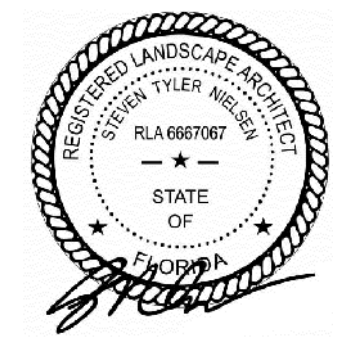
08.22.2025

SECTIONS

DATE	ISSUE
07.14.2025	IRC SUBMITTAL
08.22.2025	IRC SUBMITTAL

THE CHARLTON GARDEN
101 HARBOR WAY | HOBE SOUND, FLORIDA 33465

SEAL (S TYLER NIELSEN - LA6667067)



08.22.2025

RENDERINGS

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08.22.2025	IRC SUBMITTAL



THE CHARLTON GARDEN
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SEAL (S TYLER NIELSEN - LA6667067)



08.22.2025

RENDERINGS

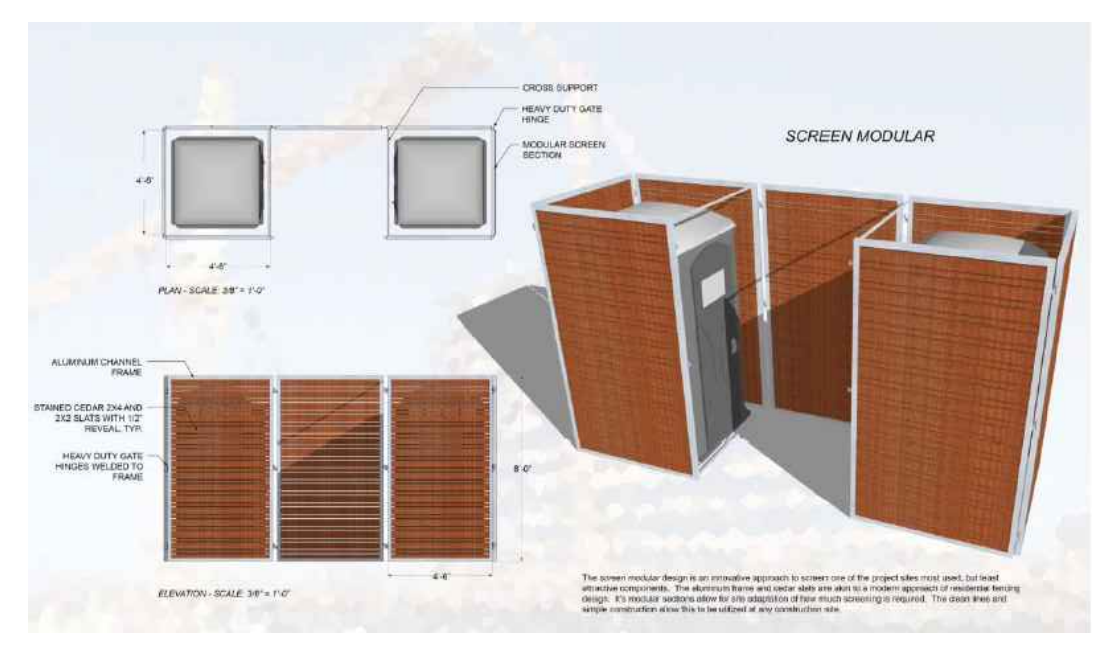
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08.22.2025	IRC SUBMITTAL



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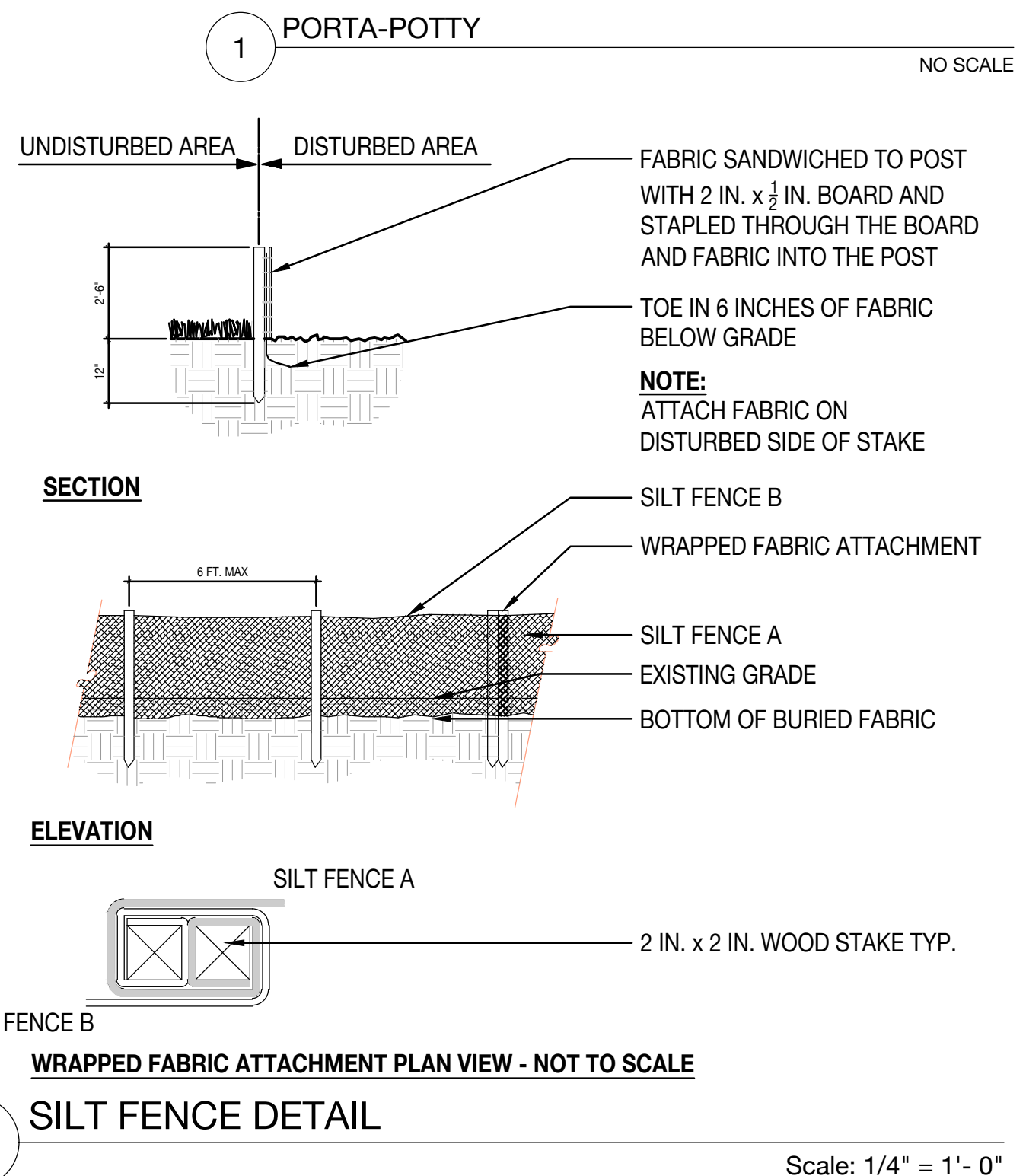
- 8 FT. HIGH CONSTRUCTION BARRIER FENCE W/ OPAQUE GREEN MESH
- SECURITY GATE
- CONSTRUCTION DUMPSTER
- CONSTRUCTION PORTA POTTY TO BE SCREENED W/ PLYWOOD STRUCTURE PAINTED FOREST GREEN
- CONSTRUCTION PARKING



NOTES:

- CONTROL OF DAMAGE TO LAWNS, CURBS, RIGHTS OF WAY OR ANY FOLIAGE BY CONTRACTORS, WORKERS, AND EQUIPMENT. REPAIRS NEED TO BE COMPLETED IMMEDIATELY.

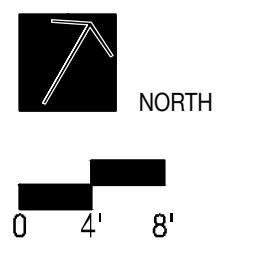
- PLAN LEGEND**
- CONSTRUCTION PARKING
 - SECURITY GATE
 - PROPOSED CONSTRUCTION DUMPSTER (10 YARD)
 - CONSTRUCTION PORTA-POTTY



SEAL (S TYLER NIELSEN - LA6667067)

CONSTRUCTION STAGING PLAN

DATE	ISSUE
07.14.2025	IRC SUBMITTAL
08.22.2025	IRC SUBMITTAL



L009

CONTRACTOR QUALIFICATIONS

- CONTRACTOR MUST BE A LICENSED LANDSCAPE CONTRACTOR.
- CONTRACTOR MUST HAVE A MINIMUM OF 10 YEARS OF PROVEN EXPERIENCE RELOCATING LARGE SPECIMEN TREES AND PALMS IN SOUTH FLORIDA.
- CONTRACTOR MUST HAVE PROVEN EXPERIENCE RELOCATING TREES AND PALMS OF THE SAME SPECIES AND SIZE AS THOSE TO BE RELOCATED FOR THE CURRENT PROJECT.
- CONTRACTOR MUST HAVE A CERTIFIED ARBORIST ON STAFF

CONTRACTOR REQUIREMENTS

- CONTRACTOR MUST VISIT THE JOBSITE AND INSPECT ALL TREES AND PALMS TO BE RELOCATED AS WELL AS EXISTING SITE CONDITIONS AND RESTRICTIONS PRIOR TO PREPARING BID.
- CONTRACTOR MUST VERIFY AND ENSURE THAT ALL TREES AND PALMS IDENTIFIED ON THE PLANS AND THOSE TAGGED ON THE JOBSITE CORRESPOND AS TO NUMBER AND DESCRIPTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY, PRIOR TO PREPARING BID.
- CONTRACTOR MUST CONDUCT ALL WORK ASSOCIATED WITH RELOCATION AND MAINTENANCE OF TREES AND PALMS TO BE RELOCATED. NO WORK IS TO BE SUBCONTRACTED WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- CONTRACTOR MUST DESIGNATE A COMPETENT, ENGLISH-SPEAKING SUPERVISOR OR FOREMAN OVERSEE AND DIRECT ALL RELOCATION AND MAINTENANCE ACTIVITIES AS OUTLINED IN THESE SPECIFICATIONS.
- CONTRACTOR MUST SCHEDULE ROOT PRUNING TO PROVIDE THE MAXIMUM POSSIBLE TIME FOR NEW ROOT GROWTH. EVEN TREES AND PALMS THAT TYPICALLY DO NOT REQUIRE LONG (OR ANY) ROOT PRUNING WILL BENEFIT FROM MORE ROOT PRUNING TIME; THEREFORE, ALL TREES AND PALMS TO BE RELOCATED MUST BE ROOT PRUNED. CONTRACTOR MUST PROVIDE A ROOT PRUNE SCHEDULE FOR EACH TREE OR PALM TO BE RELOCATED AS AN ATTACHMENT TO THE BID.
- CONTRACTOR MUST CALL SUNSHINE 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED UNDER OR IN THE VICINITY OF THE CURRENT OF FUTURE LOCATIONS OF ALL TREES AND PALMS TO BE RELOCATED PRIOR TO WORK COMMENCING.
- CONTRACTOR MUST VERIFY WITH THE GENERAL CONTRACTOR THE ABSENCE OF ANY UNDERGROUND CONSTRUCTION OR OBSTRUCTIONS (E.G., BULKHEADS, SEPTIC SYSTEMS, ETC.) IN THE CURRENT AND FUTURE LOCATIONS OF ALL TREES AND PALMS TO BE RELOCATED.
- CONTRACTOR MUST ALERT THE LANDSCAPE ARCHITECT OF ANY TREES OR PALMS THAT WILL NOT SUCCESSFULLY RELOCATE DUE TO POOR HEALTH PRIOR TO BEGINNING ROOT PRUNING.
- CONTRACTOR MUST FLAG ALL PROPOSED TRANSPLANT LOCATION FOR THE LANDSCAPE ARCHITECT'S APPROVAL A MINIMUM OF 15 DAYS PRIOR TO RELOCATION.
- CONTRACTOR MUST ENSURE THAT ALL TREES AND PALMS TO BE RELOCATED ARE INSTALLED AT THE CORRECT GRADE OR ELEVATION, ACCORDING TO THE GRADING PLAN.
- CONTRACTOR MUST BE ENSURE THAT ALL ROOT FLARES ARE EXPOSED AFTER RELOCATION.
- CONTRACTOR MUST REMOVE ALL RESIDUAL ROOTS, STUMPS, AND PORTIONS THEREOF AND BACKFILL PITS FROM WHICH RELOCATED TREES AND PALMS WERE REMOVED WITH CLEAN FILL FLUSH WITH THE SURROUNDING GRADE.
- CONTRACTOR MUST BE REPAIR ANY DAMAGE TO OTHER PLANTS, LAWN, HARDSCAPES, OR NEW CONSTRUCTION WITHIN THE RELOCATION AREA AT CONTRACTOR'S EXPENSE. HARDSCAPES INCLUDE BUT ARE NOT LIMITED TO CURBS, WALKS, ROADS, FENCES, SITE FURNISHINGS, ETC.
- CONTRACTOR MUST PHOTOGRAPHICALLY DOCUMENT NEW ROOT GROWTH FOLLOWING EACH ROOT PRUNE AND SUBMIT THIS DOCUMENTATION TO THE LANDSCAPE ARCHITECT. THE PURPOSE OF THIS REQUIREMENT IS TO ENSURE THAT SUFFICIENT ROOT GROWTH HAS OCCURRED PRIOR TO THE SECOND AND SUBSEQUENT ROOT PRUNES AND FOLLOWING THE FINAL ROOT PRUNE PRIOR TO RELOCATION.
- CONTRACTOR MUST INSTALL AND MAINTAIN PROTECTION FENCING AROUND EACH TREE AND PALM TO BE RELOCATED BOTH DURING ROOT PRUNING AND AFTER RELOCATION. PROTECTION FENCING MUST CONSIST OF GALVANIZED WELDED WIRE FABRIC OR PLASTIC MESH ATTACHED TO 4" X 4" POSTS INSERTED AROUND THE PERIMETER OF THE DRIPLINE OF THE TREE OR PALM. PROTECTION FENCING MUST BE PLUMB, TAUT, AND STURDY AT ALL TIMES AND MUST REMAIN IN PLACE THROUGHOUT THE ROOT PRUNING AND WARRANTY PERIODS, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR MUST OBTAIN ALL NECESSARY OR REQUIRED PERMITS FOR THE RELOCATION AND TRANSPORTATION OF THE TREES AND PALMS TO BE RELOCATED.
- CONTRACTOR MUST GUARANTEE ALL RELOCATED TREES AND PALMS FOR ONE YEAR FROM THE DATE OF RELOCATION TO THE FINAL LOCATION. GUARANTEE MUST INCLUDE TREE HEALTH AND SETTLING.
- CONTRACTOR MUST PROVIDE ALL MATERIAL NECESSARY TO PERFORM THE WORK COVERED HEREIN, INCLUDING BUT NOT LIMITED TO BACKFILL MATERIAL, PROTECTION FENCING, FLAGGING, ADDITIVES AND SUPPLEMENTS, TEMPORARY IRRIGATION, BURLAP, WIRE, SHRINK WRAP, AND ALL NECESSARY TOOLS AND EQUIPMENT.

