

**AGENDA
TOWN OF JUPITER ISLAND
DEVELOPMENT REVIEW BOARD MEETING
THURSDAY, NOVEMBER 6, 2025, 9:00 AM
ISLAND ROOM – TOWN HALL – 2 BRIDGE ROAD**

Call to Order and Comments*

1. Consent Agenda

- a. Minutes of the Impact Review Committee held on September 11, 2025
- b. Minutes of the Board of Adjustment held on June 26, 2025

2. 1 Bon Aire Desire Ave, Hobe Sound, FL 33455, E-12 Island Core Residential District

The applicant is Branden Bell, and is represented by Scott Hughes, Umbanhoware Architects, and Jared Gaylord, Esq. of Marc R. Gaylord, P.A.

This is a variance and site plan approval for:

Construction of a new 5,030 sq ft single-family residence with pool and associated hardscape and landscape.

3. 126 South Beach Road, Hobe Sound, FL 33455, D-25 Island Core Residential District

The applicants are Robert and Mary McCormack, and are represented by Jared Gaylord, Esq. of Marc R. Gaylord, P.A.

This is a variance for:

Addition of a small closet space on the Northwest side of the existing master suite and a new covered entry. This 7'- 7'5" x 12' closet and new covered entry will result in the addition of 142 square feet, exceeding the permitted floor area for this property by 110 square feet.

4. 214 South Beach Road, Hobe Sound, FL 33455, A-80 2 — Acre Estate Residential District

The applicant is Gate House South Properties, represented by Jared Gaylord, Esq. of Marc R. Gaylord, P.A.

This is a demolition and site plan approval for:

Demolition of the existing main house and construction of a new 5,006 sq ft 2-story single-family residence. Pool and associated hardscape and landscape permits and alterations to the garage and carriage house are already underway.

5. Other Items*

- a. Next Meeting — December 4, 2025 — (Regular meetings to be held on the first Thursday of each month)
- b. Other Matters

6. Adjournment

** No advanced materials provided*

DEVELOPMENT REVIEW BOARD

Judy Holden- Chair
Nancy Auth
Maria Bayazid
Deane Blazie
Truman Hobbs
Jennifer Madden
Christina Whitney
Christina Gidwitz, Alternate
Walter McCormack, Alternate
Eleanor Seaman, Alternate

TOWN STAFF

Robert Garlo, Town Manager
Catherine Harding, Director of Building, Planning & Zoning
Kimberly Kogos, Town Clerk

STATE MANDATED STATEMENT

If a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town prior to the meeting. Please contact the Town Hall, 2 Bridge Road, Hobe Sound, FL 33455, telephone (772) 545-0103.

**MINUTES
TOWN OF JUPITER ISLAND
IMPACT REVIEW COMMITTEE MEETING
THURSDAY, SEPTEMBER 11, 2025**

TIME: Thursday, September 11, 2025 – 9:00 AM
PLACE: Town Hall Island Room – 2 Bridge Rd., Hobe Sound, FL
PRESENT: Present were Vice Chair Judy Holden, Member Jennifer Madden, and Alternate Member Maria Bayazid. Also present were Assistant Town Clerk Trenton Warren, Town Attorney Thomas Baird and IT Director Bill Sutton.

1. Call to Order and Comments*

Vice Chair Holden called the meeting to order and read the purpose statement of the Impact Review Committee from the Land Development Regulations. She established a quorum and introduced the committee members and staff present today.

Assistant Town Clerk Trenton Warren swore in those intending to speak during the hearing, including Building Director Catherine Harding, Attorney Jared Gaylord of Marc R. Gaylord P.A., Paul Catania of Parker Yanette Design Group, and Tyler Nielson of Nielson Landscape Architects.

2. Minutes of the Impact Review Committee August 7, 2025

MOTION: *Member Madden/Alternate Member Bayazid moved to approve the minutes of the Impact Review Committee on August 7, 2025.*

ACTION: *Motion 3-0*

3. 508 South Beach Road

The applicant is Jupiter Boathouse LLC, and is represented by Jared Gaylord Esq. of Marc R. Gaylord, P.A.

This is a modification of a previously approved IRC.

The modification is to relocate the guesthouse from the Northeast corner of the property's building envelope to the Southeast corner of the building envelope.

Ex-Parte Communication:

- *Vice Chair Holden stated she visited the property, read the materials, and had no ex- parte communication.*
- *Member Madden stated she visited the property with Director Harding and had no ex- parte communication.*
- *Alternate Member Bayazid stated she read the materials, visited the property, and discussed the application with Director Harding.*

Director Catherine Harding introduced the application, provided background information, and explained the request. She stated the application meets the zoning requirements of the Land Development Regulations and has met the Impact Review Committee standards. She read two letters from the applicant's neighbors. The first letter expressed a request for a stronger buffer along the concrete

structures on the north property line, and lower hedges to open up the waterfront view. The second letter requested additional buffering to reduce noise impact from the service parking area, the Air Conditioning equipment (A/C) and power generators.

Attorney Jared Gaylord introduced himself on behalf of Jupiter Boathouse LLC, along with the project team. He provided neighborhood aerial photographs and gave the historical background of the property. He provided current floor plans and presented new proposed architectural plans that demonstrated the relocation of the current guesthouse from the northern section to the southeast section of the property. He also explained the relocation of the current septic system. He provided building elevation plans, noting the proposed height of the guest house to be approximately 16 feet, and stated all properties will remain one story.

Alternate Member Bayazid inquired about the direction and orientation of the current guesthouse compared to the proposed new guesthouse. Attorney Gaylord confirmed the current guesthouse is facing north to south and the new guesthouse will face east to west, but assured the buffering will still be more than sufficient.

Paul Catania of Parker Yvette Design Group presented landscape plans and noted the only change was the orientation of the guest house. Board members asked Mr. Catania about buffering between the garage and the neighbor. He showed a graphic with 16-foot fishtail palms, cabbage palms, and shrubs along the south property line, noting that the guest house would be fully screened.

Vice Chair Holden inquired about the sound issues with the A/C and generators. Mr. Catania replied that vegetation would not reduce the noise and that effective abatement would require a wall or berm, which was not reasonable for the site. He added the A/C units would be enclosed once construction was complete.

Member Madden noted the water view concern referenced in one of the resident's letters. Mr. Catania provided a detailed description of the landscape buffer that will eventually drop to a five-foot hedge and lower plantings, providing privacy while keeping views open beyond the pool area. Discussion ensued regarding adequate water views.

Attorney Baird emphasized the need to clearly define how the parties would work together so staff could measure the outcome.

Public Comment:

There were no comments.

Attorney Baird confirmed the following conditions for approval:

- Add additional 16-foot high landscaping to buffer the guest house and lower plantings to buffer the service parking area as shown on site plan A10.
- Add sound buffering to the generator and A/C equipment areas.
- Agree to work to mitigate obstructing the northwest waterfront view of the neighbor.

Attorney Gaylord expressed concern regarding adding more buffering to the southern landscape buffer. He stated there is not much room left on the property to increase the buffer. Discussion ensued between the Committee members and Attorney Baird regarding the buffering situation. Attorney Gaylord suggested the buffering condition could be tailored to require the applicant to adhere to the noise

conditions requirements set in the Land Development Regulations. Vice Chair Holden explained the Committee would like a physical buffer around the A/C and generators.

MOTION: *Member Madden/Alternate Member Bayazid moved to approve the application pending the discussed conditions are met.*

ACTION: *Motion Passed 3-0.*

4. 101 Harbor Way

The applicants are Luke and Erin Charlton, and are represented by Steven Tyler Nielsen of Nielsen Landscape Architects.

This application is for improvements to the landscape and hardscape. Also, the installation of a new driveway, driveway gate, pool, and pool terrace.

Ex-Parte Communication:

- *Vice Chair Holden stated she visited the property with Director Harding, introduced herself to the owner, read the materials, and had no ex- parte communication.*
- *Member Madden stated she visited the property with Director Harding, read the materials, and had no ex-parte communication.*
- *Alternate Member Bayazid stated she had no ex-parte communication, read the materials, visited the property, and discussed the application with Director Harding.*

Director Catherine Harding introduced the application, provided background information, and explained the request.

Tyler Nielson introduced himself on behalf of property owners Luke and Erin Charlton. He described the location of the property and provided proposed plans of the improvements to the property, with the intent of creating a tropical modern romantic garden on the front lawn. He described new entry columns and a gate to improve security, coral stone paver walkways and seating areas, and a landscape palette and accent features to achieve the desired design. He concluded by noting that construction staging and parking areas would be managed on-site, and existing mixed plantings would be replaced with more organized buffers to enhance privacy and garden use.

Alternate Member Bayazid asked if buttonwood trees on the northwest side would impact the northern neighbor. Mr. Nielson confirmed they would not, noting the trees would be spaced and offset to avoid encroachment, and explained that south views are already screened by palms and mangroves.

Member Madden inquired about the replacement trees on the south buffer being sufficient for coverage. Mr. Nielson explained the new trees and vegetation will be ample to maintain the buffer without issue. He further explained that the new trees will require less fertilizer than the current areca palms.

Vice Chair Holden asked about the parking situation for the workers and stated more than eight cars would require the workers to be bused in. Attorney Baird explained the development order would incorporate the letter. She also raised concerns about the drainage sytem near the mangroves. Mr. Nielson stated there are no plans to adjust or change the existing drainage system. He explained a silt fence would be installed along the riprap wall, and positive drainage would be maintained through sales that allow percolation into the soil. He added the house itself was existing and not part of the proposed

improvements. Mr. Nielson stated no dirt would be added or removed from the property and confirmed the berms and sales along the property lines would not be affected.

Vice Chair Holden recommended adding a condition to require maintenance of the sales on the site.

Property owner Luke Charlton was sworn in and clarified that the seawall protects the mangroves and would be completed as part of the project. He said the property has no underground drainage, sits higher than surrounding land, and drains naturally toward the road, with the main swale located in a neighboring road easement outside their control. Mr. Nielson echoed the Owner's testimony, stating the site grade would remain the same, with new plantings placed at existing levels, and drainage would continue naturally without impact.

Vice Chair Holden noted the earlier condition was no longer necessary since the sales are not located on the property.

Public Comment:

There was no public comment.

MOTION: Member Madden/Alternate Bayazid moved to approve the application with the conditions discussed.

ACTION: Motion Passed 3-0.

5. Other Items*

- a. Next Meeting - October 2, 2025 - To be determined*

Director Harding explained there are currently no active applications for the Committee. She explained this will be the last meeting of the Impact Review Committee if Ordinance No. 411 is passed at the September Town Commission meeting. She explained the Building Department is still processing applications in anticipation of an October meeting.

Vice Chair Holden ended the meeting at 10:15am.

- b. Other Matters*

Respectfully Submitted,

Kimberly Kogos, Town Clerk

**MINUTES
TOWN OF JUPITER ISLAND
BOARD OF ADJUSTMENT MEETING
THURSDAY, JUNE 26, 2025**

TIME: Thursday, June 26, 2025 – 9:00 AM
PLACE: Town Hall Island Room – 2 Bridge Rd., Hobe Sound, FL
PRESENT: Present was Member Nancy Auth and Alternate Members Deane Blazie and Walter McCormack. Also present were Building Department Director Catherine Harding, Assistant Town Clerk Trenton Warren, and Town Attorney Thomas Baird.

CALL TO ORDER AND ROLL CALL

Member Auth called the meeting to order at 9:01 AM. She announced a quorum.

AGENDA

1. Minutes of the meeting of February 27, 2025

MOTION: *Blazie/McCormack moved to approve the minutes of the February 27, 2025 BOA meeting as presented.*

ACTION: *Motion passed 3-0.*

Assistant Town Clerk Warren swore in those who may speak at today's hearing including: Attorney Jared Gaylord of Marc R. Gaylord P.A. and Building Director Catherine Harding.

Ex-Parte Communications:

- Member Auth stated she visited the site with Director Harding and had no ex-parte communication.
- Alternate Member Blazie stated he visited the site with Director Harding and had no ex-parte communication.
- Alternate Member McCormack stated he exchanged an email with Director Harding and had no ex-parte communication.

2. South Beach Road Subdivision

This is the application of Robert M. Kaye, represented by Jared Gaylord, Esq. of Marc R. Gaylord, P.A., requesting the following:

A subdivision of the lot into two lots. One on the west side of South Beach Road, Lot No, 1 and one on the east side of South Beach Road, Lot No. 2.

Lot No. 1 is developed with a Main House, Accessory Garage, a Caretaker's Cottage and a Pool. Lot No. 2 is developed with a Beach House.

Director Harding introduced the application and noted:

The applicant is requesting a subdivision of the lot into two lots. One on the west side of South Beach Road, Lot No, 1 and one on the east side of South Beach Road, Lot No. 2. Lot No. 1 is developed with a main

house, accessory garage, a caretaker's cottage and a pool. Lot No. 2 is developed with a beach house.

Director Harding referred to a letter of support and noted that the subdivision is consistent with the Town of Jupiter Island Comprehensive Plan, is consistent with the Subdivision Regulations in Article V of the Town of Jupiter Island Land Development Regulations and is consistent with the underlying Zoning Regulations in Appendix A of the Town of Jupiter Island land Development Regulations.

Director Harding explained that the current and future Land Development Regulations have been analyzed and all required setbacks, height limits and lot coverage meet the Land Development Regulations for the existing lot except the driveway setback. The required setback is 8 feet from the property line and the pre-existing setback is approximately 6-7 feet. The proposed westerly Lot No. 1 will have the pre-existing driveway setback. The proposed easterly Lot No. 2 will be completely conforming.

Attorney Jared Gaylord, representing applicant Robert M. Kaye, greeted the Board and introduced the subdivision application for 404 South Beach Road. He explained the property straddled the S-curve along South Beach Road and outlined the four-step subdivision process, with this presentation serving as the first step. Attorney Gaylord provided aerial photographs showing the proposed subdivision into two lots: Lot 1 containing the main residence, garage, and caretaker's quarters, and Lot 2 containing an existing beach cottage. He confirmed both lots would remain under the permitted floor area, with Lot 1 approximately 3,300 square feet under and Lot 2 approximately 5,000 square feet under the allowable limits.