TREE ROOT PRUNING SPECIFICATIONS

- ALL TREES AND PALMS TO BE RELOCATED MUST BE WATERED DAILY FOR AT LEAST 2-3 DAYS PRIOR TO ANY ROOTS BEING CUT TO ENSURE THAT THEY ARE FULLY HYDRATED. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.
- EACH TREE AND PALMS MUST THEN BE WATERED EVERY OTHER DAY, NOT RELYING ON RAIN, DURING THE ENTIRE ROOT PRUNING PROCESS EITHER BY A TEMPORARY IRRIGATION SYSTEM OR BY HAND. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.
- TREE AND PALM RELOCATION ACTIVITIES MUST BE SCHEDULED SO THAT REMOVAL AND REPLANTING TAKE PLACE IN THE SAME 24-HOUR PERIOD. NO TREES OR PALMS MAY BE "STOCKPILED" ONSITE OR OFFSITE FOR ANY PERIOD OF TIME WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. WHEN ALLOWED, APPROVAL FOR THE METHOD OF "STOCKPILING" MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT.
- ALL DIGGING IN THE ROOT ZONE DURING THE ROOT PRUNE PROCESS MUST BE DONE BY HAND; NO MACHINERY WILL BE ALLOWED. PRUNING OF ROOTS MUST BE DONE BY HAND WITH CLEAN, SHARP TOOLS. DO NOT PAINT CUT ROOTS WITH TREE PAINT OR ANY KIND OF SEALANT.
- MYCORRHIZA (ROOTS® TRANSPLANT OR EQUIVALENT) MUST BE INCORPORATED INTO THE BACKFILL SOIL PRIOR TO BACKFILLING AS PER MANUFACTURER'S RECOMMENDATIONS.
- AFTER EACH ROOT PRUNE, EACH SECTION OF ROOTBALL THAT IS PRUNED MUST BE WRAPPED WITH BLACK PLASTIC AND THE TRENCH BACKFILLED WITH ORIGINAL EXCAVATED SOIL. A TREE RING WITH A MINIMUM HEIGHT OF 6" MUST BE CONSTRUCTED 6-12" OUTSIDE THE OUTERMOST EDGE OF THE ROOTBALL AND AROUND THE ENTIRE PERIMETER OF THE ROOTBALL TO DIRECT IRRIGATION WATER AND ANY ADDED SUPPLEMENTS DOWN INTO THE ROOTBALL DURING ROOT REGENERATION.
- ONCE THE TREE RING IS CONSTRUCTED AFTER EACH ROOT PRUNE, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE LIBERALLY APPLIED TO THE SURFACE OF THE ROOTBALL AND THOROUGHLY WATERED IN TO ENCOURAGE NEW ROOT GROWTH.
- PRIOR TO ANY ROOTS BEING CUT, ALL MAJOR ROOTS MUST BE IDENTIFIED TO DETERMINE THE ROOTBALL DIAMETER BASED ON THE RELATIVE LOCATION AND SIZE OF THE ROOTS.
- MANY TREE RELOCATION SPECIFICATIONS USE "GENERAL RULES" TO CALCULATE MINIMUM ROOTBALL DIAMETER, SUCH AS MULTIPLYING THE DIAMETER AT BREAST HEIGHT (DBH) OF THE TREE BY A FACTOR OF 10 OR ALLOWING A MINIMUM OF 9"-12" OF ROOTBALL FOR EVERY 1" OF TREE CALIPER. OTHERS LIST UNREALISTIC MINIMUM SIZES FOR THE ROOTBALLS OF VARIOUS TREE CALIPERS OR OTHERS LIST UNREALISTIC MINIMUM SIZES FOR THE ROOTBALLS OF VARIOUS TREE CALIPERS OR HEIGHTS. IN MANY CASES, SUCH APPROACHES RESULT IN ROOTBALLS THAT ARE EITHER TOO LARGE OR TOO SMALL FOR A GIVEN TREE. THE FOLLOWING TABLE LIST MINIMUM ROOTBALL DIAMETERS BASED ON REAL-WORLD EXPERIENCE OF TREE RELOCATION SPECIALISTS IN SOUTH FLORIDA.

.CALIPER (inches)	MIN. ROOTBALL DIA. (feet)	CALIPER (inches)	MIN. ROOTBALL DIA. (feet)
1-4	3	12-14	8
4-5	4	15-17	10
6-7	5	18-24	12-15
8-9	6	25-30	15-25
10-11	7	30+	as needed

- WHENEVER POSSIBLE, ROOTBALLS MUST BE CIRCULAR IN SHAPE WITH AN EQUAL DISTANCE FROM THE TRUNK TO THE EDGE OF ROOTBALL ALL AROUND.
- MINIMUM ROOTBALL DEPTH MUST BE 24"-36" FOR ALL TREES TO BE RELOCATED, WITH THE ACTUAL DEPTH TO BE DETERMINED ONLY AFTER A THOROUGH EXAMINATION OF ALL ROOTS DURING THE INITIAL ROOT INSPECTION AND BASED ON THE ABSENCE OF MAJOR ROOTS AT THE BOTTOM OF THE ROOTBALL. ROOTBALLS DEEPER THAN 36" MAY BE REQUIRED FOR LARGE SPECIMEN TREES, DEPENDING ON THE RELATIVE LOCATIONS AND DEPTHS OF THE MAJOR ROOTS AS OBSERVED DURING THE INITIAL ROOT INSPECTION.
- AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF LESS THAN 10" IS 12 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER TWO SIDES DONE A MINIMUM OF 6 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 3 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF 10" OR GREATER IS 24 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER TWO SIDES DONE A MINIMUM OF 12 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 6 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- CERTAIN HARDWOOD TREES AND GYMNOSPERMS REQUIRE LONGER ROOT PRUNING TIMES. THESE INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - AVOCADO (PERSEA AMERICANA)
 - BLACK OLIVE (BUCIDA BUCERAS)
 - BRIDALVEIL (CAESALPINIA GRANADILLO)
 - CASSIAS (ALL SPECIES OF CASSIA)
 - LIGNUM VITAE (GUJA/ACUM SANCTUM & G. OFFICINALE)
 - PODOCARPUS (PODOCARPUS SP.)
 - LIVE OAK (QUERCUS VIRGINIANA)
 - MAHOGANY (SWIETENIA MAHAGONI)
 - MANGO (MANGIFERA INDICA)

PALM ROOT PRUNING SPECIFICATIONS

- THE FOLLOWING TABLE LISTS MINIMUM ROOTBALL DIAMETERS FOR VARIOUS SPECIES OF PALMS BASED ON REAL-WORLD EXPERIENCE OF RELOCATION SPECIALISTS IN SOUTH FLORIDA.

PALM SPECIES	ROOTBALL SPECIFICATIONS
SABAL/CABBAGE PALM	36" diameter
QUEEN & FOXTAIL PALMS	12" from trunk in all directions
ROYAL & COCONUT PALMS	18-24" from trunk in all directions
CANARY DATE PALM	24" from trunk in all directions
SLOW-GROWING PALMS	24" from trunk in all directions

- PALM ROOTBALL MUST BE A MINIMUM OF 24" DEEP, WHENEVER POSSIBLE, ROOTBALLS MUST BE CIRCULAR IN SHAPE WITH AN EQUAL DISTANCE FROM THE TRUNK TO THE EDGE OF THE ROOTBALL ALL AROUND.
- AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR PALMS IS 6-8 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER TWO SIDES DONE A MINIMUM OF 3-4 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 4.5-6 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- CERTAIN PALMS, IN PARTICULAR THOSE THAT ARE SLOW GROWING, REQUIRE LONGER ROOT PRUNING TIME. THESE INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING.

- ALL SPECIES OF ARCHONTOPHOENIX
- ALL SPECIES OF CORYPHA
- AMERICAN OIL PALMS (ALL SPECIES OF ATTALEA)
- BISMARCK PALM (BISMARCKIA NOBILIS)
- CUBAN & CARIBBEAN COPERNICIA
- CUBAN BELLY PALM (GASTROCOCOS CRISPA)
- GINGERBREAD/DOUM PALMS (ALL SPECIES OF HYPHAENE)
- PALMYRA PALMS (ALL SPECIES OF BORASSUS)
- SATAKE PALM (SATAKENTIA LIUKIJENSIS)
- SAW PALMETTO (SERENOA REPENS)
- SILVER PALM (COCOTHIRINAX ARGENTATA)
- ZOMBIE PALM (ZOMBIA ANTILLARUM)

FOR THESE PALMS, THE MINIMUM ROOT PRUNING TIME IS 4-6 MONTHS OR GREATER. ONLY WHEN SUFFICIENT NEW ROOT GROWTH HAS TAKEN PLACE FOLLOWING AN EARLIER ROOT PRUNE CAN THE NEXT ROOT PRUNE BE DONE, AND ONLY WHEN SUFFICIENT NEW ROOT GROWTH HAS TAKEN PLACE FOLLOWING THE FINAL ROOT PRUNE MAY THE TREE BE RELOCATED (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS).

TREE CANOPY PRUNING SPECIFICATIONS

- PRIOR TO RELOCATION, THE CANOPY OF EACH TREE TO BE RELOCATED MUST BE SELECTIVELY PRUNED TO REMOVE CROSSING DEAD, DISEASED, BROKEN, AND LOW HANGING BRANCHES THAT MAY INTERFERE WITH CONSTRUCTION ACTIVITIES, OR THAT MAY INTERFERE OR RESTRICT STRAPPING OR LIFTING THE TREE DURING RELOCATION.
- FOR TREES BEING RELOCATED ONSITE, THE CANOPY MAY BE SELECTIVELY THINNED AND REDUCED BY NO MORE THAN 1/3 OF THE OVERALL CANOPY MASS, AT THE DIRECTION OF THE LANDSCAPE ARCHITECT; HOWEVER, THE BASIC SHAPE, FORM, AND CHARACTER OF THE TREES MUST BE PRESERVED.
- FOR TREES BEING RELOCATED OFFSITE, THE CANOPY MUST BE PRUNED, AT THE DIRECTIONS OF THE LANDSCAPE ARCHITECT, TO FIT ON THE TRAILER FOR TRANSPORT. EVERY EFFORT MUST BE MADE TO RETAIN AS MANY BRANCHES AS POSSIBLE. TO THE WIDEST LOAD WIDTH ALLOWABLE BY THE FLORIDA DEPARTMENT OF TRANSPORTATION. CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS AND ESCORTS TO TRANSPORT WIDE LOADS, PER FLORIDA LAW.
- ALL CANOPY PRUNING MUST BE CONDUCTED FOLLOWING ANSI A-300 TREE PRUNING STANDARDS AND BEST MANAGEMENT PRACTICES.
- ALL DEBRIS GENERATED DURING CANOPY PRUNING MUST BE REMOVED OFFSITE AND DISPOSED.