Attorney Gaylord reviewed the existing survey, site data, proposed subdivision plat, and building envelopes, noting that Culpepper & Terpening, the Town's surveying consultant, reviewed and approved the final plat. He confirmed both lots exceeded the minimum frontage and width requirements and that the traffic study estimated an increase of 10 trips per day, based on standard planning methodology. He summarized the Town's subdivision regulations, emphasizing that the application met all requirements and standards.

Town Attorney Baird advised the Board to obtain clarification regarding the westerly lot, as Director Harding acknowledged the lot would not meet the required eight-foot setback, instead providing only six feet. Town Attorney Baird suggested the Board ask whether the setback could be increased to meet the regulation and clarified that although the encroachment involved a driveway, not a structure, it remains a setback regulation that should be addressed.

Attorney Gaylord acknowledged the driveway on the westerly lot is slightly non-conforming but explained the proposed subdivision would not worsen or change the existing encroachment. He offered to discuss with the applicant whether adjusting the setback is something they would consider during the process, noting that the subdivision approval requires four separate meetings over several months.

Director Harding confirmed her report found the subdivision consistent with underlying zoning regulations but noted the westerly lot does not meet the required eight-foot setback, providing only six feet. Attorney Gaylord and Director Harding clarified the driveway encroachment is pre-existing and non-conforming, with no indication of how the non-conformity occurred. Since the encroachment is not being expanded, there is no requirement to modify it. The Board would need to determine whether the subdivision is acceptable with the existing condition.

MOTION: *McCormack/Blazie moved to approve the application for subdivision with an existing nonconformity based on the testimony of the Town's Building Director and recommend approval to the Town Commission.*

ACTION: Motion passed 3-0.

3. Other Items*

a. Next Meeting - To Be Determined

Director Harding noted that the next meeting date is still to be determined.

b. Other Items

No other items were discussed.

Member Auth adjourned the meeting at 9:26 AM.

Respectfully submitted,

Kimberly Kogos, Town Clerk



NOTICE OF PUBLIC HEARING
TO CITIZENS OF THE TOWN
OF JUPITER ISLAND, FLORIDA

DEVELOPMENT REVIEW BOARD

A Public Hearing/Meeting will be held at the Jupiter Island Town Hall, 2 Bridge Rd, Hobe Sound, FL on **Thursday, November 6, 2025 at 9:00 am** for the purpose of considering the following application:

1 Bon Aire Desire Avenue – E-12 Island Core Residential District

This is the application of Braden Bell, represented by Scott Hughes of Hughes Umbanhoware Architects, requesting the following:

A site plan approval for:

Construction of a new 5,030sq ft single family residence with pool and associated hardscape and landscape.

In accordance with Article X, Division V, Section 5.00, Standards for Approval of Variances, the applicant is requesting a variance to Article IV, Division II, Section 2 for Initial Measuring Point.

Plans are available for inspection at the Building Department at Town Hall Monday through Friday, 9:00 a.m. to 3:30 p.m.

The Development Review Board meeting may be viewed live, or any time after the meeting, via the Town's website: www.townofjupiterisland.com.

STATE MANDATED STATEMENT:

If a person decides to appeal any decision made by the board, agency, committee, or commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town prior to the meeting. Please contact the Town at Town Hall, 2 Bridge Road, Hobe Sound, FL 33455, telephone (772) 545-0100



**TOWN OF JUPITER ISLAND
Development Review Board
Meeting Date: November 6, 2025**

STAFF REPORT

To: Chair and Members of the Development Review Board
Copy: Robert Garlo, Town Manager, Tom Baird, Town Attorney
From: Catherine Harding, Building, Planning, and Zoning Director
RE: 1 Bon Aire Avenue

Owner:

Branden Bell, 1 Bon Aire Avenue, Hobe Sound, Fl. 33455

Agents:

Scott Hughes, AIA of Umbanhowar Architects and Jared Gaylord Esq. of Marc R. Gaylord, P.A.

Property Description:

1 Bon Aire Drive is an undeveloped .58-acre lot located in the E-12 Island Core Residential District, on the north end of Jupiter Island. It is the first home to be developed in the Bon Aire Desire Subdivision.

Request:

The state designated Coastal Construction Control Line runs through the lot, resulting in a portion of the property to be located forward of that line. Construction forward of the CCL Line is regulated by the Department of Environmental Protection (DEP). The owner is requesting relief from the Town of Jupiter Island Land Development Regulations, Article IV. Division 2. Section 2.00, A. 2 and 3. for the initial measuring point at 8 feet NAVD (North American Vertical Datum 1988) or a

point established by the Development Review Board to an elevation of 14.8 feet NAVD, the required height of the DEP Regulations.

Planning and Zoning Analysis:

The attached Site Zoning Analysis Chart shows the proposed building meets all other Land Development Regulations as to the height of a building, setbacks, and floor area.

Staff Reports from Stuart Trent, Director of Engineering; Stuart Trent, SMRU Utility Director; King Tree Service; Sergeant/Fire Chief, Frank Lasaga, and CCCL permit Review Checklist are attached for review.

Requirements for review by the Development Review Board.

Standards for a Variance in Article X. Division 5, have been addressed by the applicant as required and are attached for the Board's review.

Standards for Impact Review as stated in Article X. Division 2. Section 2.02 are attached for the Board's review.

Building Department Recommendations:

In accordance with the attached written report from Stuart Trent, Director of Engineering for the Town of Jupiter Island dated May 1, 2025, the applicant should provide as follows:

“Please provide fully engineered plans and concurrency calculations to manage stormwater to the LOS requirements within the boundary of this project.” and;

In accordance with the attached written report from King Tree Service, dated April 10, 2025, applicant should provide as follows:

West property line is insufficient. It is suggested that a few more of the 30-foot-tall Coconut Palms already specified in other areas of the buffer be added to the west property line.

These recommendations if approved by the Board will be part of the requirements for a Building Permit.

Construction site maintenance and buffers will be enforced by Code Compliance.

Cah/10/16/25

site analysis:

address:	1 bon aire desire avenue hobe sound, fl 33455		
zoning district:	E-12	Island Core Residential	
planned start date of construction:	required	existing	proposed
lot area:	>12,500	25,207 sq ft	NA
lot width:	>125'	125.05'	125.05'
floor area *principle dwelling shall not exceed 10,000 sq ft.	5,041 sq ft (20% max)	NA	5,030 sq ft
front yard setback:	30'	NA	30'
rear yard setback:	35'	NA	35'
side yard setback: (one-story) 1. lot width less than 125' 2. lot width greater than 125'	20'	NA	20'
side yard setback: (two-story) 1. lot width less than 125' 2. lot width greater than 125'	25'	NA	25'
initial measuring point: (IMP)	>8'	8'	14.8' NAVD
fill:	(max) 3'	NA	< 3'
maximum roof height: pitch: (one-story)	NA	NA	NA
maximum roof height: pitch: (two-story)	24' flat	NA	24'
maximum exterior wall height: (one-story)	14'	NA	14'
maximum exterior wall height: (two-story)	22'	NA	22'
parking spaces:	1 per bedroom/5	NA	6
driveway setback:	3'	NA	see landscape plan
landscape/ pervious area:	50%	NA	64%
elevation of LHSM: (lowest height of structural member)	14.8' NAVD	NA	14.8' NAVD
elevation of finished floor:	9'	NA	9'
FEMA flood zone:	"x" and "AE"		

Sec. 2.02. Standards for impact review.

The decision-maker shall approve an application for impact review approval if the applicant demonstrates that:

- A. The proposed development will not adversely affect the public interest; and
- B. The proposed development is consistent with the surrounding neighborhood character; and
- C. The visibility of the proposed development from public rights-of-way, adjacent properties, the beach, the ocean and the intracoastal waterway is minimized in a manner that is consistent with the surrounding neighborhood character; and
- D. The landscape treatment along the front lot line is comparable to the character and quantity of the streetscape along lot frontage on the same public road for a distance of 1,000 feet in both directions; and
- E. The proposed ingress and egress is functionally adequate with regard to vehicular and pedestrian safety, separation of automotive traffic, traffic flow and control, provision of services, servicing of utilities, refuse collection, and access in case of fire, catastrophe or emergency; and
- F. Proposed screens and buffers are sufficient to ensure compatibility of uses and buildings with adjacent properties; and
- G. The location, design and character of lighting and sound will not adversely affect adjacent properties; and
- H. The proposed stormwater management system is sufficient to prevent runoff from adversely affecting adjacent properties; and
- I. The proposed development is designed and located so that all buildings are screened from view from adjacent properties and public roads such that the visual character of the proposed development from adjacent properties and public roads is predominantly natural, landscape plant material, and land forms.

(Ord. No. 368, § 3, 7-17-18)

Sec. 5.00. Standards for approval of variances.

Except as provided in article V, section 5.09 (variances related to subdivision standards), the board of adjustment shall grant a variance from the terms of these land development regulations if the applicant demonstrates that:

- A. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district; and
- B. The special conditions and circumstances do not result from the actions of the applicant; and
- C. The variance requested will not confer on the applicant any special privilege that is denied by these land development regulations to other lands, buildings or structures in the same zoning district; and
- D. Literal interpretation of the provisions of these land development regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of these land development regulations and would work unnecessary and undue hardship on the applicant; and
- E. The variance is the minimum variance that will make possible the reasonable use of the land, building or structure; and
- F. The variance will be in harmony with the general intent and purpose of these land development regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and
- G. The variance does not authorize a use of land that is prohibited in the underlying zoning district.

Sec. 5.01. Factors to be excluded from consideration.

The following shall not be considered by the board of adjustment in its evaluation of an application for a variance:

- A. Any nonconforming use or structures in any zoning district; and
- B. Any permitted use of lands, structures or buildings in other zoning districts.

Sec. 5.02. Duration of approval.

If the board of adjustment does not specify otherwise, development pursuant to a variance must commence within 12 months of the date of the approval and shall be completed within 12 months of the date of commencement. If development does not commence within the required period, the variance approval shall expire.



Town of Jupiter Island

Public Works Department

2 Bridge Road
Hobe Sound Fl.
33475-0007
(772) 545-0171
Fax (772) 546-7918

MEMORANDUM

Date: May 1, 2025

To: Catherine Harding, Director of Planning, Building, & Zoning

From: Stuart R. Trent, PE – Director of Engineering

RE: 1 Bon Aire Drive - New Residential Construction

The Jupiter Island Public Works Department is the sole provider of household and recycling services for residents of Jupiter Island, including collection and recycling of all vegetative waste. Additionally, the department is charged with protection, management, and maintenance of stormwater and road rights of way on the island. The Jupiter Island Public Works Department requests consideration of the following points during the building permit review.

Drainage

The road frontage along this site is subject to vehicle damage during the wet months of the year, irrigation within the road right of way must not contribute to softening of the road shoulder or right of way. It is suggested that irrigation be directed toward the property and away from the asphalt to avoid overspray onto vehicles and limiting irrigation to avoid ponding along the road shoulder. Should this condition require treatment in the future, it is the cost and responsibility of the homeowner to remedy the situation.

Offsite discharge of water to road right of way or neighboring property is not allowed. Please provide fully engineered plans and concurrency calculations to manage stormwater to the LOS requirements within the boundary of this project.

Household Refuse

Jupiter Island Public Works provides "doorstep service". Waste receptacles must normally be stored out of sight of roadway or neighboring properties on non-collection days. It is the responsibility of the homeowner to place any waste receptacles outside of the home or garage prior to 8:00AM on collection day. Placing refuse cans at the curb or roadside is not permitted.

The Jupiter Island Public Works Department requests that refuse cans be placed inside an enclosure not more than 10 feet from the driveway pavement and at grade level avoiding steps and inclines. Storing refuse cans inside the garage is acceptable; however, it is the resident's responsibility to

move the cans outside of the garage prior to 8:00AM on pickup days. In-ground refuse containers are not acceptable.

Recycling Bins

Recycling containers (bins or carts provided by the Town) should be placed inside an enclosure not more than 10 feet from the driveway pavement and at grade level avoiding steps and inclines. Storing recycling containers inside the garage is acceptable; however, it is the resident's responsibility to move the containers outside of the garage prior to 8:00AM on recycling pickup day. Placing the recycling containers in the same location as the refuse cans will create a single point of collection that saves time and ensures that all items are picked up. As with refuse collection, Jupiter Island Public Works provides "doorstep service", placing recycling containers at the curb or roadside is not permitted.

Brush Bins

The Jupiter Island Public Works Department provides brush removal and yard waste recycling services. Disposal by contract removal services is not permitted, however lawn and landscape companies may choose to haul away debris as part of their service visit. If the resident wishes for Public Works to remove yard waste, it is requested that debris is stored in a brush bin until enough material is collected to warrant pickup. We request that brush bins be placed near driveway pavement or adjacent public roadway with a stabilized apron provided for access. Standard details for brush bin construction are available from the building department. Alternatively, a designated location interior to the property may be used for loose material lay-down and collection. If this storage method is selected, it must remain out of sight of the public and adjacent properties. Placement of debris along roadways for normal pickup is not permitted.

Construction Waste

The Jupiter Island Public Works Department does not collect construction debris. Removal of such debris is the responsibility of the contractor.

All construction debris must be segregated from household garbage. However, construction debris removed by the contractor remains part of the recorded waste and recycling stream generated within the Town of Jupiter Island. We ask that these debris volumes be reported to the Building Department of the Town of Jupiter Island by December 31 of each year and prior to Certificate of Occupancy.

Road Right of Way

Maintenance of all lawns and landscaping extending into the right of way is the responsibility of the homeowner during and after construction. The Public Works Department does not maintain ornamental shrubs or lawns extending into the right of way.