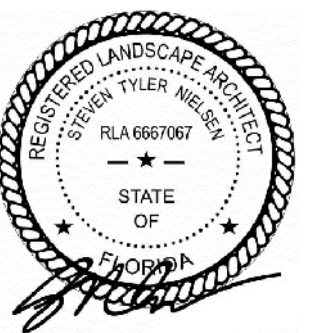
PALM CANOPY PRUNING SPECIFICATIONS

- IT IS WELL KNOW THAT SOME PALMS SURVIVE RELOCATION BETTER WHEN ALL OF THE LEAVES ARE REMOVED (E.G., CABBAGE PALM, SABAL PALMETTO), AND THAT OTHER PALMS BENEFIT FROM HAVING THEIR LEAVES CUT IN HALF DURING RELOCATION (E.G., COCONUT PALM, COCOS NUCIFERA). BOTH OF THESE HORTICULTURAL PRACTICES, WHILE TRUE, ARE ONLY APPLICABLE WHEN PALMS ARE NOT ROOT PRUNED. LEAVES DO NOT NEED TO BE CUT IN HALF OR REMOVED FROM PALMS THAT ARE ADEQUATELY ROOT PRUNED. ON OCCASION WHEN SUFFICIENT ROOT PRUNING TIME IS NOT AVAILABLE, PALMS TO BE RELOCATED MAY HAVE THEIR LEAVES CUT IN HALF OR REMOVED ENTIRELY AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- PALMS LEAVES MUST BE TIED UP WITH 2-PLY BIODEGRADABLE TWINE PRIOR TO RELOCATION TO PREVENT MECHANICAL DAMAGE DURING THE RELOCATION PROCESS.
- PALM TRUNKS SHALL ONLY BE 'CLEANED UP' ACCORDING TO THE LANDSCAPE ARCHITECT'S SPECIFICATIONS SPECIFIC TO EACH PALM.



THE CHARLTON GARDEN
101 HARBOR WAY | HOBE SOUND, FLORIDA 33465

SEAL (S TYLER NIELSEN - LA6667067)



08.22.2025

TREE DISPOSITION NOTES

DATE	ISSUE
07.14.2025	IRC SUBMITTAL
08.22.2025	IRC SUBMITTAL

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TREES PROTECTION NOTES

- CONTRACTOR TO PROTECT ALL EXISTING TREES PRIOR TO THE DEMOLITION OF THE EXISTING STRUCTURE.
- UPON COMPLETION OF OF SITE DEMOLITION, CONTRACTOR TO RELOCATE ALL SPECIFIED TREES AND PALMS FOR RELOCATION. CONTRACTOR TO REINSTALL TREE PROTECTION FENCE AROUND RELOCATED AND EXISTING TREES.
- FENCING AT A MINIMUM FOUR (4) FEET HEIGHT INSTALLED NO CLOSER TO THE TREE TRUNK THAN ITS DRIPLINE. THIS FENCE SHALL BE MAINTAINED IN WORKING ORDER DURING ALL PHASES OF CONSTRUCTION. MAINTAIN TREE PROTECTION ZONES FREE OF WEEDS AND TRASH.
- THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.
- STURDY TEMPORARY BARRIERS SHALL BE INSTALLED AROUND ALL TREE PROTECTION ZONES. BARRIERS SHALL BE A MINIMUM OF FOUR FEET HIGH, AND SHALL BE CONSTRUCTED OF CONTINUOUS CHAIN LINK FENCE WITH METAL POSTS AT EIGHT-FOOT SPACING, OR OF TWO-BY-FOUR INCH POSTS WITH THREE EQUALLY SPACED TWO-BY-FOUR RAILS. POSTS MAY BE SHIFTED TO AVOID ROOTS.

MAINTENANCE SPECIFICATIONS

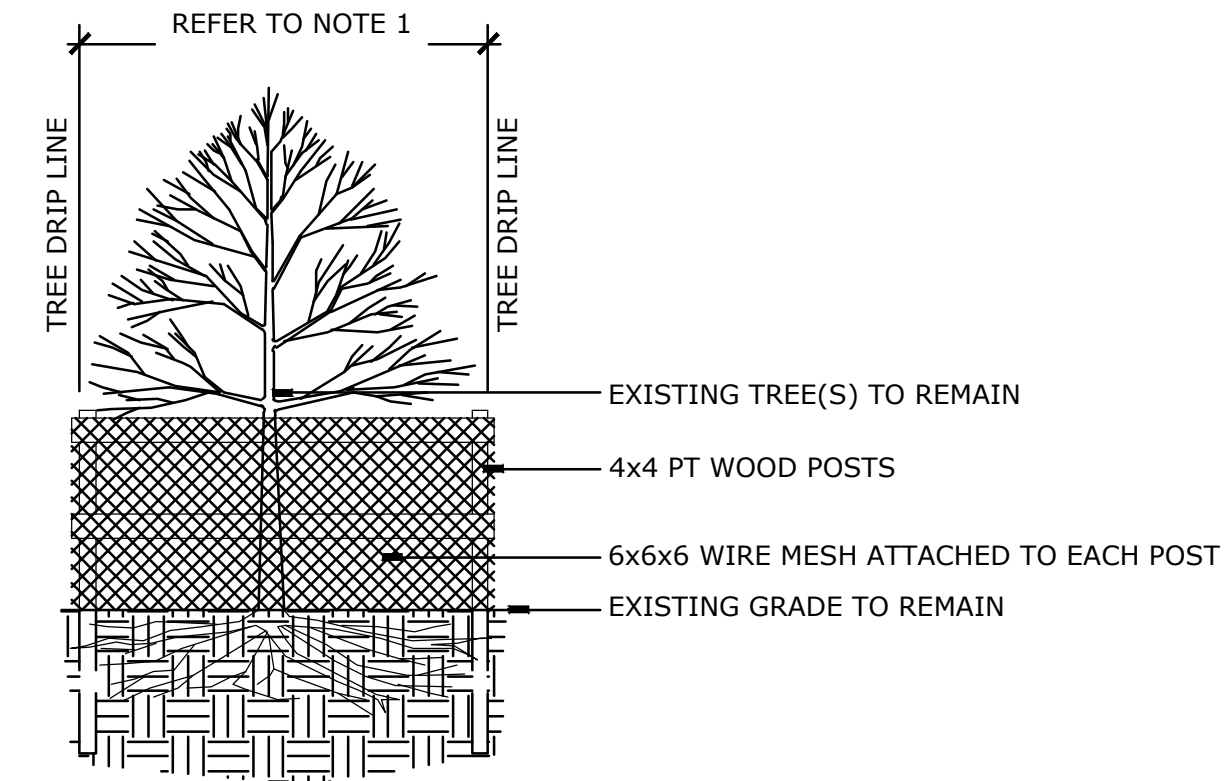
- ALL RELOCATED TREES AND PALMS MUST BE MAINTAINED FOR ONE YEAR FROM THE DATE OF RELOCATION TO THEIR FINAL LOCATIONS.
- CONTRACTOR MUST MAINTAIN ALL RELOCATED TREES AND PALMS FOR ONE FULL YEAR FROM THE DATE OF RELOCATION TO THE FINAL LOCATION.
- WHENEVER POSSIBLE, EACH TREE AND PALM MUST BE WATERED BY A PERMANENT AUTOMATIC IRRIGATION SYSTEM FOLLOWING RELOCATION. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH; THIS WILL REQUIRE 25-50 GALLONS OF WATER FOR SMALL TREES AND PALMS DEPENDING ON ROOTBALL SIZE, WHILE LARGE TREES WILL REQUIRE A MINIMUM OF 10 GALLONS PER FOOT OF ROOTBALL DIAMETER (I.E., A 10' DIAMETER ROOTBALL WILL REQUIRE A MINIMUM OF 100 GALLONS PER WATERING EVENT). WATERING FREQUENCY MUST BE EVERY DAY FOR THE FIRST TWO WEEKS, EVERY OTHER DAY FOR THE NEXT THREE WEEKS, AND EVERY THIRD DAY FOR THE NEXT 6-8 WEEKS.
- WHEN AN AUTOMATIC IRRIGATION SYSTEM IS NOT POSSIBLE, CONTRACTOR IS RESPONSIBLE FOR HAND WATERING RELOCATED TREES AND PALMS THROUGHOUT THE MAINTENANCE PERIOD AND UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR CLIENT.
- IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION. A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A CONTACT ROOT ROT FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS INITIAL PREVENTATIVE MAINTENANCE.
- EVERY THREE MONTHS THEREAFTER, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A BROAD-SPECTRUM SYSTEMIC FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS CONTINUING PREVENTATIVE MAINTENANCE.
- IRRIGATION AND BRACING MUST BE CHECKED AND EACH TREE OR PALM THOROUGHLY INSPECTED FOR SIGNS OF STRESS, DISEASE, OR PEST PROBLEMS ON A MONTHLY BASIS.
- IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 15-2-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.
- IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER A HIGH-QUALITY, SLOW-RELEASE 15-2-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.
- FOLIAR FEED FOUR TIMES PER YEAR.
- STRING MUST BE REMOVED FROM THE TIED UP LEAVES IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION IF THE PALM WAS ROOT PRUNED OR WITHIN 30-45 DAYS AFTER RELOCATION ON THE OCCASION THE LANDSCAPE ARCHITECT APPROVED RELOCATION WITHOUT ROOT PRUNING DUE TO TIME CONSTRAINTS.
- IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER A HIGH-QUALITY, SLOW-RELEASE 8-4-12 GRANULAR PALM FERTILIZER WITH MINORS MUST BE APPLIED. AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.
- FOLIAR FEED PALMS SIX TIMES PER YEAR.

RELOCATION SPECIFICATIONS

- LANDSCAPE CONTRACTOR TO FLAG ALL PROPOSED PLANT LOCATIONS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF 15 DAYS PRIOR TO REVIEW.
- ALL TREES AND PALMS TO BE RELOCATED MUST BE WATERED DAILY FOR AT LEAST 5 DAYS PRIOR TO ANY RELOCATION TO ENSURE THAT THEY ARE FULLY HYDRATED. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.
- ALL ROOTBALLS MUST BE WRAPPED IN BURLAP AND THE TIGHTLY WIRE-WRAPPED (USING REDLINE HORSE WIRE OR EQUIVALENT) TO KEEP THE ENTIRE ROOTBALL INTACT DURING RELOCATION. TREES AND PALMS GROWING IN LIMESTONE MUST BE DUG AND RELOCATED WITH THE ROOT ATTACHED TO A SECTION OF ROCK AS PART OF THE ROOTBALL SUCH THAT THE ROOTS REMAIN INTACT. ROOTBALLS COMING FROM SAND OR SANDY SOIL MAY ALSO NEED TO BE BOXED PRIOR TO RELOCATION, AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- TREES AND PALMS BEING RELOCATED OFFSITE MUST HAVE THEIR ENTIRE ROOTBALLS THOROUGHLY AND TIGHTLY WRAPPED WITH PLASTIC SHRINK WRAP ON THE OUTSIDE OF THE WIRE WRAP, AND THE ENTIRE TREE OR PALM (INCLUDING CANOPY, TRUNK, AND ROOTBALL) MUST BE COVERED WITH A BREATHABLE TARP (E.G., SHADE CLOTH) DURING TRANSPORT.
- NEW PLANTING PITS FOR RELOCATED TREES AND PALMS MUST BE PREPARED PRIOR TO LIFTING THE PALM OR TREE FROM ITS CURRENT LOCATION AND MUST BE AT LEAST 3-4 FEET WIDER THAN THE ROOTBALL AND THE SAME DEPTH AS THE ROOTBALL, SUCH THAT THE FINAL ELEVATION OF THE TOP OF THE ROOTBALL IS AT OR SLIGHTLY ABOVE (NO MORE THAN 2" HIGHER) FINAL GRADE.
- TREES AND PALMS TO BE RELOCATED MUST BE LIFTED BY THE ROOTBALL ONLY, USING APPROPRIATELY SIZED (LENGTH AND STRENGTH) LIFTING STRAPS OR CHAINS. DURING LIFTING, THE TREE OR PALM MUST BE BALANCED IN A MORE-OR-LESS UPRIGHT POSITION, WITH THE STRAP THE TRUNK USED ONLY FOR BALANCING AND MANEUVERING THE TREE OR PALM INTO A POSITION. NO CHAINS MAY BE USED AROUND OR AGAINST THE TRUNK AT ANY TIME. AT NO TIME SHALL 100% OF THE WEIGHT OF THE TREE OR PALM BE ON THE STRAP ATTACHED TO THE TRUNK. TRUNKS MUST BE HEAVILY PADDED WITH 30-60 LAYERS (DEPENDING ON SIZE AND WEIGHT) OF BURLAP BENEATH THE BALANCING STRAP.
- TREES AND PALMS MUST BE LIFTED WITH A CRANE OR BACKHOE APPROPRIATELY SIZED FOR THE SIZE AND WEIGHT OF THE TREE OR PALM AND LIFTED OR CARRIED DIRECTLY TO THE FINAL INSTALL LOCATION OR TRANSPORT TRAILER.
- ONCE LIFTING BEINGS, ANY UN CUT ROOTS UNDER OR AROUND THE ROOTBALL THAT MAY YET REMAIN MUST BE IMMEDIATELY SEVERED WITH HAND PRUNING TOOLS TO MINIMIZE TEARING AND ROOT DAMAGE.
- AGRIFORM PLANTING TABLETS (OR APPROVED EQUIVALENT) MUST BE EVENLY DISTRIBUTED AROUND THE PERIMETER OF THE PLANTING PIT AT THE RATE OF 2 TABLETS PER 1" TRUNK CALIPER PRIOR TO BACKFILLING.
- MYCORRHIZA (ROOTS® TRANSPLANT OR EQUIVALENT) MUST BE INCORPORATED INTO THE BACKFILL SOIL PRIOR TO BACKFILLING.
- RELOCATED TREES AND PALMS MUST BE CENTERED IN THE PLANTING PIT, AND THE PIT BACKFILLED USING A 1:1 MIXTURE OF EXISTING SOIL AND 80:20 (DOT SAND:MUCK) SOIL MIX THOROUGHLY BLENDED TOGETHER. DO NOT USE MUDDY SOIL AS BACKFILL.
- SMALL TREES AND PALMS MUST BE FIRMLY BRACED USING A MINIMUM OF FOUR 4"X 4" WOODEN BRACES ATTACHED TO 2" X 4" WOODEN BATTENS HELD IN PLACE WITH TWO STEEL BANDS. LARGER TREES MAY REQUIRE 6"X 6" WOODEN POSTS OR EVEN TELEPHONE POLES TO PROVIDE SUFFICIENT BRACING STRENGTH TO PREVENT TOPPLING DURING WIND EVENTS. A SUFFICIENT NUMBER OF BATTENS MUST BE STRATEGICALLY PLACED AROUND THE TRUNK SUCH THAT THE STEEL BANDS NEVER CONTACT THE TRUNK. NO BURLAP IS TO REMAIN UNDER THE WOODEN BATTENS ON TREES DURING BRACING, BUT SEVERAL LAYERS OF BURLAP SHOULD BE LEFT UNDER THE WOODEN BATTENS WHEN BRACING PALMS. NAILS SHALL NEVER BE DRIVEN DIRECTLY INTO THE TRUNK DURING BRACING. BRACING MUST REMAIN IN PLACE FOR A MINIMUM OF ONE YEAR.
- A TREE RING WITH A MINIMUM HEIGHT OF 6" MUST BE CONSTRUCTED 6-12" OUTSIDE THE OUTERMOST EDGE OF THE ROOTBALL AND AROUND THE ENTIRE PERIMETER OF THE ROOTBALL TO DIRECT IRRIGATION WATER AND ANY SUPPLEMENTS THAT ARE ADDED DOWN INTO THE ROOTBALL DURING ROOT REGENERATION.
- ONCE THE TREE RING IS CONSTRUCTED, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE LIBERALLY APPLIED TO THE SURFACE AND THOROUGHLY WATERED IN.
- ROOTBALLS MUST BE A THOROUGHLY WATERED IN USING A HOSE AND JOHNSON BAR INSERTED TO THE VERY BOTTOM OF THE ROOTBALL AND SWUNG BACK AND FORTH TO PREVENT FORMATION OF AIR POCKETS. THE JOHNSON BAR TECHNIQUE MUST BE REPEATED AT LEAST ONCE MORE WITHIN 6" OF THE TRUNK. MULCH MUST NOT BE APPLIED OR ALLOWED TO ACCUMULATE DIRECTLY AGAINST THE TRUNK.
- ORGANIC MULCH (MELALEUCA IS PREFERRED) MUST BE APPLIED WITHIN 48 HOURS OF RELOCATION AT A DEPTH OF 3-4" OVER THE ENTIRE TOP OF THE ROOTBALL FROM THE TREE RING TO WITHIN 6" OF THE TRUNK. MULCH MUST NOT BE APPLIED OR ALLOWED TO ACCUMULATE DIRECTLY AGAINST THE TRUNK.
- PITS FROM WHICH THE RELOCATED TREES AND PALMS WERE REMOVED MUST BE CLEANED OFF ALL RESIDUAL ROOTS, STUMPS, AND PORTIONS THEREOF AND BACKFILLED WITH CLEAN FILL FLUSH WITH THE SURROUNDING GRADE.
- RESTORE THE SURFACE WITH MATERIAL TO MATCH ADJACENT AREAS, MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE A MINIMUM OF ONE YEAR WARRANTY ON SETTLING AND PLANT MATERIAL FROM THE SUBSTANTIAL COMPLETION.
- MULTI-TRUNK TREES AND PALMS MUST BE RELOCATED AS ONE UNIT WITH A SINGLE ROOTBALL.
- PLANTING PITS FOR EDIBLE DATE PALMS (PHOENIX DACTYLIFERA) MUST BE BACKFILLED WITH PURE DOT SILICA SAND.