Lines of sight must be sufficiently maintained so that vehicles entering the roadway may be able to avoid a collision. Landscaping must not encumber line of sight in either direction of oncoming traffic when entering roadway for the development or any adjacent properties. Vegetation must also maintain sufficient separation to not encumber travel lanes. Should vegetation limit lines of sight or otherwise obstruct the line of sight of vehicles approaching the driveway, trimming or removal may be required at the expense of the homeowner to ensure public safety.

Ingress and egress to the project during construction must be well managed and impacts to the asphalt must not occur. Proper stabilization of the site access must occur prior to movement of material and equipment in and out of the job site. If necessary, plates must be used to ensure that differential soil movement does not occur resulting in destabilization of the adjacent roadway. Prior to construction, the roadway along the property and access route, with particular attention paid to road radii, will be reviewed. Should damage occur, the contractor and owner will be responsible for payment of repairs prior to issuance of a Certificate of Occupancy. Should breakage of asphalt occur, repairs up to and including full lane replacement, as well as replacement and re-compaction of the base material may be required. The full cost of repairs will be borne by the developer/contractor.

The purposes of these comments are for safety, serviceability, and maintenance concerns. We request that these comments are incorporated into the initial plan review process and subsequently considered during the initial application check list and at project closeout.

Public Works reserves the right to amend or supplement these comments at any time up to the issuance of a certificate of occupancy for the project.



SOUTH MARTIN REGIONAL UTILITY (SMRU)

9000 SE Athena Street, Hobe Sound, FL 33475
PHONE 772.546.6259
FAX 772.546.6378

MEMORANDUM:

Date: May 6, 2025
To: Catherine Harding, CFM, Director of Building, Planning and Zoning
From: Stuart R. Trent, P.E. – SMRU Utility Director
Subject: 1 Bon Aire Drive - New Residential Construction

SMRU offers the following comments as they relate to water service at this address and preservation of existing infrastructure affected by this construction. The developer is responsible for compliance with the Regulations, Policies and Procedures of SMRU and obtaining all necessary approvals/permits prior to construction. All fees must be paid, and the account must be in good standing prior to the issuance of the Building Permit by the Town's Building Department.

This project consists of the construction of a 5,030-sf one-story residence and guest house with pool, and associated hardscape and irrigation on the west side of South Beach Road. It is noted that approximately 0.349 acres of the entire 0.0.579± acres of the site will be irrigated. The property should incorporate a 1.5" polyline for a future sewer connection.

As noted in the concurrency calculations, two and one-half (2.5) ERCs of irrigation and two and one-half (2.5) ERCs of domestic capacity are required for this development.

The five (5) ERCs must be paid according to the following:

Connection Charges
 $\$1,800 \times 5 \text{ ERCs} = \$9,000$
(This amount was prepaid by the developer)

Accrued Guaranteed Revenue Fee
 $60 \text{ months} \times 25.25 \times 5 \text{ ERCs} = \$7,575$

Total Fee = \$7,575.00

Once these fees are paid, five (5) ERC's will be creditable toward capacity on this account for any future redevelopment or assessment of capacity fees.

Future Sewer Option: The Town of Jupiter Island is evaluating possible sewer service to residents. It is recommended that a 1.25" green, HDPE sewer service line be installed between the septic system location and terminated in a meter box at the property line adjacent to the roadway for future, voluntary connection should the service become available.

Metering and Backflow Prevention: As previously stated, a new 1.0” backflow preventer must be installed along with a new 1.0” meter serving the domestic and irrigation needs of the property. The cost of the 1.0-inch meter, tap and new service line extension will be calculated and provided by our customer service department and paid by the developer.

Construction phase: The contractor will be responsible for all damage to SMRU property and infrastructure; steel plating must be used over any water mains that may be impacted by construction traffic. Construction water must be supplied via an appropriate backflow device and/or temporary meter as supplied by SMRU. In no case shall any construction water be provided without an appropriate backflow device connected.

Inspections: An SMRU representative must make inspection of all water mains, pressure tests, taps, hydrants, and meter connections prior to final approval of the construction. A meter will not be issued until all permits are closed/certified, positive results of all inspections have been realized and all fees have been paid.

Security: All open trench construction on and around the water mains must be protected from pedestrian traffic. Please use appropriate fencing material, in accordance with the Town’s requirements, to impede foot traffic around the activity.

Temporary water meters shall be locked/unlocked by authorized SMRU personnel only and shall not be plumbed that would in any way compromise the backflow device’s operability.

cc:

Megan McMahon, TJI Building Permits
Cassidy Metcalf, Customer Service Manager
April Scardino, Customer Service Supervisor
Kim McLaughlin, Projects & Development Coordinator

Town of Jupiter Island Staff Review Coastal Construction Control Line Permit Review Checklist

Note: The intent of this checklist is to allow applicants to review and anticipate what may be required by the Florida Department of Environmental Protection if a Coastal Construction Control Line (CCCL) permit is required. Applicants should engage with qualified professionals when seeking a CCCL Permit. Per the Town's Land Development Regulations (Art. XVII, Div. 3, Section 3.00, Ch. 1, Section 104.7), if required, a CCCL permit shall be obtained by the applicant and provided to the Town prior to issuance of a Town building permit.

Address: 1 Bonaire Desire Avenue Closest R-Monument: R-80

Owner: Bradon Bell

Project Description (Development and Activities Requiring a CCCL Permit):

New single family residence constructed on previously undeveloped lot west of North Beach Road. Portion of development is landward of CCCL and not addressed herein.

- Plans depict location of Coastal Construction Control Line (CCCL).
- Plans depict location of Frontal Dune. (N/A)
- Plans depict location of the seasonal high water line (N/A).
- Plans depict location of the 30-yr erosion projection line. (N/A)
- Plans depict 100-yr Storm Flood Elevation and 100-yr Storm Grade Elevation or provide 100-yr elevation certificate. (FEMA Zone X/ Zone AE El. 4')
- PE/Architect Certification of meeting standards of Florida Building Code, Section 3109. (Florida Building Code 8th Edition referenced)
- Finished Floor & Lowest Structural Member above 100-yr Storm Elevation (Martin County CCCL 100-YR EL. = +14.8' NAVD / lowest structural member at +14.8' NAVD per sheet A-0.00 / **MISSING STRUCTURAL SHEETS**).
- Foundation modification? (New Foundation).
- Footprint change or expansion? (New Construction)
- Excavation of beach compatible sand? (N/A)
- Primary frontal dune changes (including revegetation)? (N/A.)
- Beach access or dune crossover structure? (N/A)

(cont'd)

CCCL Permit Review Checklist (cont'd)

DATE: 5/15/2025

REVIEWED BY: JD

- List of exempt activities:**
 - Work Landward of CCCL, removal of exotic invasive plant species
 - _____
- List of major activities seaward of CCCL:**
 - New two-story, single family residence with car port and frangible wall storage
 - New driveway and elevated deck structures
- List of minor activities seaward of CCCL:**
 - New and relocated vegetation
 - _____
- List of proposed landscape vegetation and native plant species list.**
- Offset distance (ft) of proposed activities from frontal dune. (180')**
- Sea Turtle considerations including lighting specifications. (MISSING)**

Coastal Armoring and Protection

- Are there any existing coastal armoring or protection structures? (No)**
Are existing coastal structures certified to withstand a 100-year storm event? (N/A)
- Are existing coastal structures to be altered and/or replaced with new structures? (No)**
- Provide a basis for engineering design for all proposed coastal armoring structures, including design water surface elevations, proposed grades, design wave conditions, scour protection, runup and overtopping analysis, geotechnical analyses, etc. (N/A. Not proposed).**

(cont'd)

General Notes on proposed activities and issuance of Coastal Construction Control Line Permit by the Florida Department of Environmental Protection.

Applicant will need to obtain a CCCL permit for proposed activities and provide
all certifications (Elevation Certificate, Pile Foundation, Final Certification) as
required by FDEP.

KING TREE SERVICE OF SOUTH FLORIDA

P.O. Box 210847
Royal Palm Beach, FL 33421-0847

April 10, 2025

Catherine Harding
Town of Jupiter Island
2 Bridge Road
Hobe Sound, FL 33455

RE: 1 Bon Aire Desire Ave.

Overview

Scope of work: Construct new home

Tree Survey Included: Yes / No

Trees Tagged and Numbered: Yes All / Yes Only Affected Area / No

Tree Disposition Included: Yes / No

Number of trees on site: Approximately 40

Number of trees affected by construction: 5

Trees to Remove

Number of removals: 5

Invasive species removed: All invasive species will be removed.

Number of Native species removed: 0

Trees to Relocate

Number of relocations: 5

Number of Native species relocated: 5

All relocations ok and likely to survive?: Yes / No / Notes:

Trees To Remain

Trees to remain are suitable for the site and location: Yes / No

Tree protection fencing to be installed: Yes / No but Recommended / No
Not Necessary

Construction Buffer

Temporary fence, gates, screen material in place? Yes / No

North Property Line: Appears to be overall Sufficient / Insufficient

South Property Line: Appears to be overall Sufficient / Insufficient

East Property Line: Appears to be overall Sufficient / Insufficient

West Property Line: Appears to be overall Sufficient / Insufficient

Notes: See comments in the Notes section of Final Buffer.

KING TREE SERVICE

OF SOUTH FLORIDA

P.O. Box 210847
Royal Palm Beach, FL 33421-0847

Final Buffer

North Property Line: Appears to be overall Sufficient / Insufficient

South Property Line: Appears to be overall Sufficient / Insufficient

East Property Line: Appears to be overall Sufficient / Insufficient

West Property Line: Appears to be overall Sufficient / Insufficient

Notes: Final buffer appears to adequately screen lower, middle and upper story in all locations except the west property line. It is suggested that a few more of the 30' tall Coconut Palms already specified in other areas off the buffer be added to the west property line.

New Plant Material

All new plant species suitable for the site: Yes / No

A significant amount of new plant material is scheduled for installation.

Prepared by:



Brian Fischer

ISA Certified Arborist FL-5287A



MEMORANDUM

TO: Building Department
FROM: Sergeant/Fire Chief Frank Lasaga
DATE: April 8, 2025
SUBJECT: 1 Bon Aire Desire Ave

After reviewing the proposed plans for the construction of a single-family residence at 1 Bon Aire Desire Avenue, Jupiter Island, I find the following considerations relating to Traffic and Safety for the project:

Traffic: Please advise the builder to limit disruption to the adjacent traffic flow. Please have arriving and departing truck traffic at the site enter via S Beach Rd. Trucks over 1 ton are prohibited on Gomez Rd, except for local deliveries.

Traffic control, i.e. flag crews, are required when traffic entering and exiting the site impacts general traffic flow and when equipment/supply deliveries must be done from the roadway.

Parking: There will be limited parking available for this project. Please remind the builder to make parking arrangements and transport workers to and from the site from off island, as needed. There will be no parking in the following areas:

- On the road right of way outside of the private road.
- Construction parking on Bon Aire Desire allowed only with the expressed permission of the developer. If allowed, access must be maintained for emergency vehicle access, including fire apparatus.
- On any other private property, unless specifically permitted by the owner of the property in question

Fire Suppression: There is adequate water supply for this site with the existing hydrants and the relatively short distance from the right of way to the dwelling.

The current site plan appears to provide adequate access for emergency vehicle access.

It is recommended that ventilation be installed if the resident is planning to charge golf carts indoors. This will help prevent the disruptions caused by the carbon monoxide detectors mistakenly alarming due to overcharged batteries.

Public Safety requests the contractor schedule walkthroughs with the Department during the construction phase to facilitate pre-incident planning and more efficient response.

Crime Prevention through Environmental Design: The site plan and landscaping plans appear to provide adequate space around the dwelling and its entry points. Site/landscaping lighting, in compliance with other town requirements, is encouraged to limit areas of potential concealment by persons.

Site Security: Please secure the site with a chain link fence and closing gate. "Felony Trespass Warning" signs should be posted in a visible location. Porta Jon's shall be located to be out of plain view from the roadway. All tools should be secured on the site at the end of the day in a locked container or room.

The General Contractor should establish a file on all Contractor's and Sub Contractor's employees who are working on the site. This should include and document the names of all employees coming to work on the site and be updated weekly with the following:

- Name
- Address
- Driver's license number
- Vehicle Registration number

Trespass authorization forms should be signed, notarized, and submitted to the Public Safety Department. The completed form enables officers to act on behalf of the property owner to warn trespassers to leave the site and not return upon penalty of law.

Other concerns: There are full-time residents in the immediate area of this construction site. The contractor shall ensure compliance with the following requirements:

- Noise ordinance requirements in and around the site, including decibel and time limits; no loud music permitted.
- No trespassing on private property
- Control of damage to lawns, curbs, rights of way or any foliage by contractors, workers, and equipment. Repairs need to be completed *immediately*.

The purpose of this is to ensure a safe and secure construction site on Jupiter Island. We are requesting this information be incorporated in the initial plan review process and as such, be indicated and agreed upon by the Town of Jupiter Island Building Department prior to issuance of the permit.



Town of Jupiter Island Development Review Board (DRB)

PROPERTY:

Street Address: 1 Bon Aire Desire Ave., Jupiter Island, FL 33455
Tax Parcel Number: 35-38-42-058-000-00010-0 Zoning: E-12 Island Core
Legal/General Description Lot 1, Bon Aire Desire, according to the plat thereof as recorded in Plat Book 19, Page 30, Public Records of Martin County, Florida.

AGENT:(If Applicable, notarized power of attorney must be attached)

Name: Jared Gaylord, Esq. of Marc R. Gaylord, P.A.
Mailing Address: 12000 SE Dixie Highway, Hobe Sound, FL 33455
Phone #: 772-545-7740 Email: jared@marcgaylordlaw.com

PROPERTY OWNER: as shown in the official County Records (please attach current tax bill & deed)

Name: 1 Bon Aire LLC, a Florida limited liability company
Mailing Address: P.O. Box 1420, Park City, UT 84060
Phone #: _____ Email: _____

EXPLANATION OF REQUEST:

The eastern half of the property is east of the State's Coastal Construction Control Line ("CCCL") and, as such, requires additional permitting and requirements. One such requirement is that habitable space is elevated above approximately 14.6' NAVD. Due to the location of the CCCL on the property and its elevations, the project will need relief from the Town's Initial Measuring Point ("IMP") regulations or would be forced to nearly half the amount of habitable space for the property. The proposed structure will be 5,030 square feet.