WARRANTY NOTES

- ALL RELOCATED TREES AND PALMS MUST BE GUARANTEED FOR ONE YEAR FROM THE DATE OF RELOCATION TO THEIR FINAL LOCATIONS.
- IF A TREE OR PALM DIES WITHIN THE 1-YEAR WARRANTY PERIOD, IT MUST BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
- IF A TREE OR PALM PERFORMS POORLY WITHIN THE 1-YEAR WARRANTY PERIOD, IT MUST BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE. THE DECISION TO REPLACE BASED ON POOR HEALTH IS AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- IF A TREE OR PALM SETTLES TO AN UNHEALTHY DEPTH WITHIN THE 1-YEAR WARRANTY PERIOD, AS DEEMED BY THE BY THE LANDSCAPE ARCHITECT, IT MUST BE RAISED TO THE CORRECT GRADE AT CONTRACTOR'S EXPENSE.



NOTE:

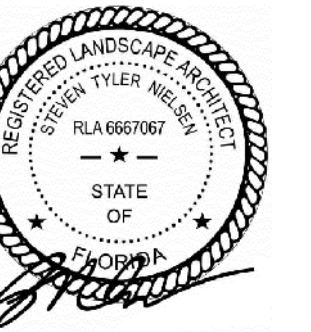
- DUE TO SITE CONSTRAINTS TREE PROTECTION FENCE MAY BE CONTINUOUS TO PROTECT MULTIPLE TREES. TREE PROTECTION FENCE TO BE INSTALLED AT EDGE OF EXISTING HARDSCAPE. WHERE SPACE ALLOWS TREE PROTECTION FENCE TO ALIGN WITH DRIPLINE OF TREE / PALM.
- MAINTAIN FENCE THROUGHOUT CONSTRUCTION.
- REFER TO LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES FOR ADDITIONAL REQUIREMENTS.

1

TREE PROTECTION FENCE

Scale: 1/4" = 1'- 0"

SEAL (S TYLER NIELSEN - LA6667067)



08.22.2025

TREE DISPOSITION NOTES

DATE	ISSUE
07.14.2025	IRC SUBMITTAL
08.22.2025	IRC SUBMITTAL

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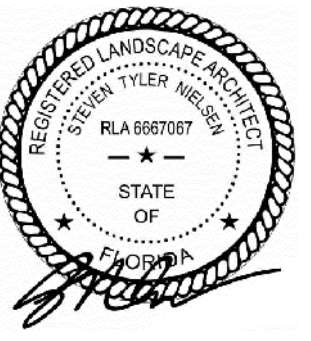
TREE DISPOSITION SCHEDULE

#	BOTANICAL NAME	COMMON NAME	DBH.	HT.	SPREAD	ACTION	NOTES	CONDITION
1	SABAL PALM	SAME	16"	-	-	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL	GOOD
2	COCOS NUCIFERA	COCONUT PALM	12"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
3	PHOENIX SYLVESTRIS	SYLVESTER PALM	16"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
4	WODYETIA BIFURCATA	FOXTAIL PALM	10"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
5	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	6"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
6	FICUS	FICUS	6"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
7	WODYETIA BIFURCATA	FOXTAIL PALM	10"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
8	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	6"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
9	WODYETIA BIFURCATA	FOXTAIL PALM	12"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
10	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	6"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
11	COCOS NUCIFERA	COCONUT PALM	10"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
12	COCOS NUCIFERA	COCONUT PALM	10"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
13	COCOS NUCIFERA	COCONUT PALM	10"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
14	VEITCHIA MERRILLII	CHRISTMAS PALM	20"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
15	VEITCHIA MERRILLII	CHRISTMAS PALM	18"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
16	MANGIFERA INDICA	MANGO	12"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
17	MANGIFERA INDICA	MANGO	14"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
18	DYPSIS LUTESCENS	ARECA PALM	24"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
19	COCOS NUCIFERA	COCONUT PALM	8"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
20	COCOS NUCIFERA	COCONUT PALM	10"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
21	COCOS NUCIFERA	COCONUT PALM	10"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
22	COCOS NUCIFERA	COCONUT PALM	10"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
23	COCOS NUCIFERA	COCONUT PALM	10"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
24	COCOS NUCIFERA	COCONUT PALM	10"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
25	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	30"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
26	WODYETIA BIFURCATA	FOXTAIL PALM	12"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
27	WODYETIA BIFURCATA	FOXTAIL PALM	12"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
28	SABAL PALM	SAME	14"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
29	PHOENIX SYLVESTRIS	SYLVESTER PALM	20"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
30	RECLINATA	RECLINATA	18"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
31	VEITCHIA MERILLI	CHRISTMAS PALM	20"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
32	DYPSIS LUTESCENS	ARECA PALM	18"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
33	DYPSIS LUTESCENS	ARECA PALM	24"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
34	DYPSIS LUTESCENS	ARECA PALM	24"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
35	DYPSIS LUTESCENS	ARECA PALM	20"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
36	DYPSIS LUTESCENS	ARECA PALM	36"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
37	COCOS NUCIFERA	COCONUT PALM	10"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD
38	RECLINATA PALM	RECLINATA	18"	-	-	REMOVE	PLANT MATERIAL DOES NOT CORRESPOND WITH PROPOSED PLANT COMPOSITION	GOOD

TREE REFERENCE IMAGERY



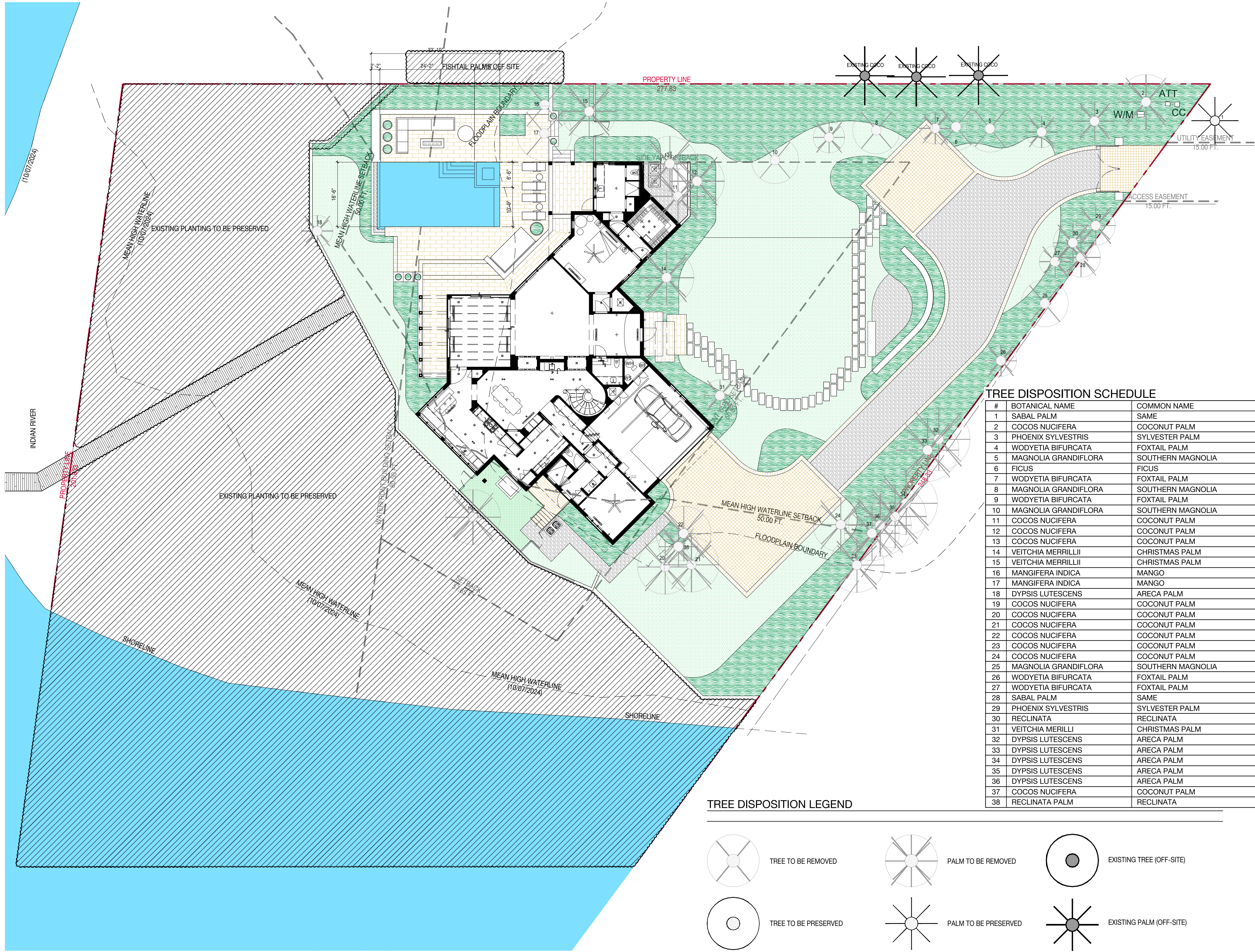
SEAL (S TYLER NIELSEN - LA6667067)