AFFECTED ARTICLE AND SECTION (written out):

Art. IV, Div. II, Sec. 2.00(A) - Initial Measuring Point with relief from Art. IV, Div. II, Sec. 2.00(D) and Art. X, Div. V, Sec. 5.00 - Standards for Approval of Variances.

Also, impact review approval pursuant to Art. X, Div. II, Sec. 2.02.

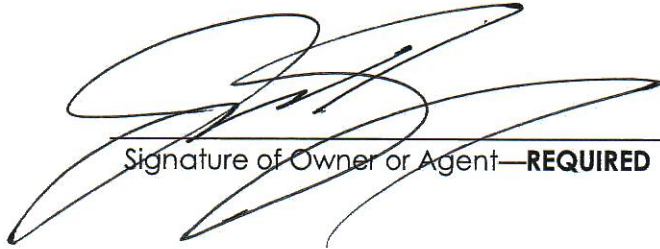
HARDSHIP STATEMENT, IF VARIANCE IS REQUESTED:

In seeking this variance, I contend that the following hardship would result if the ordinance provisions were strictly enforced and my hardship was denied:

Failure to grant IMP relief pursuant to Art. IV, Div. II, Sec. 2.00 (D) would greatly reduce the developable space on the lot, the amount of "habitable space" for the property, and, accordingly, the property's value will be diminished. Granting IMP relief will provide the habitable space consistent with other properties in this neighborhood and will permit compliance with the Florida Department of Environmental Protection's CCCL permitting requirements.

FEE: \$1,000 per Request (Please make check payable to the Town of Jupiter Island)

Information as contained within this application **MUST** be provided and accepted by the Town of Jupiter Island for this project to be considered. Additional information as required by the administrative official or as attached by the applicant constitutes a part of this application. The administrative official reserves the right to reject any application which is improperly filled out or incomplete.



Jared Gaylord, atty-in-fact for
1 Bon Aire LLC, a Florida
limited liability company

Signature of Owner or Agent—**REQUIRED**

Printed Name

Date

Board of Adjustment – Affected Article and Section Addendum

1 Bon Aire Desire Avenue, Jupiter Island, FL 33455

Affected Article and Section:

Article IV, Division II, Section 2.00(A) – Building Height.

Building height is measured as follows:

A. The initial measuring point is the highest elevation of the following:

1. The lower of: a. the average elevation of the finished grade across the front building line prior to the placement of fill, or b. the finished floor elevation; or
2. 8.0 feet NGVD; or
3. A point established by the Board of Adjustment using alternative development standards.

Initial Measuring Point and Variance Relief:

Article IV, Division II, Section 2.00(D) – Alternative Development Standard Regarding Initial Measuring Point for Building Height.

The board of adjustment may approve the use of alternative development standards to article IV, section 2.00, regarding the initial measuring point for building height, if the applicant demonstrates:

- A. The new initial measuring point will not result in a building which is taller in elevation (NAVD) than the tallest building which could be constructed on a contiguous lot; and
- B. Will not result in a building which is more visible from adjacent properties or the public right-of-way than the existing surrounding structures.

Article X, Division II, Section 2.02 – Standards for Impact Review.

The decision-maker shall approve an application for impact review approval if the applicant demonstrates that:

- A. The proposed development will not adversely affect the public interest; and
- B. The proposed development is consistent with the surrounding neighborhood character; and
- C. The visibility of the proposed development from public rights-of-way, adjacent properties, the beach, the ocean and the intracoastal waterway is minimized in a manner that is consistent with the surrounding neighborhood character; and
- D. The landscape treatment along the front lot line is comparable to the character and quantity of the streetscape along lot frontage on the same public road for a distance of 1,000 feet in both directions; and

E. The proposed ingress and egress is functionally adequate with regard to vehicular and pedestrian safety, separation of automotive traffic, traffic flow and control, provision of services, servicing of utilities, refuse collection, and access in case of fire, catastrophe or emergency; and

F. Proposed screens and buffers are sufficient to ensure compatibility of uses and buildings with adjacent properties; and

G. The location, design and character of lighting and sound will not adversely affect adjacent properties; and

H. The proposed stormwater management system is sufficient to prevent runoff from adversely affecting adjacent properties; and

I. The proposed development is designed and located so that all buildings are screened from view from adjacent properties and public roads such that the visual character of the proposed development from adjacent properties and public roads is predominantly natural, landscape plant material, and land forms.



Instrument Prepared by and Return to:

Christopher J. Twohey, Esq.
TWOHEY & SHANKMAN, P.A.
3778 SE Ocean Boulevard
Stuart, Florida 34996
(Without Examination of Title)

Parcel ID Number: 35-38-42-058-000-00010-00000

QUIT-CLAIM DEED

THIS QUIT-CLAIM DEED, executed this 9 day of November, 2024, ALYN BRADEN BELL, a single man, first party, to 1 BON AIRE LLC, a Florida limited liability company, whose post office address is P.O. Box 1420, Park City, Utah, 8460, second party.

WITNESSETH, that said first party, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situated, lying and being in the County of *Martin*, State of Florida, to wit:

Lot 1, Bon Aire Desire, according to the plat thereof as recorded in Plat Book 19, Page 30, Public Records of Martin County, Florida.

* ***NOTE TO THE DEPARTMENT OF REVENUE: No documentary tax stamps are due as said property is unencumbered and Grantor is the sole Member of Grantee.***

SUBJECT TO restrictions, reservations, covenants and easements of public record and taxes for the current year.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behalf of the said second party forever.

AND the second party does hereby covenant with the first party that the second party expressly assumes and agrees to be responsible for any and all costs associated with the above described premises, including but not limited to the obligation to make payments of all mortgages, taxes and hazard insurance, and the second party will indemnify and hold harmless the first party

from any and all claims relating to same.

IN WITNESS WHEREOF, the said party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

x Ann M. Mathews
Printed Name: Ann M. Mathews
Witness #1 Address 1637 Shaft Line
Park City, UT 84060

x [Signature]
ALYN BRADEN BELL
P.O. Box 1420, Park City, Utah, 8460

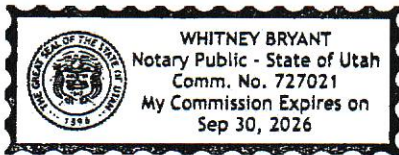
x Brooke Wilde
Printed Name: Brooke Wilde
Witness #2 Address 4230 S Monarch Way
Holladay, UT 84124

STATE OF Utah
COUNTY OF Summit

The foregoing instrument was acknowledged before me by means of [X] physical presence or [] online notarization, this 9 day of November, 2024, by **ALYN BRADEN BELL**, a single man, who is personally known to me or who has produced _____, as identification and who did (not) take an oath.

(Seal)

x Whitney Bryant
Printed Name: Whitney Bryant
Notary Public - State of Utah



COPY

Basic Info

PIN 35-38-42-058-000-00010-0	AIN 1126855	Situs Address 1 BON AIRE DESIRE AVE JUPITER ISLAND FL	Website Updated 10/20/25
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General Information

[CHANGE MAILING ADDRESS](#)

[SIGN UP FOR PROPERTY FRAUD ALERT](#)

Property Owners 1 BON AIRE LLC	Parcel ID 35-38-42-058-000-00010-0	Use Code/Property Class 0000 - 0000 Vacant Residential
Mailing Address PO BOX 1420 PARK CITY UT 84060	Account Number 1126855	Neighborhood 135705 Jupiter Island - North Beach
Tax District JUPITER ISLAND	Property Address 1 BON AIRE DESIRE AVE JUPITER ISLAND FL	Legal Acres 0.58
	Legal Description LOT 1, BON AIRE DESIRE (PB 19 PG 32)	Ag Use Size (Acre\Sq Ft) N/A

Current Value

Year	Land Value	Improvement Value	Market Value	Value Not Taxed	Assessed Value	Total County Exemptions	County Taxable Value
2025	\$ 2,125,000	\$ 0	\$ 2,125,000	\$ 0	\$ 2,125,000	\$ 0	\$ 2,125,000

Market values shown on the website reflect market conditions as of January 1st, the statutory assessment date. We are prohibited by law from relying on sales that occur after the January 1 assessment date. Therefore, market values shown on the website do not reflect today's market conditions, but rather the market conditions last year. In addition, the statutes require the county Property Appraiser to deduct for typical costs of sale (which include expenses such as commissions, title insurance, appraisals, inspection fees, etc.) when arriving at market value for tax purposes. That is why the market value for tax purposes is different from what a property would sell for today.

Current Sale

Sale Date 11/9/24	Grantor (Seller) BELL ALYN BRADEN	Doc Num 3103010
Sale Price \$ 0	Deed Type Quit Claim Deed	Book & Page <u>3471 1527</u>

Legal Description

LOT 1, BON AIRE DESIRE (PB 19 PG 32)

The legal description is intended for general information only. The Property Appraiser assumes no responsibility for the uses or interpretations of the legal description.



**HONORABLE
RUTH PIETRUSZEWSKI, CFC**

MARTIN COUNTY TAX COLLECTOR
3485 SE WILLOUGHBY BLVD
STUART, FL 34994

Property Address 1 BON AIRE DESIRE AVE
Legal Description LOT 1, BON AIRE DESIRE (PB 19 PG 32)

REAL ESTATE

2024 MARTIN COUNTY
Notice of Ad Valorem Taxes and Non-Ad Valorem Assessments

1 BON AIRE LLC
PO BOX 1420
PARK CITY, UT 84060

PARCEL ID: 35-38-42-058-000-00010.00000
ALTERNATE ID: 1126855
ESCROW CODE:



SCAN TO VIEW YOUR
BILL ONLINE!

If Paid By	Nov 30, 2024	Paid	\$34,564.76	11/27/2024
Please Pay	\$34,564.76			

Ad Valorem Assessments

Taxing Authority	Telephone	Millage	Assessed Value	Exemption	Taxable Value	Tax Amount
JUPITER ISLAND-AD VAL-OP	772-545-0100	2.8086	2,125,000	0	2,125,000	5,968.28
JUPITER ISLAND-EROSION	772-545-0100	0.9593	2,125,000	0	2,125,000	2,038.51
JUPITER ISL-DEBT SERVICE	772-545-0100	0.2273	2,125,000	0	2,125,000	483.01
SCHOOL-GENERAL FUND	772-219-1200 ext 30273	3.0770	2,125,000	0	2,125,000	6,538.63
SCHOOL CAPITAL OUTLAY	772-219-1200 ext 30273	1.5000	2,125,000	0	2,125,000	3,187.50
SCHOOL - DISCRETIONARY	772-219-1200 ext 30273	0.7480	2,125,000	0	2,125,000	1,589.50
SCHOOL ADDTNL VOTER MIL	772-219-1200 ext 30273	0.4250	2,125,000	0	2,125,000	903.13
CHILDRENS SERVICES ORDNCS	772-288-5758	0.3618	2,125,000	0	2,125,000	768.83
FL-INLAND NAVIGATION DIST	561-627-3386	0.0288	2,125,000	0	2,125,000	61.20
S. FLA WTR MGMT	561-686-8800	0.2301	2,125,000	0	2,125,000	488.97
COUNTY-GENERAL FUND-OP	772-463-2868	6.5776	2,125,000	0	2,125,000	13,977.40
MILLAGE CODE 4300	TOTAL MILLAGE	16.9435	TOTAL AD VALOREM TAXES			\$36,004.96

Exemptions

Non Ad Valorem Assessments

Levying Authority	Telephone	Rate (\$ per unit)	Tax Amount
TOTAL NON AD VALOREM TAXES			\$0.00

TOTAL \$36,004.96

*SEE REVERSE SIDE FOR INSTRUCTIONS PLEASE DETACH AND RETURN BOTTOM PORTION WITH YOUR PAYMENT
OR PAY CURRENT TAXES ONLINE AT [HTTP://MARTINTAXCOLLECTOR.COM](http://MARTINTAXCOLLECTOR.COM)

2024

Make checks payable to: Ruth Pietruszewski, Tax Collector

Mail payments to: 3485 SE Willoughby Blvd Stuart, FL 34994 (772) 288-5600

CANADIAN CHECKS MUST BE PAYABLE IN U.S. FUNDS & DRAWN ON A U.S. BANK **DO NOT SEND CASH**

PARCEL ID: 35-38-42-058-000-00010.00000
ALTERNATE ID: 1126855

ESCROW CODE:

1 BON AIRE LLC
PO BOX 1420
PARK CITY, UT 84060

Please check one box. Current taxes are processed by the month they are postmarked. Delinquent taxes are processed by the date they are received.

Nov 30, 2024 \$34,564.76

Paid By On File

Paid \$34,564.76 11/27/2024

TAXES BECOME DELINQUENT APRIL 1 - ADD 3% PLUS FEES

Notice: If taxes on your property are not paid in full, a tax certificate will be sold for the delinquent taxes.



LIMITED POWER OF ATTORNEY

KNOWN ALL MEN by these presents, that I, **ALYN BRADEN BELL**, , the undersigned hereby authorize, **SCOTT HUGHES** to serve as my Attorney-in-Fact, to execute any and all documents necessary and to perform any such acts as he deems necessary for a development application to the Town of Jupiter Island located at the following described property, including but not limited to executing any documentation, signing notices of commencement or termination, signing building permits, transacting business with local governmental agencies, building officials, contractors, design professionals, utilities and other service providers on our behalf:

Legal Description

Lot 1, Bon Aire Desire, according to the plat thereof as recorded in Plat Book 19, Page 30,

Public Records of Martin County, Florida

PCN: 35-38-42-058-000-00010-00000

Giving and granting unto, **SCOTT HUGHES** full power and authority to do and perform every act and thing whatsoever requisite and necessary to be done in and about the property, with regard to the development of the above referenced property to all intents and purposes as I might or could do if personally present, hereby ratifying and confirming all that, **SCOTT HUGHES** my Attorney-in Fact, shall lawfully do or cause to be done by virtue hereof.

This power of attorney shall not be affected by the passage of time or by any subsequent incapacity or disability of the undersigned and shall have the same effect and enure to my benefit and bind myself, my heirs, successors, and my personal representatives.

1 Bon Aire Avenue

REQUEST TO MODIFY INITIAL MEASURING POINT TO REFLECT REQUIREMENTS OF FLORIDA BUILDING CODE SECTION 3109, AS IT APPLIES TO A STRUCTURE FORWARD OF THE COASTAL CONSTRUCTION CONTROL LINE (CCCL).

1 Bon Aire Drive is an undeveloped .58 acre parcel (25,207 s.f.) located in the E-12 Island Core Residential District on the north end of Jupiter Island. The state designated CCC line runs through the property resulting in that portion of the property forward of the CCCL to be governed by the Land Development Regulations of Jupiter Island as well separate FBC restrictions.

FBC Section 3109.3 requires habitable spaces (as defined in 3109.2) to be elevated at or above an elevation that places the lowest horizontal structural member above the 100 year storm elevation as determined by the Florida Department of Environmental Protection (DEP). In the case of 1 Bon Aire, located between DEP markers R80 and R81, this elevation is 14.8 NAVD.

By definition, a Habitable Structure is designed for human occupancy and all areas are potential locations for shelter from storms. Areas below the lowest horizontal structural member are not to be considered as habitable space as they are subject to a 100 year storm surge.

Therefore, unlike neighboring properties not impacted by the State's CCC Line we must elevate our structure to abide by FBC Section 3109.

Our request is to reassign the Initial Measuring Point to the State's minimum height for habitable space (14.8' NAVD) and use this measuring point for the purpose of defining building height.

hughes umbanhowar

April 9, 2025

VIA HAND DELIVERY

Catherine Harding
Town of Jupiter Island
P.O. Box 7
Hobe Sound, Florida 33475

RE: (revision)
Mr Bradon Bell, Application to the Board of Adjustment for
Adjustment of Initial Measuring Point
Property Address: 1 Bon Aire Avenue, Hobe Sound, Florida 33455

Dear Ms Harding:

This office represents the interests of Mr Bradon Bell, as it pertains to his application to the Board of Adjustment for the modification of Initial Measuring Point for Building on 1 Bon Aire Avenue.

The variance requested by my client meets all the Standards for Approval of Variance set forth in Article X, Division V of the Development Review and Approval Standards in that:

A. Special conditions and circumstances exist which are peculiar to these lands:

State of Florida Department of Environmental Protection (FDEP) regulations require structures in this area to be built on piles to avoid the potential negative impacts from storm surge. The structure was designed to have the IMP located where DEP requires the lowest horizontal structural member. Many other locations on the Island are not subject to these DEP regulations. However, a number of properties on North Beach Road are subject to these DEP regulations. All of these properties, in the past, have received variances that allowed redevelopment.

B. The special conditions referenced in Paragraph A above do not result from an action of the applicant:

FDEP requirements are not the result of the applicant. The unique nature of the parcel and the various regulations did not result from my clients' actions.

- C. The variance requested will not confer on the applicant any special privilege that is denied by the Land Development Regulations to other lands, buildings, or structures:

The requested variance will improve the structural and functional qualities of the property, while allowing the structure to conform with required regulations. The new residence will be consistent with the character of the Town and surrounding properties. A number of residences in this area of Jupiter Island are built on pilings to comply with DEP regulations. A number of properties on North Beach Road have received variances to take into account these regulations. Due to the unique nature of the property and FDEP elevation requirements, a higher IMP than normal is required.

Mr. Bell is only requesting that which is currently enjoyed by other residents in this neighborhood of Jupiter Island.

- D. Literal interpretation of the provisions of these Land Development Regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district:

Literal interpretation would limit the redevelopment potential of this property due to DEP regulations. Many structures in this area have been built on pilings in order to comply with DEP restrictions and enjoy views of the Atlantic Ocean. All previous requests have received similar variances or changes to IMP.

By granting this variance, the Board of Adjustment would not only enable my clients to comply with federal regulations, but to greatly improve the property's aesthetic value and functionality.

- E. The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or structure:

The applicants are requesting a required variance. This is the minimum variance to comply with DEP's required elevation of 14.8' NAVD for the lowest horizontal structural member. It is logical to place the IMP at the elevation for the lowest horizontal structural member.

The requested variances are necessary and represent the minimum variance possible to make reasonable use of the property, consistent with the standards of quality of construction within the surrounding community. The proposed IMP will not result in negative impacts on neighbors and is the minimum variance necessary to fully enjoy this property.

- F. The variance will be in harmony with the intents and purposes of the Land Development Regulations, and will serve to enhance, rather than be injurious to, the area involved and will in no way be detrimental to the public welfare:

Granting this variance is harmonious with the intents and purposes of the Land Development Regulations. It was not the intent or purpose of the Land Development Regulations to differ with federal building regulations. When a conflict of law exists that prevents an applicant from developing their property, the Board of Adjustment should weigh the property rights of the applicant with potential impacts detrimental to the public welfare.

However, this variance is necessary to set the IMP at the same elevation as the DEP requirements for the lowest horizontal structural member.

- G. The variance does not authorize a use of land that is prohibited in the underlying zoning district:

The underlying E-12 Residential District is for single family dwellings and accessory uses. The property will be used for residential purposes. Nothing in this variance will authorize a use prohibited in the underlying zoning district.

It is my clients' intention and desire that this project be constructed in a manner that is consistent with and complementary to the existing infrastructure of the Town, the surrounding properties and the neighborhood, and cohesive with the characteristics of the area in which the proposed development will occur.

Should you have any questions or concerns regarding the foregoing, or with regard to any of the attachments hereto, please do not hesitate to contact the undersigned.

Scott Hughes, AIA



FLORIDA BUILDING CODE BINDING INTERPRETATION

Date: November 26, 2012

Report # 91

Petitioner: Beachlen Development Company, LLC

Year: 2007

Code: Building

Section: 3109

Question: In accordance with the 2007 Edition, Florida Building Code – Building, Section 3109, as it applies to a building that is being constructed forward of the Coastal Construction Control Line (CCCL), please answer the following questions:

1. Is the lowest horizontal structural member supporting the building, other than pilings, required to meet the minimum requirements of the Flood Insurance Rate Map (FIRM) as well as the elevation required by the Florida Department of Environmental Protection (DEP) Coastal Construction Control Line (CCCL) elevation, that requirement being the higher of the two, and each of the two agency elevation requirements are independent of each other?
2. Is the area below the lowest horizontal structural member permitted to be enclosed?
3. If the answer to #2 above is yes, may the area be used as habitable (living) space and/or enclosed by walls which include media rooms, bars, bathrooms and other areas potentially with chairs, couches, seats and equipment?

Answer: 1. Yes, Florida Building Code R323.2 refers to Section 3109 of Florida Building Code, Building for residential structures seaward of the Coastal Construction Control Line. This structure is within the CCCL, both the building department and the petitioner appear to agree on this, so the DEP requirements would be required to be enforced. It should be noted that buildings located seaward of the CCCL that are also located in special flood hazard areas shown on FIRMs are required to meet the more

toilet rooms and appliances are not consistent with the intent of the code which is to keep this area open and free of obstructions that could cause damage to the primary structure or other properties in a storm surge event.

Additional Comment: The previous DEC statement was based on historical interpretation of the CCCL program that allowed some development below the CCCL and above the BFE. In that particular area, there is a large Boardwalk on the beach and a lot of little shops that people have frequented for years. Regarding the building in question for that DEC statement, all furniture, counters, equipment etc. had to be on wheels or small enough to be portable. All permanent fixtures, kitchen etc. had to be elevated. The code commentary speaks to this same situation but is limited to large multifamily, commercial and public structures.

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JARED E. GAYLORD, ESQ.
FORD T. DWYER, ESQ.

October 20, 2025

VIA HAND DELIVERY

Catherine Harding
Town of Jupiter Island
P.O. Box 7
Hobe Sound, FL 33475

RE: 1 Bon Aire LLC, a Florida limited liability company, Development Review Board Initial Measuring Point & Development Approval Request - Letter
Property Address: 1 Bon Aire Desire Avenue, Jupiter Island, Florida 33455

Dear Mrs. Harding:

This office represents the interests of the Bell family on behalf of 1 Bon Aire LLC, a Florida limited liability company, as it pertains to their Development Review Board application for the construction of a new residence on the presently vacant 1 Bon Aire Desire Avenue property, located on Jupiter Island.

The Bell family purchased the 25,207 square foot or .578-acre property in August 2024. The property is located in the E-12 Island Core Residential District in the new Bon Aire Desire Subdivision. The property is located on the corner of North Beach Road and Bon Aire Desire Avenue. The Bell family wishes to construct a new home on this parcel, but the state's Coastal Construction Control Line ("CCCL") runs through the eastern half of the property, subjecting the waterward portion of the property to Florida Department of Environmental Protection ("FDEP") regulations. The state's CCCL permitting requirements and the Town's present Land Development Regulations occasionally conflict. These conflicts are most pronounced along North Beach Road and the 600 Block, where the CCCL's location and low elevations make redevelopment that is compliant with both state and Town requirements nearly impossible without relief from the Town's Land Development Regulations.

The CCCL regulations require that the habitable space for any structure's waterward of this boundary must be elevated to a level of approximately 14.8' NAVD (16.3' NGVD). Unfortunately, the elevation of the property is currently does not lend itself to construct habitable space at the state required minimum. The property's existing Initial Measuring Point ("IMP") of 8.6' NAVD (9.1' NGVD) is approximately 6.2' less than the required habitable elevation. Failure to grant IMP relief for this property would essentially render a quarter of the building envelope unusable. Building in this area requires raising the elevation of the structure so that any habitable space is constructed above the state's required 14.8' NAVD elevation.

The goal is to redevelop the property and construct a two-story main residence with a detached garage, motor court, pool, pool patio, driveway, exterior living space, planters, balconies, and associated landscaping and hardscaping. The new development will comply with current state, federal, and local regulations. The property will be served by two driveways – one off North Beach Road and the other off Bon Aire Desire Avenue. The design and location of these driveways will keep in mind indirect access and adequate buffering to minimize the view of the residence from the adjacent rights-of-way.

The proposed floor area for the property will be 5,030 square feet, slightly less than the total permitted floor area of 5,041.4 square feet for this property. The main residence will be located along North Beach Road, east of the CCCL. The lowest level of the main residence will be used for mechanical equipment, storage, entrance area, and other non-habitable uses compliant with FDEP requirements.¹ Habitable areas, including bedrooms, bathrooms, kitchen, dining, and living areas will be located on the first and second floors above the state required minimum elevation. My clients are requesting relief from the Development Review Board to modify the IMP on the property to comply with the FDEP's requirements for the lowest horizontal structural member.²

Many oceanfront properties in the D-25 Island Core Residential District, the E-12 Island Core Residential Zoning District, and most waterfront properties along North Beach Road require extensive planning—often requiring IMP or fill relief due to Federal Emergency Management Agency (“FEMA”) and FDEP regulations related to minimum elevations for habitable space. 51 North Beach³, 35 North Beach⁴, 111 North Beach,⁵ 113 North Beach,⁶ 67 North Beach,⁷ 103 North Beach, and 151 North Beach have all received Board of Adjustment relief related to fill or IMP to comply with federal or state requirements. This property shares those characteristics. Not approving my client's request would be contrary to prior decisions the Board of Adjustment has granted in this unique neighborhood.

Increasing the habitable level above the proposed IMP of 14.8' NAVD (16.3' NGVD) will follow best practices for flood plain management and comply with state requirements. FDEP requires a minimum height for the lowest horizontal member to support the structure in the event of a catastrophic storm event. No habitable space can be permitted below this elevation.⁸ Forcing a structure to use an IMP less than the state's required elevation essentially penalizes a structure's

¹ This area cannot be used for habitable space since it is lower than the required 14.8' NAVD elevation.

² The proposed IMP will be 14.8' NAVD (16.3' NGVD). Fill in excess of three feet will not be a part of this application, as is common with many other IMP applications.

³ 51 North Beach Road petitioned IMP relief from the Board of Adjustment for an IMP of 14.7' NAVD (16.2' NGVD) in 2021. This request was granted.

⁴ 35 North Beach Road petitioned the Board of Adjustment for IMP relief in 2021. This request was granted.

⁵ 111 North Beach Road petitioned for more than three feet of fill from the Board of Adjustment in 2013. This request was granted.

⁶ 113 North Beach petitioned for IMP relief from the Board of Adjustment in 2018. This request was granted.

⁷ 67 North Beach Road petitioned the Board of Adjustment for a 15' IMP and 12.64' of fill in October 2022. This request was granted.