08.22.2025
TREE DISPOSITION SCHEDULE & REFERENCE IMAGERY
 DATE: 07.14.2025 IRC SUBMITTAL
 08.22.2025 IRC SUBMITTAL

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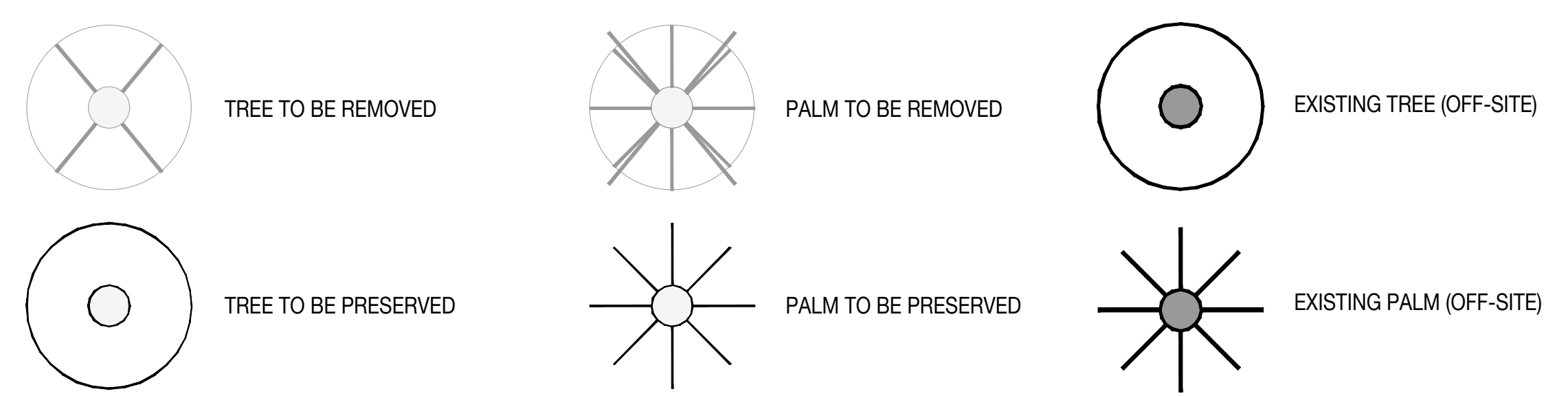
THE CHARLTON GARDEN
101 HARBOR WAY | HOBE SOUND, FLORIDA 33465



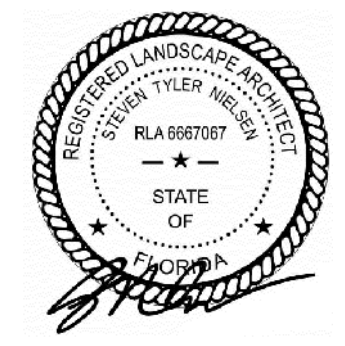
TREE DISPOSITION SCHEDULE

#	BOTANICAL NAME	COMMON NAME	ACTION
1	SABAL PALM	SABAL PALM	PRESERVE
2	COCOS NUCIFERA	COCONUT PALM	REMOVE
3	PHOENIX SYLVESTRIS	SYLVESTER PALM	REMOVE
4	WODYETIA BIFURCATA	FOXTAIL PALM	REMOVE
5	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	REMOVE
6	FICUS	FICUS	REMOVE
7	WODYETIA BIFURCATA	FOXTAIL PALM	REMOVE
8	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	REMOVE
9	WODYETIA BIFURCATA	FOXTAIL PALM	REMOVE
10	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	REMOVE
11	COCOS NUCIFERA	COCONUT PALM	REMOVE
12	COCOS NUCIFERA	COCONUT PALM	REMOVE
13	COCOS NUCIFERA	COCONUT PALM	REMOVE
14	VEITCHIA MERRILLII	CHRISTMAS PALM	REMOVE
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16	MANGIFERA INDICA	MANGO	REMOVE
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19	COCOS NUCIFERA	COCONUT PALM	REMOVE
20	COCOS NUCIFERA	COCONUT PALM	REMOVE
21	COCOS NUCIFERA	COCONUT PALM	REMOVE
22	COCOS NUCIFERA	COCONUT PALM	REMOVE
23	COCOS NUCIFERA	COCONUT PALM	REMOVE
24	COCOS NUCIFERA	COCONUT PALM	REMOVE
25	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	REMOVE
26	WODYETIA BIFURCATA	FOXTAIL PALM	REMOVE
27	WODYETIA BIFURCATA	FOXTAIL PALM	REMOVE
28	SABAL PALM	SABAL PALM	REMOVE
29	PHOENIX SYLVESTRIS	SYLVESTER PALM	REMOVE
30	RECLINATA	RECLINATA	REMOVE
31	VEITCHIA MERRILLII	CHRISTMAS PALM	REMOVE
32	DYPSIS LUTESCENS	ARECA PALM	REMOVE
33	DYPSIS LUTESCENS	ARECA PALM	REMOVE
34	DYPSIS LUTESCENS	ARECA PALM	REMOVE
35	DYPSIS LUTESCENS	ARECA PALM	REMOVE
36	DYPSIS LUTESCENS	ARECA PALM	REMOVE
37	COCOS NUCIFERA	COCONUT PALM	REMOVE
38	RECLINATA PALM	RECLINATA	REMOVE

TREE DISPOSITION LEGEND

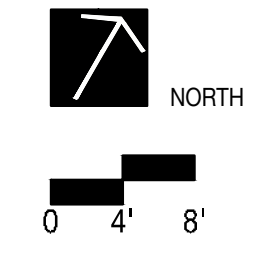


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TREE DISPOSITION PLAN

DATE	ISSUE
07.14.2025	IRC SUBMITTAL
08.22.2025	IRC SUBMITTAL

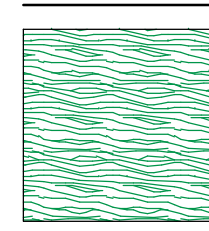
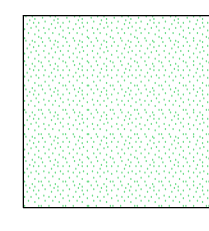
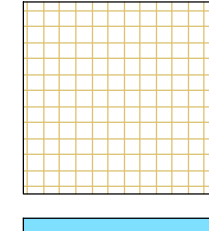
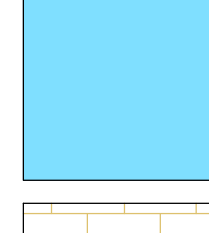
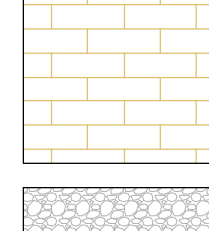
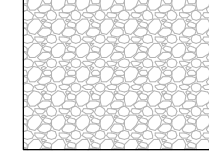


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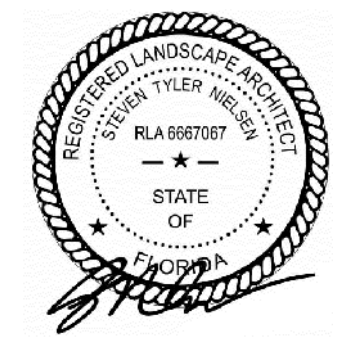
THE CHARLTON GARDEN
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MATERIALS LEGEND

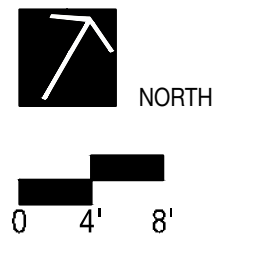
-  PLANTING AREA TYPICAL
-  ZOYSIA SOD
-  DRIVEWAY PAVERS
-  WATER
-  HARDSCAPE
-  GRAVEL

SEAL (S TYLER NIELSEN - LA6667067)



MATERIALS PLAN

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PLANTING NOTES

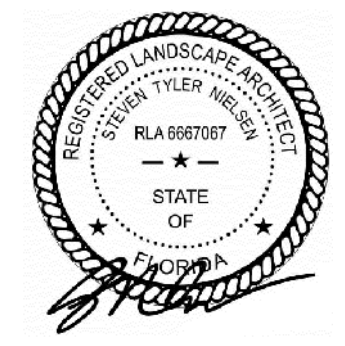
1. PLANT MATERIAL IS TO BE HEALTHY SPECIMENS FREE FROM DISEASE OR DAMAGE, AND IS TO BE MAINTAINED IN EXCELLENT CONDITION WHILE ON THE JOBSITE. LANDSCAPE ARCHITECT SHALL INSPECT PLANT MATERIAL UPON ARRIVAL TO JOBSITE AND WILL REJECT PLANT MATERIAL THAT DOES NOT MEET THE STANDARDS DESCRIBED WITHIN THE CONTRACT DOCUMENTS.
2. THE LANDSCAPE ARCHITECT WILL PERIODICALLY INSPECT PLANT MATERIAL STOCKPILED AND/OR PLANTED ON SITE DURING THE COURSE OF CONSTRUCTION. PLANT MATERIAL NOT MEETING THE STANDARDS CONTAINED WITHIN CONTRACT DOCUMENTS SHALL BE REPLACED AT NO COST TO THE OWNER.
3. PROVIDE MATCHING SIZES AND FORMS FOR EACH PLANT OF THE SAME SPECIES UNLESS OTHERWISE INDICATED.
4. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF DISCREPANCIES, GRAPHICALLY SHOWN QUANTITIES SHALL TAKE PRECEDENCE.
5. ALL MATERIALS USED SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYRMENT.
6. ALL PLANT MATERIAL SHALL BE INSTALLED PLUMB AND PER THE SPECIFICATIONS CONTAINED WITHIN THE CONTRACT DOCUMENTS. ANY NECESSARY STAKING AND/OR OTHER SUPPORTS MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
7. THE CONTRACTOR SHALL PRUNE EXISTING AND/OR NEW TREES ONLY PER LANDSCAPE ARCHITECT DIRECTION.
8. THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL TREES AND B&B SHRUBS FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL, PRIOR TO INSTALLATION.
9. ALL ROOT-WRAPPING MATERIALS THAT ARE NOT BIO-DEGRADABLE SHALL BE REMOVED FROM THE ROOT BALL. ROOT BALLS SHALL BE FREE OF WEEDS.
10. SPECIFIED PLANT MATERIAL SIZES SHALL BE CONSIDERED MINIMUM SIZES.
11. FINISH GRADE OF PLANTING BEDS SHALL BE ONE (1) INCH BELOW ADJACENT FLATWORK, UNLESS SPECIFIED OTHERWISE.
12. MULCH OR PLANTING BED DRESSING SHALL BE PLACED IN ALL PLANTING AREAS AS SPECIFIED. MULCH OR PLANTING BED DRESSING SHALL NOT BE PLACED WITHIN SIX (6) INCHES OF TREE TRUNKS. MULCHING SHOULD BE REPEATED ANNUALLY DURING THE AUTUMN TO A THREE (3) INCH DEPTH.
13. ALL PLANT MATERIAL SHOULD RECEIVE AN ORGANIC FERTILIZER IN LIMITED APPLICATION FOLLOWING INSTALLATION. TYPE AND APPLICATION RATE AND METHOD OF APPLICATION TO BE SPECIFIED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.
14. EXCESS FERTILIZER SHALL BE DISPOSED OF PROPERLY OFF-SITE. IT SHALL NOT BE DISPOSED OF IN STORM DRAINS AND/OR DRYWELLS.
15. STOCKPILED PLANT MATERIAL TO BE PLACED IN THE SHADE AND PROPERLY HAND-WATERED UNTIL PLANTED.
16. MINI-NUGGET TYPE DECORATIVE BARK MULCH WILL BE USED TO RETURN NUTRIENTS TO THE SOIL, REDUCE MAINTENANCE AND MINIMIZE EVAPORATION FOR AREAS APPROXIMATE TO THE RESIDENCE. LARGER SHREDDED BARK MULCH WILL BE USED FOR STEEP AREAS SO SLOUGHING IS LESS LIKELY TO OCCUR.
17. PRESERVE & PROTECT ALL EXISTING VEGETATION INDICATED TO REMAIN AT ALL TIMES.
18. ALL VEGETATION PROPOSED FOR OUTSIDE THE BUILDING ENVELOPE TO BE NATIVE UNLESS OTHERWISE NOTED. PLANTING THAT OCCURS OUTSIDE THE BUILDING ENVELOPE IS FOR RESTORATION PURPOSES ONLY OR IS SPECIFIC TO UTILITIES RESTORATION.
19. SIX (6) INCH PLANT MIX SHALL BE PROVIDED FOR ALL LAWN, TURF, AND NATIVE PLANTING ZONES. 18 INCH PLANT MIX SHALL BE PROVIDED FOR ALL PERENNIAL PLANTING BEDS UNLESS OTHERWISE NOTED.
20. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE #1 OR BETTER AS OUTLINED IN GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II OF THE LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

PLANTING SCHEDULE

ABR.	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
TREES					
SMI	6	SWIETENIA MAHAGONI	MAHOGANY TREE	FG. 20 FT. HT.	YES
MCH	4	MICHELIA CHAMPACA ALBA	SAME	45 GAL. 8-10 FT. HT.	NO
MC2	4	MICHELIA CHAMPACA ALBA	SAME	25 GAL. 8 FT. HT.	NO
CER	16	CONOCARPUS ERECTUS	GREEN BUTTWOOD	65 GAL. 12 FT. HT.	YES
PRA	5	PIMENTA RACEMOSA	BAY RUM	65 GAL. 12 FT. HT.	NO
CG	90	CLUSIA GUTTIFERA	SMALL LEAF CLUSIA	45 GAL. BUSH FORM. 8 FT. HT	NO
PALMS					
AWR	3	ACOELORRHAPHE WRIGHTII	EVERGLADES PALM	FG. CLUMP. 18 FT. HT.	YES
UNDERSTORY TREES & SHRUBS					
C2	39	CLUSIA GUTTIFERA	SMALL LEAF CLUSIA	15 GAL. 6 FT. HT.	YES
ACCENTS					
E1	18	EUGENIA GLOBULUS 'SPHERE'	SAME	25 GAL.	NO
E2	18	EUGENIA GLOBULUS 'SPHERE'	SAME	15 GAL.	NO
E3	27	EUGENIA GLOBULUS 'SPHERE'	SAME	7 GAL.	NO
AA	91	AGAPANTHUS AFRICANUS	LILY OF THE NILE	3 GAL.	NO
PG	26	PHILODENDRON GIGANTEUM	SAME	7 GAL.	NO
AP	50	ALPINIA PURPURATA 'ALBA'	WHITE GINGER	7 GAL.	NO
NG	45	NEOMARICA GRACILIS	WALKING IRIS	7 GAL.	NO
GJ	22	GARDENIA JASMINOIDES	CAPE JASMINE	7 GAL.	NO
SL	50	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	3 GAL.	NO
RO	30	ROSMARINUS OFFICINALIS	ROSEMARY	3 GAL.	NO
SB	295	SPARTINA BAKERI	SAND CORD GRASS	3 GAL. 18 IN. OC.	YES
GROUNDCOVERS					
CM	894	CARISSA MACROCARPA	NATAL PLUM	3 GAL. 18 IN. OC.	NO
VINES					
BI	6	BOUGAINVILLEA 'IMPERIAL THAI DELIGHT'	SAME	7 GAL. TRELIS	NO
PP	60	PHALAENOPSIS PULCHERRIMA	MOTH ORCHID	3 GAL.	NO
MISC.					
ALL SOD AREAS TO BE REPLACED WITH ZOYSIA 'ZEON'					
LANDSCAPE ARCHITECT TO HAVE \$2000 WHOLESALE ACCENT PLANT ALLOWANCE					