⁸ The use of the basement below 14.8' NAVD is permissible because it is used for storage and parking – not living areas. Any living areas on this portion of the property must be constructed above the state's required elevation.

use and potentially runs afoul of state regulations. The requested IMP of 14.8' NAVD (16.3' NGVD) roof height of 31' 8" NAVD (32' 2" NGVD).⁹

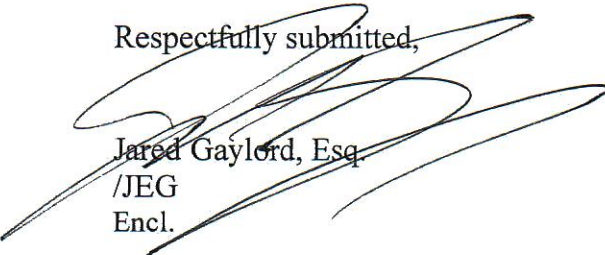
The maximum height of the two-story structure will *not* be taller than what could be constructed on neighboring properties, even though the adjacent properties' IMPs contain elevations similar to 1 Bon Aire Desire Avenue. The existing IMP of 110 North Beach Road is approximately 6' NAVD (7.5' NGVD) supports a maximum roof elevation of 36.5' NAVD (38' NGVD). The maximum elevation inside the 106 North Beach Road building envelope is 8' NAVD (9.5' NGVD) supports a maximum roof elevation of 38' NAVD (39.5' NGVD). The proposed 1 Bon Aire Desire Avenue residence's top of roof elevation will be 31' 8" NAVD (32' 2" NGVD) – slightly lower than what could be constructed at 110 North Beach and 106 North Beach. In fact, the existing IMP on the property could yield a residence 38.6' tall – *six feet eleven inches (6' 11") taller than the proposed residence.*

The property's landscaping will also be enhanced and modified. The site is currently characterized as a vacant lot with buffers consisting of seagrapes, cabbage palms, and mixed vegetation along North Beach Road. The buffer along North Beach Road consists of invasive species, such as Brazilian pepper. All invasive species will be removed from the property as part of the redevelopment process. The revised landscape plan will focus on creating new buffers east, south, and west. The existing buffer along the northern property boundary will be supplemented to further mitigate view of the proposed structure.

The construction of the new residence is intended to begin during the Town's 2026 Building Season. The structure will be constructed in a manner consistent with and complementary to the existing infrastructure of the Town, the surrounding properties, and cohesive with the characteristics of the area in which the proposed development will occur.

If you have any questions or concerns regarding this application or any attachments, please do not hesitate contacting the undersigned.

Respectfully submitted,



Jared Gaylord, Esq.
/JEG
Encl.

⁹ 24' when measured from IMP.

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October 20, 2025

VIA HAND DELIVERY

Catherine Harding
Town of Jupiter Island
P.O. Box 7
Hobe Sound, FL 33475

RE: 1 Bon Aire LLC, a Florida limited liability company, Development Review Board Initial Measuring Point & Development Approval Request - Standards
Property Address: 1 Bon Aire Desire Avenue, Jupiter Island, Florida 33455

Dear Mrs. Harding :

This office represents the interests of the Bell family on behalf of 1 Bon Aire LLC, a Florida limited liability company, as it pertains to their Development Review Board application for the construction of a new residence on the presently vacant 1 Bon Aire Desire Avenue property, located on Jupiter Island.

With regard to Article IV, Division III, Section 3.01, Initial Measuring Point, set forth within the Town's Land Development Regulations, the proposed development satisfies all the required conditions of Article IV, Division II, Section 2.00(D) Alternative Development Standards Regarding Initial Measuring Point for Building Height, in that:

- A. The new initial measuring point will not result in a building which is taller in elevation (NAVD) than the tallest building which could be constructed on a contiguous lot; and

The new IMP will result in a building *no* taller in elevation than *what could be constructed with the existing IMP of 8.6' NAVD (9.1' NGVD)*. The two-story structure will be 31' 8" NAVD (32' 2" NGVD), *six feet eleven inches (6' 11")* less than the tallest structure that could be built on the property with the *current IMP*,¹ a somewhat noticeable and lower difference.

Additionally, the building will *not* be taller than that which could be constructed on a contiguous lot without the use of alternative development standards. The requested

¹ The existing IMP is 8.6' NAVD (9.1' NGVD). This elevation could produce a structure 38.6' NAVD tall.

IMP is 14.8' NAVD (16.3' NGVD) to provide habitable space above the proposed basement and the FDEP required Lowest Horizontal Structural Member.

The existing IMP of 110 North Beach Road is approximately 6' NAVD (7.5' NGVD) supports a maximum roof elevation of 36.5' NAVD (38' NGVD). The maximum elevation inside the 106 North Beach Road building envelope is 8' NAVD (9.5' NGVD) supports a maximum roof elevation of 38' NAVD (39.5' NGVD). The proposed 1 Bon Aire residence's top of roof elevation will be 31' 8" NAVD (32'2" NGVD) – lower than what could be constructed at 110 North Beach and 106 North Beach.

- B. Will not result in a building which is more visible from adjacent properties or the public right-of-way than the existing surrounding structures.

The sought after relief will not result in a building which is more visible from adjacent properties or North Beach Road. As previously mentioned, the existing IMP of 8.6' NAVD (9.1' NGVD) would support a structure of a *taller* elevation – a difference of almost 7'. The difference in elevations between a 31' 8" NAVD home and a 38.6' NAVD home will result in a discernably less tall structure when viewed from outside the property – especially with the proposed upper story vegetation and dense buffers.

The proposed landscape buffers will ensure the two-story structure is not more visible from neighboring properties or public rights of way than what could be constructed without alternative development standards. The visibility of the structure will be consistent with other homes along North Beach Road, especially due to the use of mature and tall coconut palms presently on the property. Other homes in this neighborhood, like 113 North Beach, have also received IMP and variance relief due to the challenges of constructing east of the Coastal Construction Control Line ("CCCL"). Finally, the use of mid-level hedging and landscape material, like seagrapes, will enhance the property's existing buffers to further prevent views of the proposed residence. The landscaping coupled with indirect access from the two curb cuts will mitigate impacts of the proposed redevelopment.

As the enclosed application packet, including site plan, architectural plans, landscape plans and civil plans will demonstrate, my clients' request meets the Standards for Impact Review as set forth in Article X, Division II, Section 2.02 in that:

- A. The proposed development will not adversely affect the public interest.

The proposed development will not adversely affect public interest. Enhancements to the mid-tier landscape buffers, along with removal of invasive species from the property, will obscure views of the proposed residence from North Beach Road and neighboring properties while limiting the spread of non-native Brazilian pepper. View of the two-story residence from the street will be consistent with other properties in this neighborhood, since the residence will not be taller than what could be built on adjacent properties and will be similar in elevation to existing residences in neighborhood. The existing vacant lot is

partially waterward of the CCCL. The new home will meet elevation and construction requirements, set by FDEP, the Florida Building Code, and other relevant federal, state, and local regulations. The proposed redesign and enhancement of the landscaping will *further the public interest*.

- B. The proposed development is consistent with the surrounding neighborhood character.

The proposed redevelopment is to create a new residence for the Bell family in the new, Bon Aire Desire Subdivision. The existing property will require compliance with FDEP standards due to the location of the CCCL in the eastern half of the property's building envelope. The new residence will comply with those and utilize modern construction technology and materials. Along with constructing a new, safe residence, my clients wish to enhance the property's mid-tier landscape buffers to shield the residence from neighboring properties, Bon Aire Desire Avenue, and North Beach Road. While the property currently contains numerous, mature cabbage palm trees, buffers along the west and south must be created. Additionally, invasive species along North Beach Road must be removed. The proposed landscape plan will address these issues, enhance the property, and create privacy for my clients and the neighborhood. The new residence will be similar in scale or height to other homes in this neighborhood.² These improvements will ensure that my clients' proposed home will be consistent with the surrounding neighborhood character.

- C. The visibility of the proposed development from public rights-of-way, adjacent properties, the beach, the ocean and the Intracoastal Waterway is minimized in a manner that is consistent with the surrounding neighborhood character.

The existing structure is not very visible from North Beach Road, due to extensive but invasive vegetation, primarily consisting of Brazilian pepper. This Brazilian pepper will be removed and replaced with appropriate, non-invasive vegetation to screen the structure from North Beach Road. As previously mentioned, the property's existing landscape is mostly open lawn space, with cabbage palms, seagrapes, and Brazilian pepper located along the north and east buffers. The proposed landscape plan will utilize the existing cabbage palms onsite. Additionally, mid-story vegetation will be included onsite. The new, layered landscaping approach will complement the existing upper-story palms onsite with ground cover and hedging material. The depth and variation of height among the proposed vegetation will enhance the existing vegetation onsite and improve buffers along adjacent properties and North Beach Road.

The visibility from the beach, ocean, or Intracoastal Waterway will not be possible, since this structure is not located along that vantage point.

² And what could be constructed with the property's existing IMP, for that matter.

- D. The landscape treatment along the front lot line is comparable to the character and quantity of the streetscape along lot frontage on the same public road for a distance of one thousand (1,000) feet in both directions.

The existing landscape treatment along the front lot line is in poor condition and generally consists of Brazilian pepper, some seagrapes, and cabbage palms. The proposed landscape plan will utilize what vegetation can be salvaged, while removing invasive Brazilian pepper. The North Beach Road neighborhood is typically more open than many other communities on Jupiter Island; however, the proposed streetscape will be a substantial improvement to the existing landscaping by including depth, a mixture of other species, and varied height. The proposed buffer along North Beach Road will be similar to or *better* than the landscape treatment along the front lot line of properties within 1,000 feet in terms of palette, density, and screening.

- E. The proposed ingress and egress is functionally adequate with regard to vehicular and pedestrian safety, separation of automotive traffic, traffic flow and control, provision of services, servicing utilities, refuse collection, and access in case of fire, catastrophe or emergency.

The proposed development provides for adequate site triangles to allow safe ingress and egress to the property. The two curb cuts and motor court will provide sufficient access to emergency vehicles, while limiting views of the residence from North Beach Road. Multiple access points will provide redundancy to fire and rescue services in the event of a catastrophe or emergency.

- F. Proposed screens and buffers are sufficient to ensure compatibility of uses and buildings with adjacent properties.

The proposed landscape plan's inclusion of varied species, depth, and height will ensure that the proposed development is properly shielded from the view of adjacent properties. The proposed buffer enhancements will also guarantee the compatibility of the uses for the proposed residence and conformity with the Land Development Regulations. The proposed development will enhance the property and not result in negative impacts on adjacent properties, the neighborhood, or the Town of Jupiter Island.

- G. The location, design and character of outdoor lighting and sound will not adversely affect adjacent properties.

There is no proposed exterior lightning or sound equipment at this time. Any proposed exterior lighting will meet the Town and Florida Department of Environmental Protection requirements.

The proposed air conditioning units and pool equipment will be located mechanical enclosures to reduce noise pollution to neighboring properties and North Beach Road.

- H. The proposed stormwater management system is sufficient to prevent runoff from adversely affecting adjacent properties.

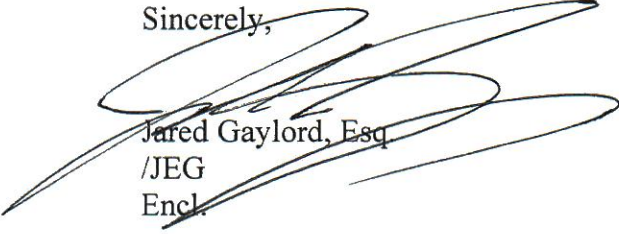
As set forth in the Stormwater Calculations provided by Gruber Consulting Engineers, runoff will be retained in the proposed exfiltration trenches and swales. The existing site grading will be modified as needed to prevent surface water runoff from entering the surrounding properties or North Beach Road.

- I. The proposed development is designed and located so that all buildings are screened from view from adjacent properties and public roads such that the visual character of the proposed development from adjacent properties and public roads is predominantly natural, landscape plant material and land forms.

The existing lot is not visible from North Beach Road due to dense Brazilian pepper. The installation of new landscape material, in addition to the property's salvaged non-invasive species, will provide the necessary variety and depth to screen the property from neighbors and North Beach Road. The new residence will be screened in a way that ensures the visual character is predominantly natural landscaping. The use of cabbage palm trees onsite, coupled with new mid-story vegetation, will sufficiently prevent views of the residence from passing traffic or neighbors.

My clients intend that their home will be constructed in a manner consistent with and complementary to the existing infrastructure of the Town, the E-12 Zoning District, and cohesive with the surrounding neighborhood. If you have any questions or concerns regarding the foregoing, or any of the enclosed attachments, please do not hesitate to contact the undersigned.

Sincerely,



Jared Gaylord, Esq.

/JEG

Encl.

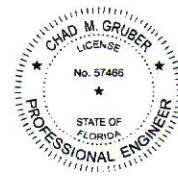


GRUBER CONSULTING ENGINEERS

**Proposed Residence
1 Bon Aire Desire Avenue
Jupiter Island, Florida**

Concurrency Management Calculations

March, 2025



**Digitally signed
by Chad M Gruber
Date: 2025.03.20
13:54:38 -04'00'**

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code.
Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Chad M. Gruber, P.E.
Florida License No. 57466

INTRODUCTION

The proposed project is located at 1 Bon Aire Desire Ave. in the Town of Jupiter Island. The property encompasses approximately 0.58 acres on the west side of North Beach Rd. between Brightview Ave. and Milkway Ave. The project involves the construction of a new residence with associated hardscape.

The attached calculations have been prepared to address the sections of the Town of Jupiter Island's Land Development Regulations (LDR) relating to concurrency management. These sections appear in the LDR under Article XI, Section 1.01, items B-E. The calculations are supplemented with the conceptual site drainage & septic system plan prepared by this office. The plan demonstrates how sewage disposal and site grading will be accomplished for the proposed project.

A) SEWAGE DISPOSAL CALCULATIONS (per LDR Article XI, Section 1.01(B))

The scope of the proposed project includes the construction of a new residence. Calculation of estimated daily sewage flows for residential structures served by an onsite sewage treatment and disposal system are regulated by Chapter 381 of the Florida Statutes and Chapter 62-6 of the Florida Administrative Code (FAC). The following calculations have been derived from FAC Chapter 62-6.008.

1. Proposed Residence

a) Septic System Design Information

Total proposed air-conditioned space:	5,026 sq.ft.
Total number of bedrooms:	5 bedrooms
Type of drainfield configuration:	Trench
Estimated soil loading rate:	0.8 gpd/sq.ft.

b) Estimated Daily Flow Calculations

The first 3,300 sq.ft. of air-conditioned space is equivalent to 4 bedrooms with each bedroom generating an estimated 100 gpd. The remaining 1,726 sq.ft. of air-conditioned space is converted to equivalent bedrooms using the following formula:

1 equiv. bedroom = 750 sq.ft. of remaining air-conditioned space
 $1,726 \text{ sq.ft.} / 750 \text{ sq.ft./equiv. bedroom} = 2.30 \text{ equiv. bedrooms}$
Use 3 equivalent bedrooms at 60 gpd/bedroom = 180 gpd

Estimated daily flow = 400 gpd + 180 gpd = 580 gpd

c) Proposed Septic System Specifications

Minimum Main Trench Septic System Specifications	
Required Drainfield Area:	725 sq.ft.
Required Unobstructed Area:	1,088 sq.ft.
Min. Septic Tank Size:	1,350 gal.

B) STORMWATER MANAGEMENT (per LDR Article XI, Section 1.01(C))

Per Article XI, Section 1.01(C) of the Town of Jupiter Island Land Development Regulations (LDR), the level of service standard for drainage is the detention of the 5 year – 1 day storm event. The following stormwater management calculations are derived from the South Florida Water Management District's (SFWMD) Environmental Resource Permit Information Manual Volume IV. The calculation of stormwater runoff is determined using a method developed by the United States Department of Agriculture (USDA) Soil Conservation Service (SCS). This method considers the soil type and storage, depth to water table and accumulated rainfall to determine the accumulated direct runoff.

1. Site Plan Characteristics

Total site area	=	25,207 sq.ft. (0.579 ac.)
Impervious plan area	=	9,991 sq.ft.
Remaining pervious surface area	=	15,216 sq.ft.

2. Rainfall and Soil Storage Data

The Bon Aire Desire subdivision was completed in 2023. The subdivision's engineer obtained an Environmental Resource Permit from South Florida Water Management District which included a drainage system for the entire subdivision that provides stormwater retention for the 25-year – 3 day storm event which exceeds the town's requirement of retention of the 5 year – 1 day storm event.

Stormwater retention for the subdivision is provided in a dry retention area between Lots 3 & 4 at the west end of Bon Aire Desire Ave. as well as swales along the back sides and between the individual lots. The proposed grading for Lot 1, (subject project), has been developed to maintain the permitted swales and lot grading.

C) WATER USE DEMAND ESTIMATES (per LDR Article XI, Section 1.01(D))

The typical residence in the Town of Jupiter Island will consume water for both irrigation and domestic use. The majority of the water consumed on a residential site will be used for irrigation. Irrigation demands can be reduced through the installation of native, drought tolerant plants and water saving irrigation technology.

1. Irrigation Use

The referenced property has the following characteristics:

Total site area	=	25,207 sq.ft. (0.579 ac.)
Impervious plan area	=	9,991 sq.ft.
Remaining irrigated pervious surface area	=	15,216 sq.ft. (0.349 ac.)

The calculation for estimating irrigation water use has been provided by South Martin Regional Utility. The estimate assumes a yearly irrigation requirement of 32 in./yr.

$0.349 \text{ ac} \times 32 \text{ in./year} \times 1 \text{ year}/365 \text{ days} = 0.031 \text{ ac-in./day}$ which can be converted to gallons per day by multiplying the result by 27,152 gal./ac-in. = 842 gpd (25,597 gal./month)

Total estimated average day irrigation use = 842 gal.

One ERC is equal to 350 gpd of irrigation water use.

Irrigation Project ERCs = $842 \text{ gpd} \times 1 \text{ ERC}/350 \text{ gpd} = 2.41 \text{ ERCs}$

2. Domestic Use

South Martin Regional Utility estimates domestic residential water use using methods established in Chapter 64E-6 of the Florida Administrative Code. This is the same chapter used for the sizing of the proposed septic system in Section A of this report. The total estimated daily domestic water use calculated above was 580 gpd.

One ERC is equal to 250 gpd of domestic water use.

Domestic Project ERCs = $580 \text{ gpd} \times 1 \text{ ERC}/250 \text{ gpd} = 2.32 \text{ ERCs}$

3. Total Daily Water Use Demand Estimate and ERC Calculation

The estimated total irrigation and domestic water use for this project is 1,422 gpd.

Total Project ERCs = $2.41 \text{ ERCs} + 2.32 \text{ ERCs} = 4.73 \text{ ERCs}$

D) SOLID WASTE DISPOSAL ESTIMATES (per LDR Article XI, Section 1.01(E))

The 2006 Solid Waste Annual Report Data released by the Florida Department of Environmental Protection indicates that Martin County generated 10.77 lbs. of solid waste per person per day (landfill and recycled material combined).

LDR Article XI, Section 1.01(E) provides for a level of service of 9 lbs. of solid waste per person per day.

Avg. number of residents and guests expected: 6 people

Solid waste generated per LDR = 6 people x 9 lbs./person/day = 54 lbs./day

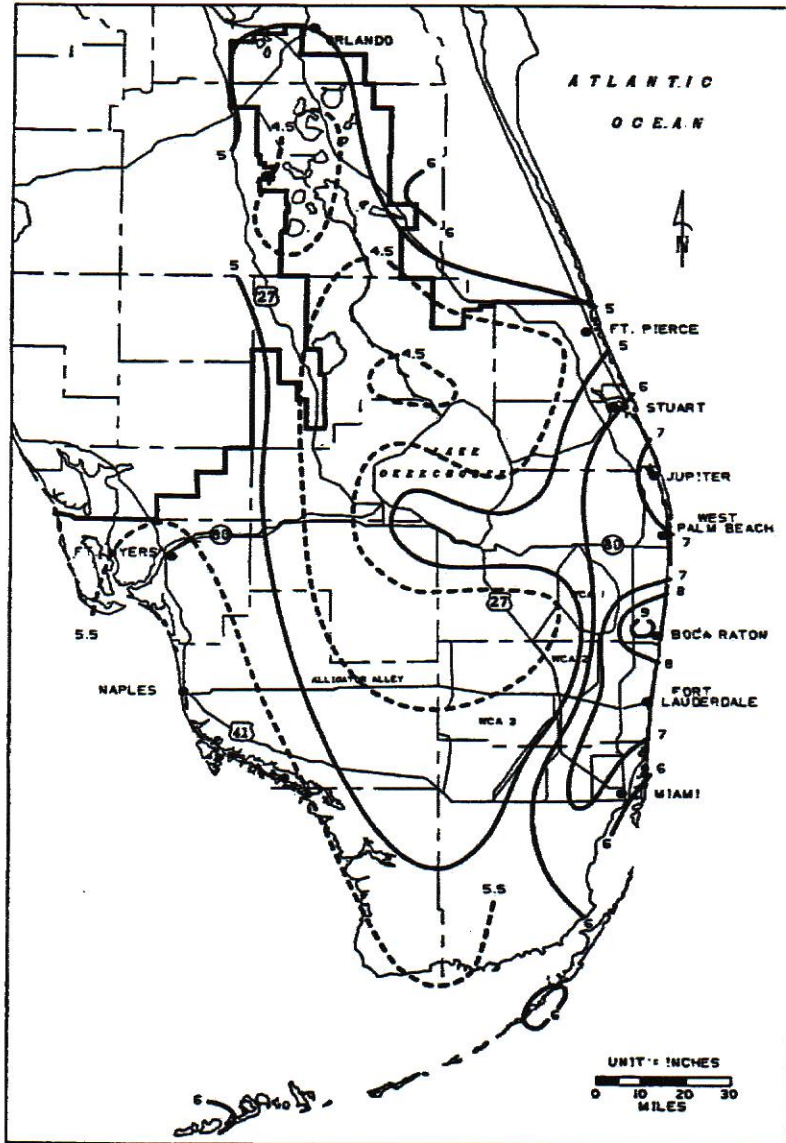


FIGURE C-3. 1-DAY RAINFALL: 5-YEAR RETURN PERIOD

C-5

Appendix 1: from South Florida Water Management District (SFWMD) Environmental Resource Permit Information Manual Volume IV



March 20, 2025

Hughes Umbanhowar Architects
Dan Huh
11894 SE Dixie Highway
Hobe Sound, FL 33455

**Re: Geotechnical Engineering Report
1 Bon Aire Desire Avenue
Hobe Sound, Florida
KSM Project #: 2501547-b**

Dear Mr. Huh:

As requested, KSM Engineering & Testing has performed a subsurface investigation at the above referenced site. Presentation of the data gathered during the investigation, together with our geotechnical related opinions, are included in this report.

Scope of Work and Professional Service Agreement:

The scope of work and the agreement to perform a geotechnical exploration is contingent upon KSM's March 4, 2025, proposal to Hughes Umbanhowar Architects, in care of Mr. Dan Huh. The agreement was signed by Mr. Huh on March 4, 2025, and was returned to KSM thereafter.

Site Description:

Location & Physiography – The project site is located in Hobe Sound, Florida, west of North Beach Road and on the north side of Bon Aire Desire Avenue. At the time of drilling, the site was found to be fairly flat. KSM understands the Coastal Construction Control Line (CCCL) runs through the approximate center of the site. Vegetation on the site consisted of grass and trees lining the north and eastern perimeters.

Project Description:

The following information is based, in part, on conversations with the client, our assumptions with respect to the site and the project, and on our review of the site/floor plan sheet provided by Humm Architects, dated February 25, 2025. If this document has been superseded, or if any changes have been made to this plan sheet, please contact KSM to submit the current plan sheets, so we can make any adjustments and revise this report, if and as necessary. Brief summaries of the developmental features shown on the plans are described below.

Structure – Based on conversations with the client, it is our understanding that a three-story residential structure with an elevated pool is planned to be constructed on the site. KSM assumes that the anticipated loading conditions will be less than 4.5 kips per linear foot along load bearing walls and that the maximum column loads, if applicable, will be less than 120 kips per column. The structure is planned to be supported by a deep foundation system (piles) due to its' location in relation to the CCCL.

Pavements – The site development will include the installation of pavement to provide vehicle parking, driving, and connection pathways into and around the property.

Grading – The provided documents did not include a proposed grading plan. For the purposes of this evaluation, KSM has assumed that the rough graded building pad elevation and pavement covered areas will lie up to approximately 1 foot above existing grade.

At the time of this report, KSM has not been furnished with design structural loading conditions, a grading plan, a foundation plan, or foundation settlement tolerances. Once finalized, this information should be provided to KSM so that we may review and amend our recommendations and opinions as necessary.

Geotechnical Scope of Service:

1. Performed soil borings within the approximate limits of construction.
2. Measured the depth to the observed groundwater table at each boring.
3. Reviewed the soil samples and field soil boring logs in our laboratory and performed analytical laboratory testing to a selected sample.
4. Evaluated the discovered subsurface conditions with respect to the proposed project and prepared recommendations delineating recommended earthwork procedures, foundation design recommendations, and pavement design recommendations.
5. Prepared this report to document our findings.

Site Investigation:

Subsurface Testing – KSM's site investigation program consisted of performing the following exploration operations and field tests:

- Four (4) Standard Penetration Test (SPT) borings, which were terminated at approximate depths ranging from 20 to 25 feet below the existing ground surface. The borings were performed within the approximate limits of the proposed structure.

Soil Classification – The field soil boring logs and recovered soil samples were transported to KSM's office from the project site. Following the completion of the field exploration activities, visual and tactile examination of the soil samples was performed under the supervision of a geotechnical engineer to identify the engineering classification of the soil samples that were obtained in the field exploration. The visual classification of the samples was performed in general accordance with the current United Soil Classification System (ASTM D 2487).

General Subsurface Soil Classification Summary – The following table outlines the general subsurface conditions that were encountered during our investigation. For specific information at each boring location, refer to the attached boring logs.

Generalized Soil Profile	
Approximate Depth Below Grade (Feet)	Discovered Subsurface Conditions
0 to 23	Loose to medium-dense sand with varying amounts of shell fragments
23 to 25	Loose clayey sand with varying amounts of shell fragments

**An exception to the generalized profile is in boring B-3, where deposits of dense sand were encountered from 4 to 8 feet below existing grade.*

SPT Borings – The SPT boring profiles contain “N” values. These “N” values represent the number of hammer blows required to advance the split spoon sampler 12 inches. The “N” values have been empirically correlated with various soil properties and are indicative of the relative density of the soils. The “N” values were obtained by means of a safety hammer. The following table presents relative densities of cohesionless/granular soils and their corresponding ranges of SPT data.

SPT “N” Value Interpretation	
Relative Density	Safety Hammer
Very Loose	0 – 4
Loose	4 – 10
Medium Dense	10 – 30
Dense	30 – 50
Very Dense	>50

Groundwater Depths – Following the completion of each soil boring, the groundwater was allowed to attain a stabilized level, and the approximate depth to the observed groundwater was measured from the existing ground surface and recorded on the field log. The observed groundwater levels were measured at approximate depths ranging from 7.3 to 7.9 feet below existing grade. It should be noted that fluctuations of the groundwater table will occur between and away from our boring locations as well as due to seasonal variations in the amount of rainfall, runoff, and other factors not evident at the time the borings were performed. Therefore, groundwater levels during construction or at other times in the future may be higher or lower than the levels indicated on the boring logs.

The records of the soils encountered, the penetration resistances, and groundwater levels are documented on the attached boring logs. All testing was performed in general accordance with applicable ASTM Standards and/or industry standards with a standard practice of care.

Analytical Laboratory Testing:

Samples obtained during our investigation were selected for laboratory testing. Laboratory test results are shown on the attached boring logs.

Natural Moisture Content – Testing was performed in general accordance with procedures described in ASTM D 2216.

Fines Content – Testing was performed in general accordance with procedures described in ASTM D 1140.

Engineering Evaluation and Conclusions:

Based on the information obtained from this site investigation, we are pleased to offer the following evaluations:

Foundation System Evaluation - Based on our experience with structures seaward of the CCCL, it has been our experience that auger cast piles can be placed more economically than driven pre-stressed concrete pilings. Although we have not been furnished with estimated structural loads, we assume that the following capacities will be sufficient to support the intended loading.

ACIP Pile Specifications			
Pile Diameter (in)	Pile Depth (ft)	Allowable Pile Capacity (kips)	
		Axial Compression	Axial Uplift
16	*16	36	10
18	*16	44	11
20	*16	50	13

*Below Scour Line Elevation, assumed to be 3 feet below existing grade (actual scour elevation to be verified by others)

All Piles should be installed and inspected in accordance with the recommendation published by the Auger Cast-In-Place Pile Committee of the Deep Foundation Institute.