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08.22.2025

PLANTING SCHEDULE & NOTES

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PLANT REFERENCE IMAGERY



ACOELORRHAPHE WRIGHTII



SWIETENIA MAHAGONI



CONOCARPUS ERECTUS



CHAMPACA ALBA



CLUSIA GUTTIFERA



AGAPANTHUS AFRICANUS



ALPINIA PURPURATA 'ALBA'



NEOMARICA GRACILIS



CARISSA MACROCARPA



GARDENIA JASMINOIDE



SPARTINA BAKERI



BOUGAINVILLEA 'IMPERIAL
THAI DELIGHT'



SALVIA LEUCANTHA



PHALAENOPSIS PULCHERRIMA



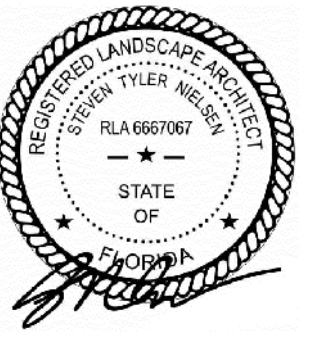
EUGENIA GLOBULUS



ROSMARINUS OFFICINALIS

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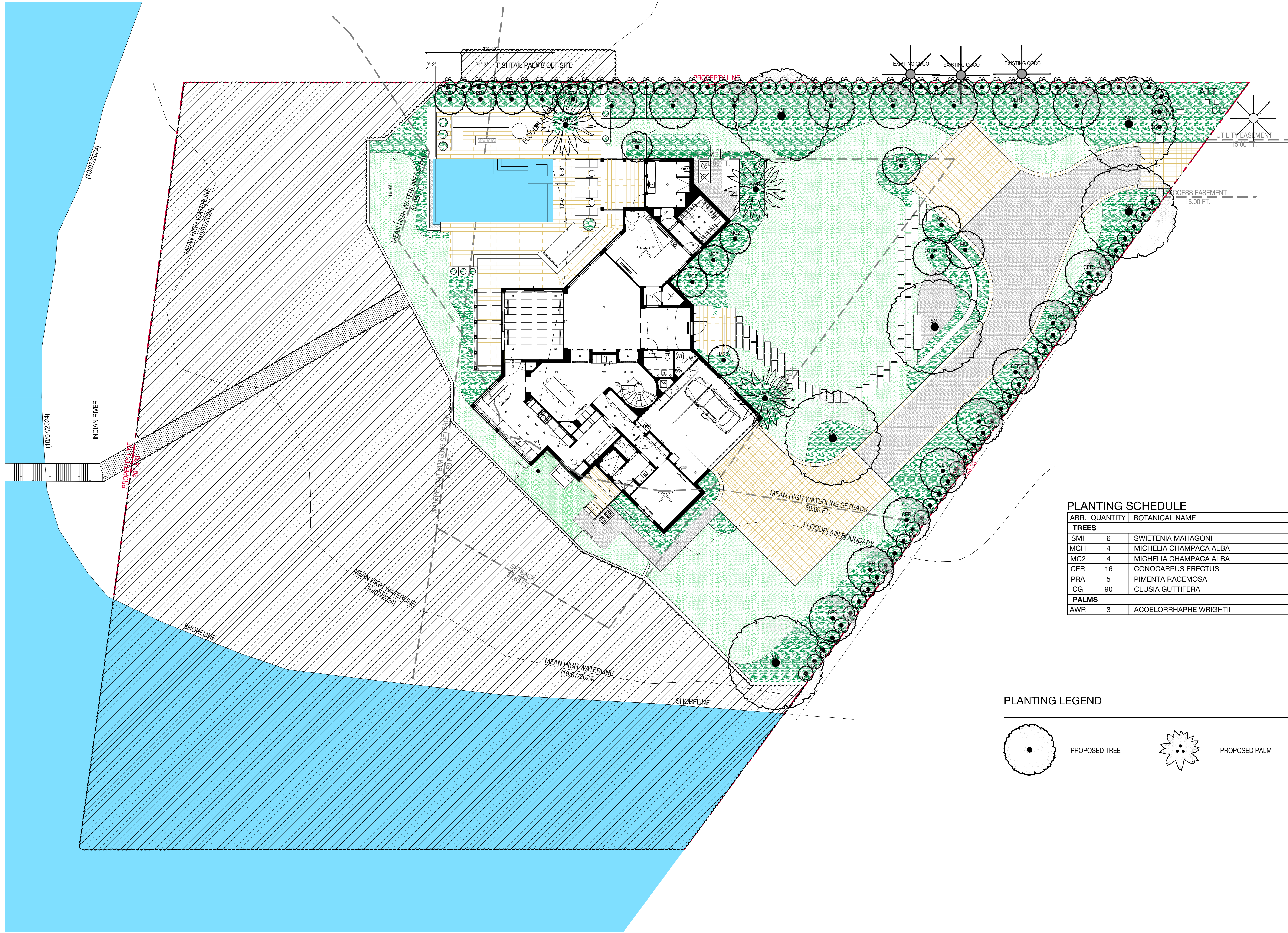
08.22.2025

PLANT REFERENCE IMAGERY

DATE	ISSUE
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08.22.2025	IRC SUBMITTAL

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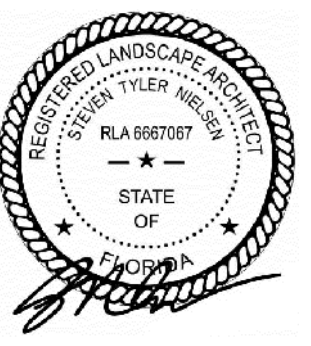
PLANTING SCHEDULE

ABR.	QUANTITY	BOTANICAL NAME
TREES		
SMI	6	SWIETENIA MAHAGONI
MCH	4	MICHELIA CHAMPACA ALBA
MC2	4	MICHELIA CHAMPACA ALBA
CER	16	CONOCARPUS ERECTUS
PRA	5	PIMENTA RACEMOSA
CG	90	CLUSIA GUTTIFERA
PALMS		
AWR	3	ACOELORRHAPHE WRIGHTII

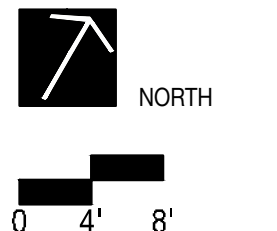
PLANTING LEGEND



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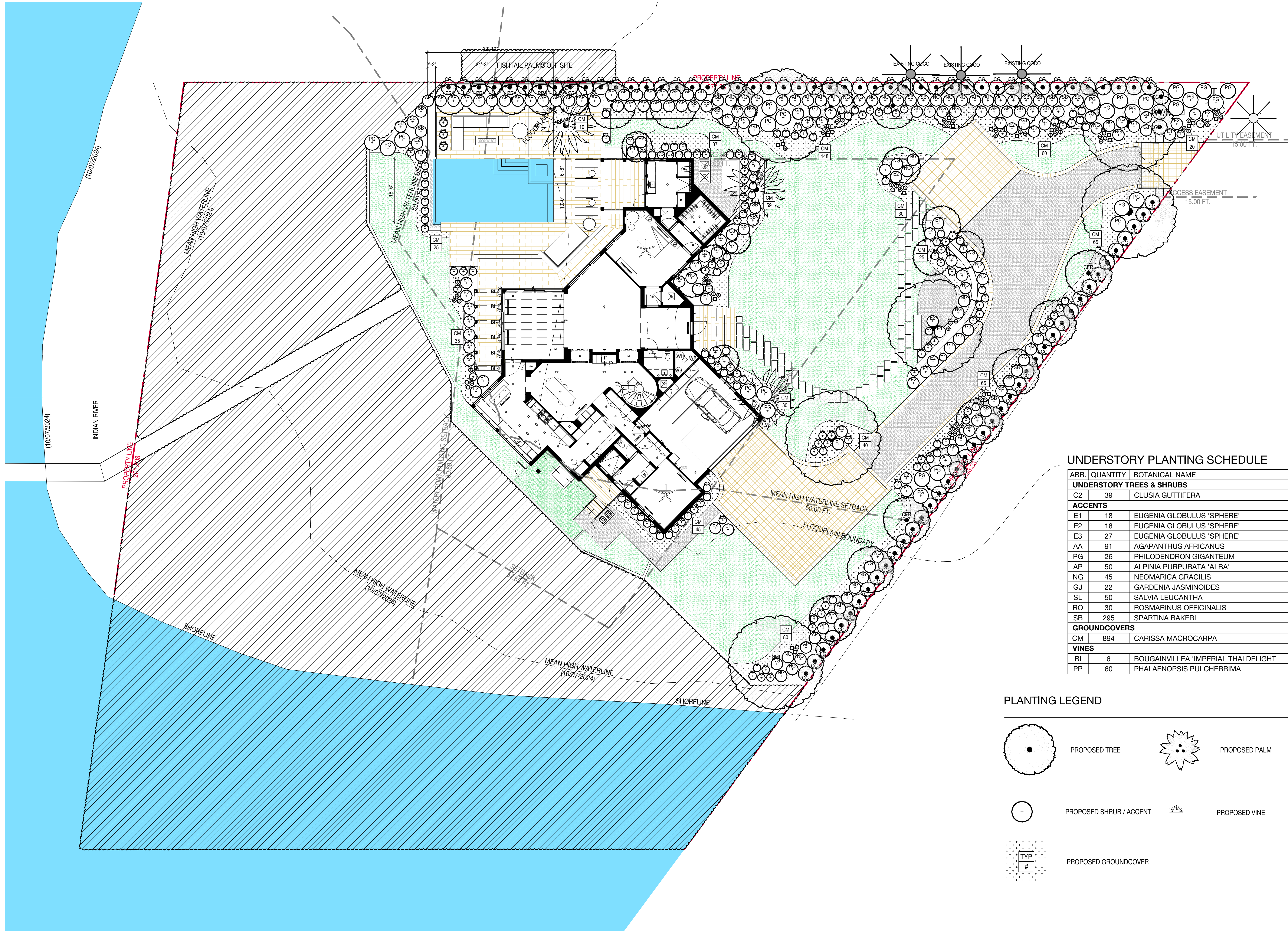


CANOPY PLAN
DATE: 07.14.2025
ISSUE: IRC SUBMITTAL
08.22.2025 IRC SUBMITTAL



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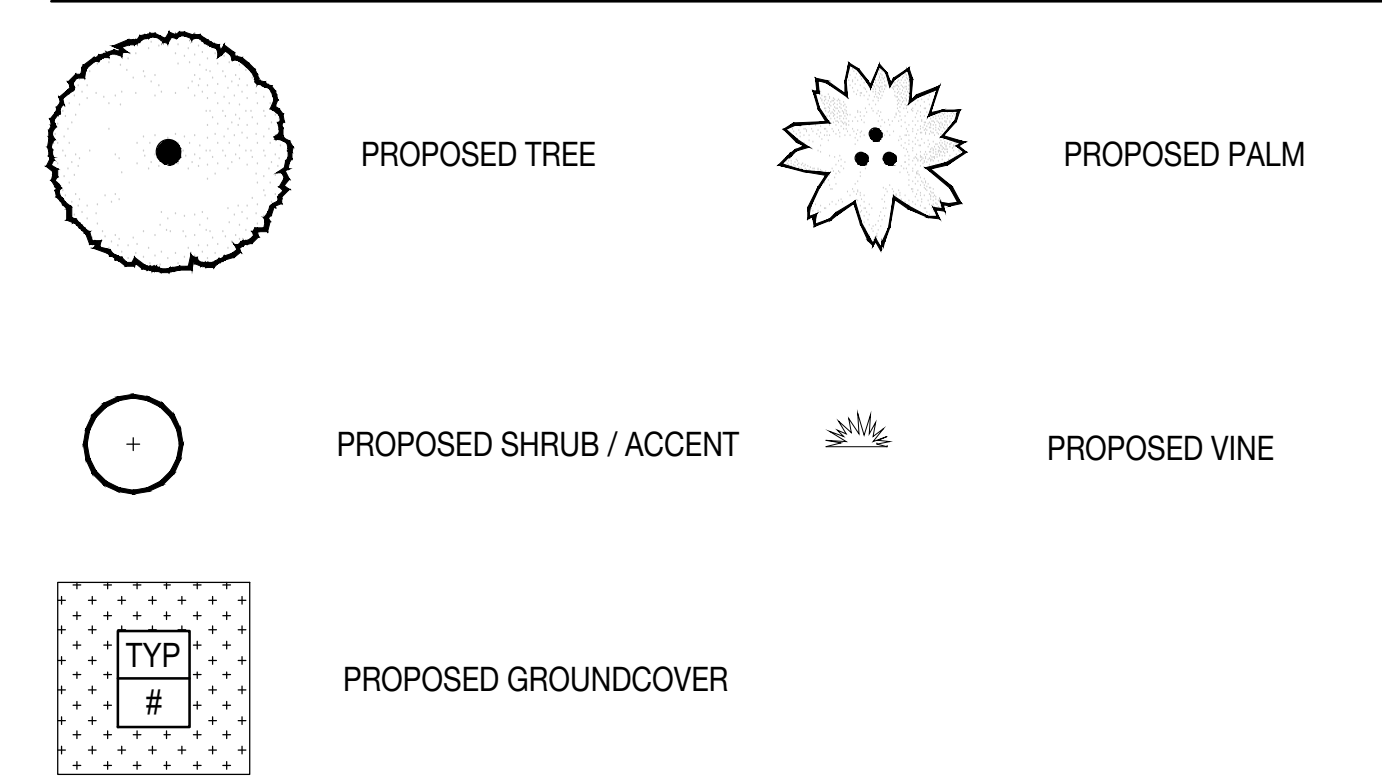
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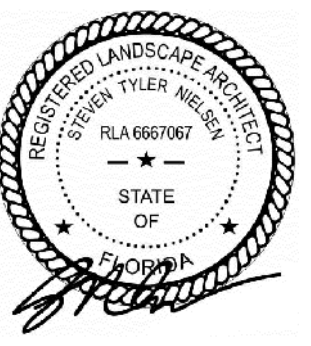
UNDERSTORY PLANTING SCHEDULE

ABR.	QUANTITY	BOTANICAL NAME
UNDERSTORY TREES & SHRUBS		
C2	39	CLUSIA GUTTIFERA
ACCENTS		
E1	18	EUGENIA GLOBULUS 'SPHERE'
E2	18	EUGENIA GLOBULUS 'SPHERE'
E3	27	EUGENIA GLOBULUS 'SPHERE'
AA	91	AGAPANTHUS AFRICANUS
PG	26	PHILODENDRON GIGANTEUM
AP	50	ALPINIA PURPURATA 'ALBA'
NG	45	NEOMARICA GRACILIS
GJ	22	GARDENIA JASMINOIDES
SL	50	SALVIA LEUCANTHA
RO	30	ROSMARINUS OFFICINALIS
SB	295	SPARTINA BAKERI
GROUNDCOVERS		
CM	894	CARISSA MACROCARPA
VINES		
BI	6	BOUGAINVILLEA 'IMPERIAL THAI DELIGHT'
PP	60	PHALAENOPSIS PULCHERRIMA

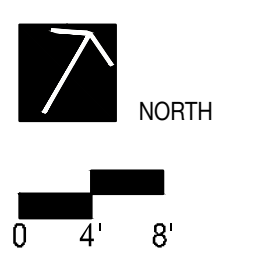
PLANTING LEGEND



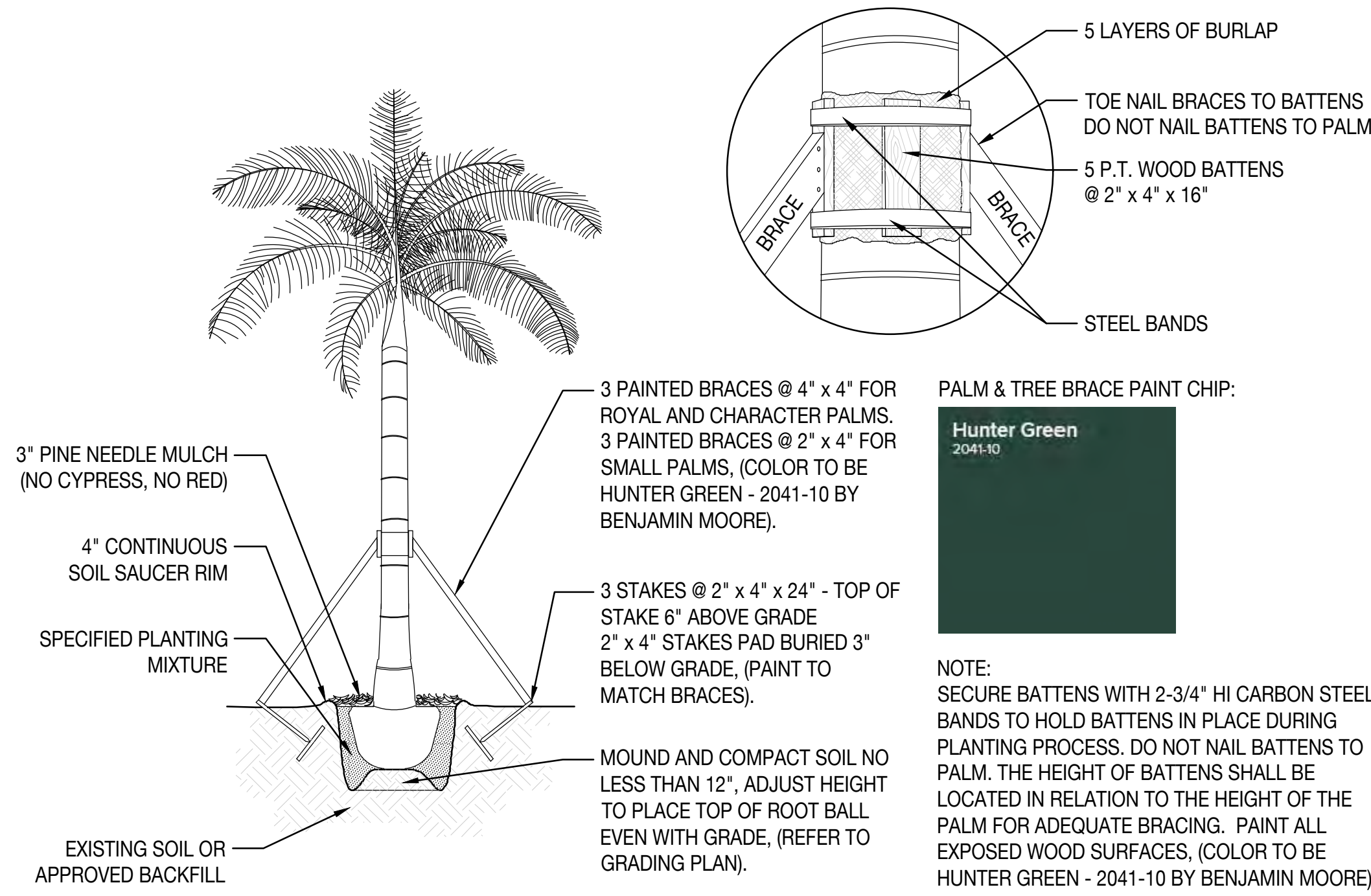
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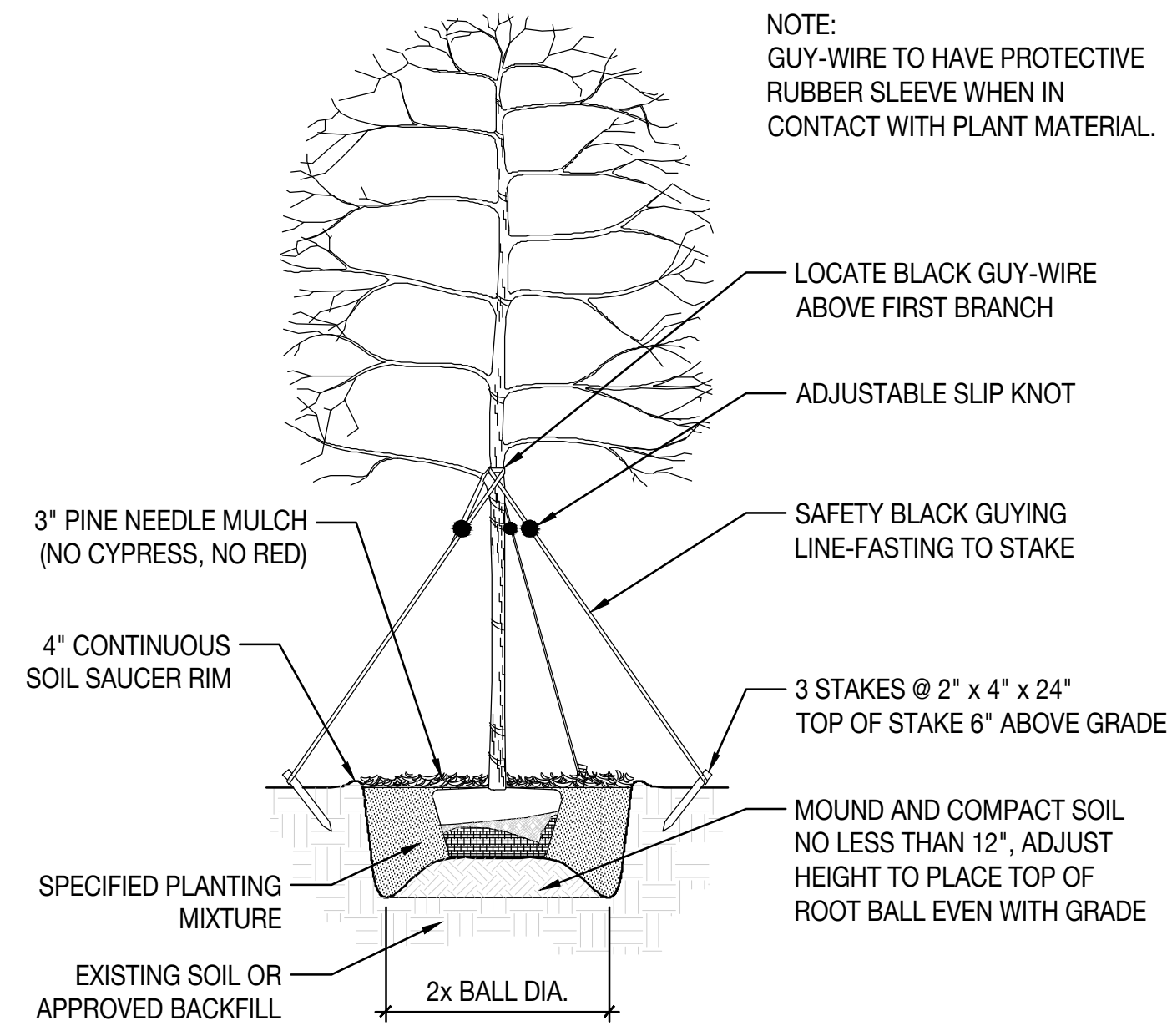
08.22.2025
UNDERSTORY PLANTING PLAN - GROUND LEVEL
DATE: 08.22.2025
ISSUE: 08.22.2025
ISSUE: 08.22.2025
ISSUE: 08.22.2025



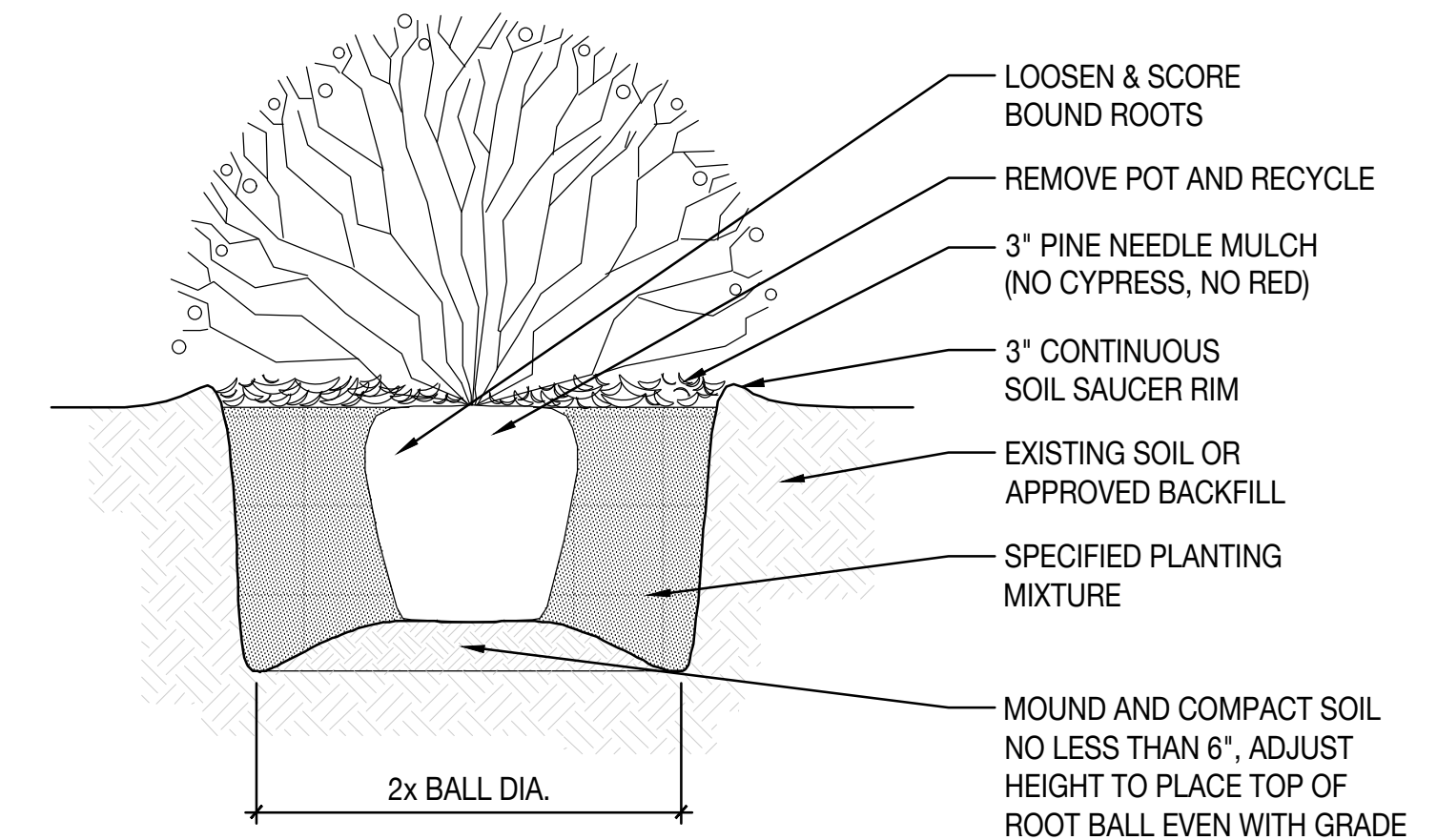
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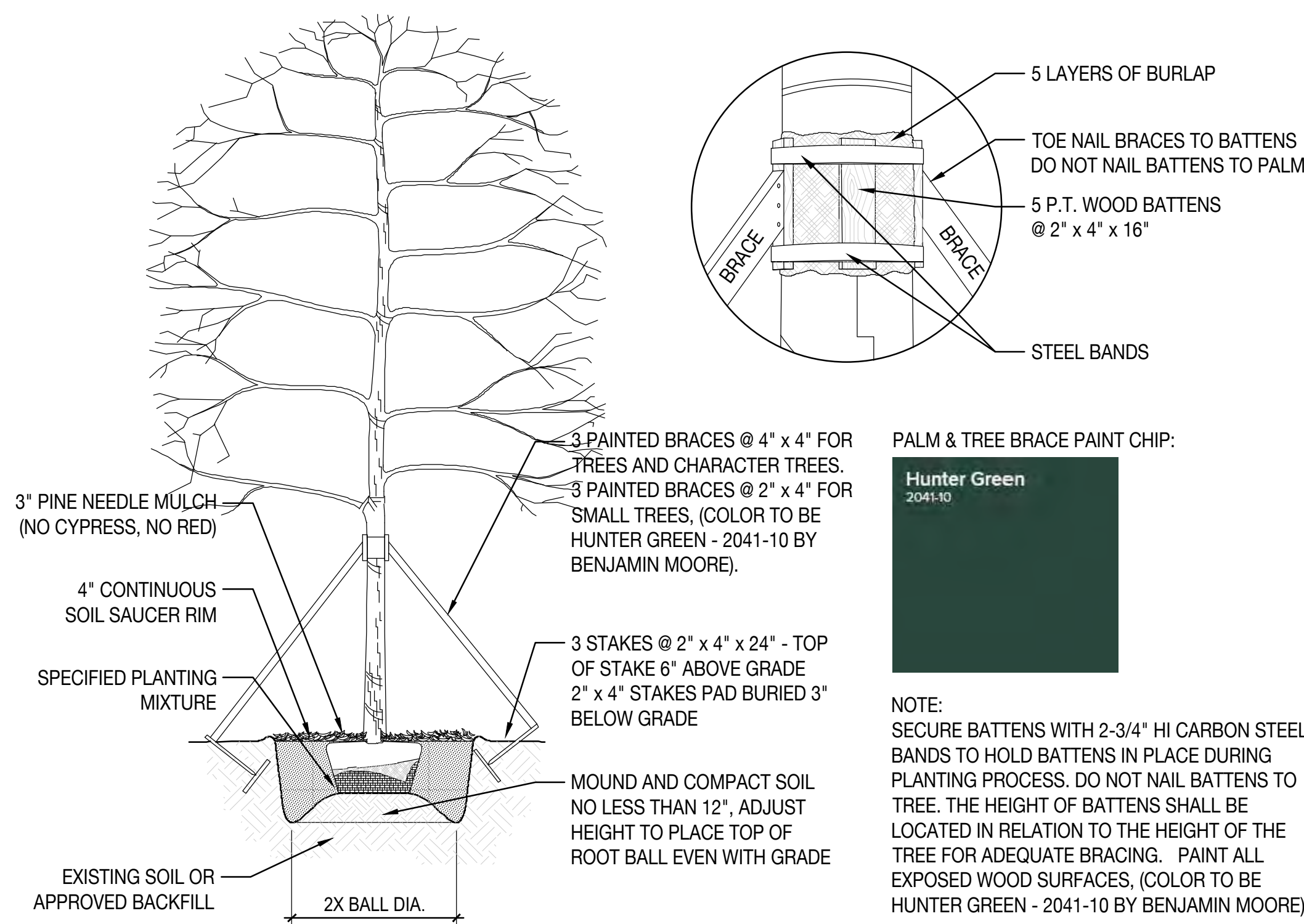
1 PALM PLANTING AND STAKING DETAIL
SCALE: 3/32" = 1'- 0"



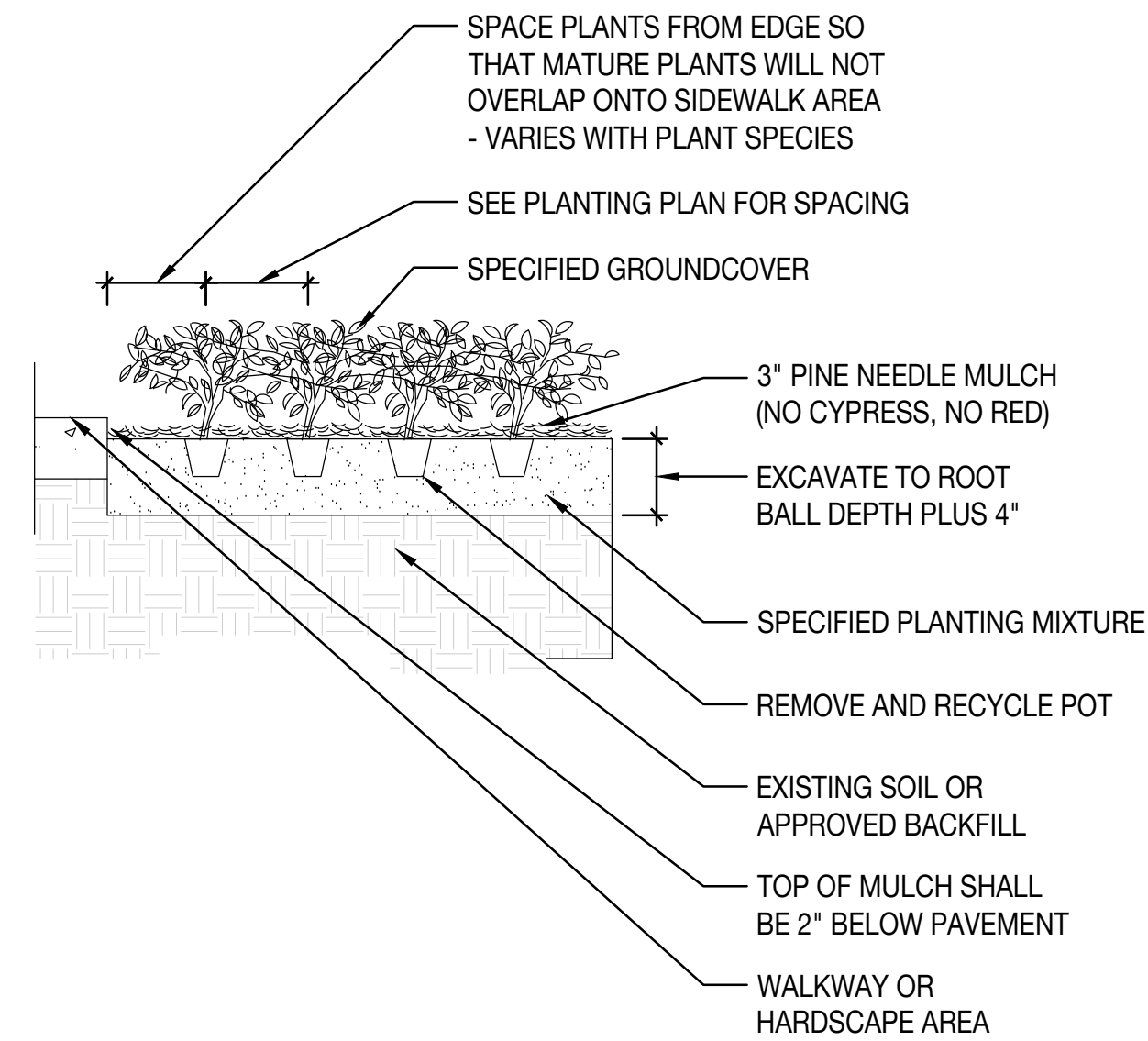
2 UNDERSTORY TREE PLANTING AND STAKING DETAIL
SCALE: 3/32" = 1'- 0"



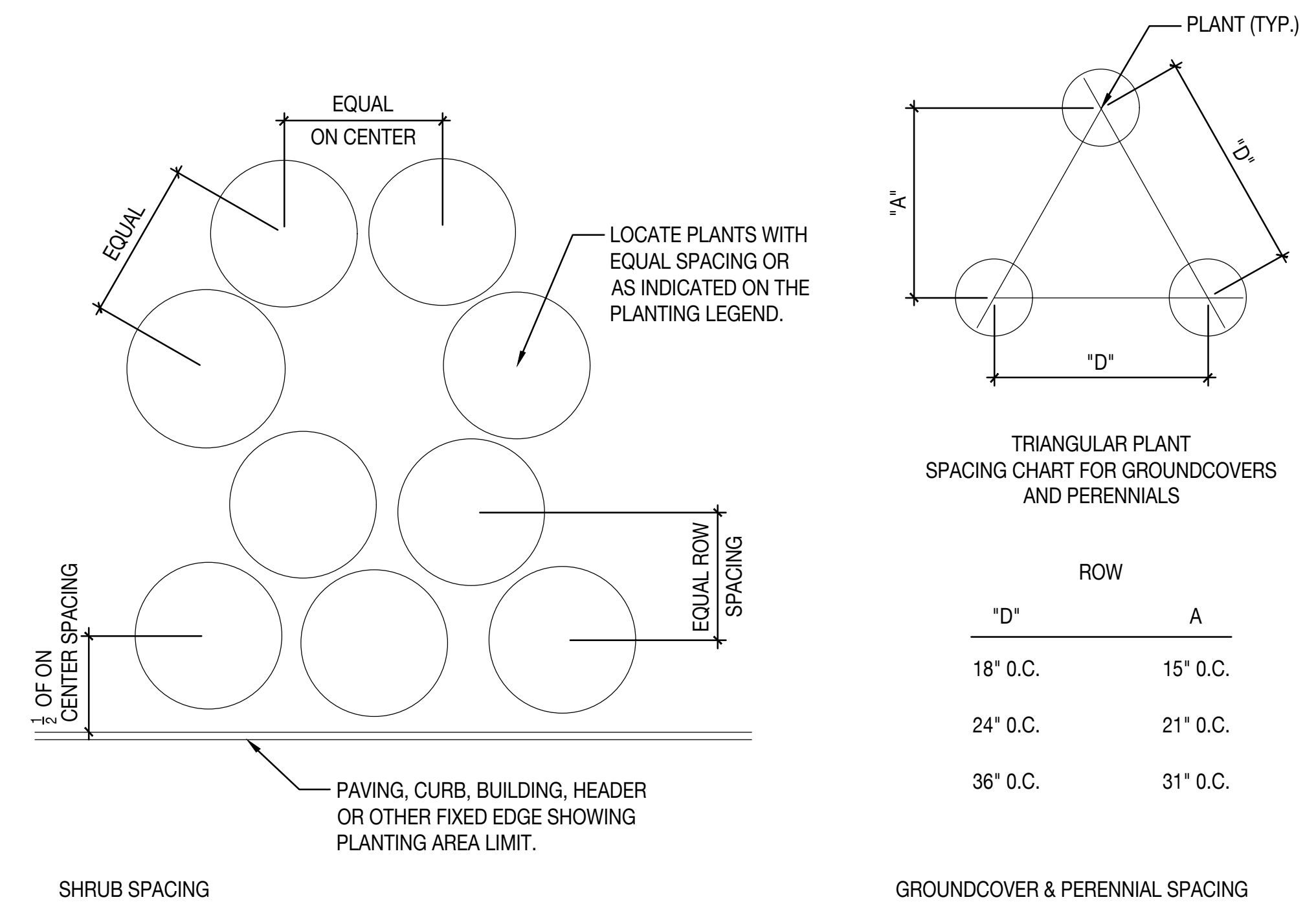
3 SHRUB PLANTING DETAIL
SCALE: 3/32" = 1'- 0"



4 TREE PLANTING AND STAKING DETAIL
SCALE: 3/32" = 1'- 0"

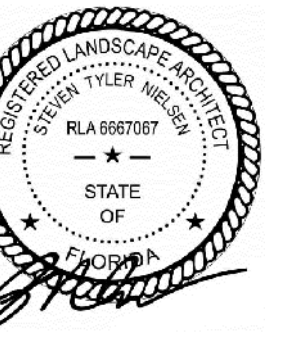


5 GROUND COVER PLANTING DETAIL
SCALE: 3/32" = 1'- 0"



6 PLANT & SHRUB SPACING DETAIL
SCALE: 3/32" = 1'- 0"

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PLANTING DETAILS

DATE ISSUE

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SCALE AS NOTED:

L704