Piles should be placed at a center-to-center distance of greater than 3 pile diameters. The capacity of a pile group must be reduced depending upon the number of piles in the group and their respective position.

A minimum time period of 12 hours should be specified for the installation of piles within 10 feet, center -to-center of each other. The minimum acceptable grout factor (actual grout volume divided by theoretical grout volume) should be 1.10.

Additional Investigation for Deep Foundation – KSM recommends that an additional boring is performed on the site following the demolition of the existing residence, so that we may confirm the recommendations in this report, further document the subsurface conditions, and obtain deeper soil data which is needed to provide additional piling dimensions and capacities. Upon request, KSM can provide a supplemental scope of services to perform the additional testing and provide the piling specifications.

Site Preparation:

Compaction Equipment – KSM recommends using heavy vibratory equipment on this site with caution, due to the proximity of the neighboring structures and the potential that ground vibrations created by the compaction machinery might be transmitted and cause damage to the nearby structures. In the event that the operations are found to transmit such harmful vibrations, KSM recommends that non-vibratory compaction methods be substituted to execute the recommended earthwork procedures delineated above.

Fill Material –The contractor should review the Department of Environmental Protection's permit to ensure their fill requirements are satisfied. This is especially important for any fill installed seaward of the CCCL.

Building Subgrade Preparation – KSM recommends that the building site subgrade be prepared for construction of the foundations and the structural floor slabs creating a stable work platform where the piles can be installed and the structural slab can be formed, fitted with the necessary steel reinforcement, and the concrete can be cast. The following earthwork procedure is recommended.

1. The proposed construction area, plus a minimum margin of five feet beyond the proposed construction shall be stripped and grubbed of surface debris, including vegetation, roots, and organic matter.
2. The exposed area should be graded level and proofrolled to attain an unyielding working platform. Any soft yielding areas shall be excavated and replaced with clean compacted fill. Sufficient passes should be made during the compaction operations to produce a density no less than 95 percent of its modified dry Proctor value (ASTM D 1557) to a depth of two feet.
3. Following the proofrolling of the exposed subgrade, begin grading the building pad to rough finished subgrade elevation. Structural fill shall consist of clean granular sand containing less than 10 percent material passing the U.S. Standard No. 200 mesh sieve. Structural fill should be placed in loose layers with a maximum thickness of 12 inches. Compaction of each lift shall be performed to attain an in-place dry density that equals or exceeds 95 percent of the fill Modified Proctor (ASTM D 1557) maximum dry density value. We recommend that field density tests be performed at appropriate times during the earthwork operations in order to verify that the site has been properly prepared. In-place density of the compacted soil can be verified using a nuclear density gauge or any other ASTM approved method to determine percent compaction.

4. Begin installing the deep foundation piling system. Any testing of the piles to confirm that the installations have been completed satisfactorily shall be performed following completion of the piles.
5. Upon completion of the piling installation including curing time of ACIP, if necessary, the building pad should be fine graded and compacted, in accordance with the fill and compaction specifications in step 3 above, in preparation for forming the structural slab.

Compaction Testing – It is KSM’s recommendation that compaction tests in the excavations and footing trenches be conducted prior to placement of any backfill, steel, or concrete. The in-place density tests should be conducted at every column footing and at a frequency of one test for every 100 linear feet in the footing trench excavations. The subgrade and each lift (12-inch max loose thickness) of fill should be tested for compaction at a frequency of no less than one test per 2,500 sf of building area, per lift, and one test per 10,000 sf of pavement area, per lift, with a minimum of 4 tests in each area prepared. The placement and frequency of testing can be modified at the discretion of the Geotechnical Engineer. In-place density of the compacted soil can be measured using an ASTM approved method to determine percent compaction. The earthwork efforts should be monitored under the direction of the KSM Geotechnical Engineer or their representative.

Pavement Considerations:

Actual pavement section thickness should be provided by the design civil engineer based on traffic loads, volumes, and the owners design life requirements. The following pavement sections present a minimum thickness representative that should provide a structural number of about 2.5. If a larger structural number is required, we should be notified to review and revise our minimum pavement sections.

Minimum Pavement Section Recommendations –

Minimum Pavement Section			
Pavement Type	Material	Layer Thickness (in)	
		Standard Duty	Heavy Duty
Flexible	Asphalt Surface: FDOT Asphalt Type SP-9.5 or SP-12.5	1.5	2.5
	Base Course: Cemented Coquina Rock or Limerock and Minimum LBR of 100	6	8
	Type B Stabilized Subbase*: Minimum LBR of 40	12	12
Rigid	Portland Cement Concrete: Minimum 4,000 psi	5	6
	Type B Stabilized Subbase Minimum LBR of 40	12	12

Pavement Area Preparation – Clearing, grubbing and proofrolling of the pavement area surface, shall follow the recommendations presented in the “Site Preparation” section of this report. The subgrade should be compacted to a minimum of 98 percent of the modified Proctor (AASHTO T-180 or ASTM D-1557) maximum dry density of the compacted soil to a depth of one foot below the exposed surface.

Wet Season Groundwater Separation – A minimum of 18 inches of separation should be maintained between the bottom of the base course and the wet seasonal groundwater elevation.

Flexible Pavement Section – The minimum pavement section should consist of an asphaltic concrete wearing surface on a base course supported on stabilized subbase over well-compacted subgrade.

- **Stabilized Subbase** – The Type B stabilized subbase material should be uniform, be a minimum of 12 inches in thickness, should have a minimum Limerock Bearing Ratio (LBR) value (FDOT FM 5-515) of 40, and be compacted to at least 98 percent of its modified Proctor (AASHTO T-180) maximum dry density. Use of clayey admixtures is not recommended. Use of coarse granular materials such as recycled crushed concrete, shell, or gravel is recommended.
- **Base Course** – The base course should consist of crushed cemented coquina rock or limerock and should have a minimum LBR value of 100. We recommend a base course thickness of at least 6 inches thick for standard pavements and 8 inches for heavy-duty pavements. The 6-inch-thick base course may be placed and compacted in a single layer, however, the 8-inch-thick base course should be placed and compacted in two equally thick layers. All base course material should be compacted to at least 98 percent of its modified Proctor (AASHTO T-180) maximum dry density.
- **Asphalt Surface** – We recommend an FDOT Type SP asphaltic wearing surface. We recommend a wearing surface 1.5 inches thick on standard pavement and 2.5 inches thick on heavy-duty pavement. The 2.5 inch wearing surface should be placed and compacted in two layers. Care must be exercised to place the asphalt over dry, well primed base material.

Rigid Pavement Section – We recommend a pavement section consisting of a Portland cement concrete surface, supported on stabilized subbase over well-compacted subgrade.

- **Stabilized Subbase** – The Type B stabilized subbase material should be uniform, be a minimum of 12 inches in thickness, should have a minimum Limerock Bearing Ratio (LBR) value (FDOT FM 5-515) of 40, and be compacted to at least 98 percent of its modified Proctor (AASHTO T-180) maximum dry density. Use of clayey admixtures is not recommended. Use of coarse granular materials such as recycled crushed concrete, shell, or gravel is preferred.

- Rigid Concrete Pavement – We recommend a 5- or 6-inch-thick pavement section consisting of Portland cement concrete. The concrete should have a minimum 28-day compressive strength of 4,000 psi. We recommend that saw cuts are performed for crack control. The saw cuts should be cut as soon as the concrete develops enough strength to resist aggregate raveling. Steel reinforcement within the concrete pavement, if needed, should be designed by the project civil or structural engineer.

Closure:

Based upon our subsurface investigation at the above-mentioned project location, the reliance of the recommendations presented within this signed and sealed report is predicated on KSM representative's involvement in reviewing design plans and performing/monitoring construction testing services. Any design professional utilizing the information within this report are responsible for confirming the accuracy of the project information and assumptions stated in our report and that the soil parameters presented are adequate for the design of the proposed project. If additional parameters are required, KSM is to be notified so that our recommendations can be amended as required.

Standard of Care - This report has been prepared in accordance with generally accepted soil and engineering practices and is based on our evaluation of our geotechnical investigation and our stated understanding and assumptions of the proposed project. The procedural standards noted in this report are in reference to methodology in general. In some cases, variations to methods were applied because of local practice or professional judgement. No warranties, either expressed or implied, are intended or made. This report does not reflect any variations which may occur between or away from the borings. If variations appear evident during the course of construction, it would be necessary to re-evaluate the recommendations of this project.

Limitations - Environmental conditions, wetland delineation, karst activity, water quality, and municipal requirements are not a part of this report.

KSM Engineering and Testing should be retained to perform and/or monitor Construction Testing services. If Client elects to not have KSM provide Construction Testing services, the Client shall indemnify and hold KSM and its consultants harmless from and against damages, losses, and judgments arising from claims by Client or any third parties.

1 Bon Aire Desire Avenue
Hobe Sound, Florida
KSM Project #: 2501547-b

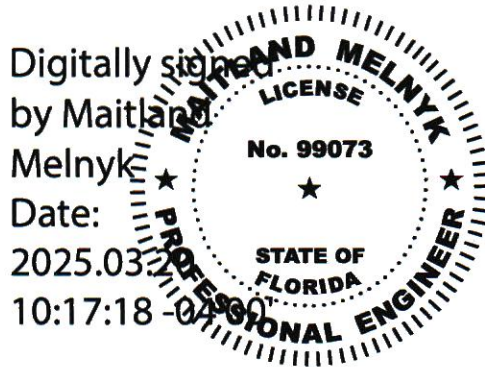


We are pleased to have been of assistance to you in this phase of your project. When we may be of further service to you or should you have any questions, please feel free to contact the office.

Respectfully,

This item has been digitally signed and sealed by Maitland Melnyk, PE on the date adjacent to the seal.

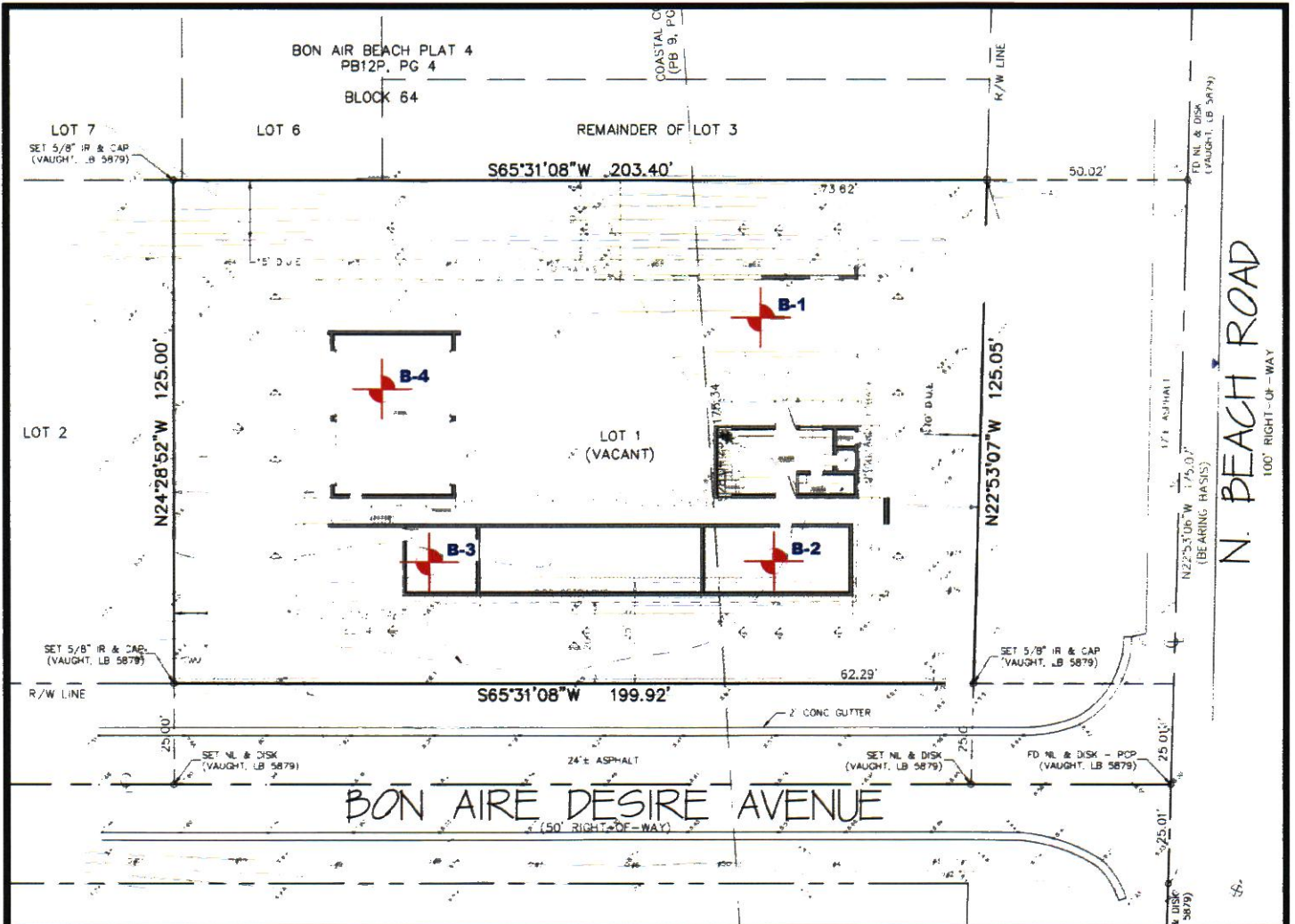
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



Maitland D. Melnyk, P.E.
Geotechnical Engineer
Florida Lic. No. 99073

Email to: dan@huum.com

Dillon Surette
Dillon J. Surette
Geotechnical Intern



APPROXIMATE LOCATION OF SOIL TESTING

PROJECT: 1 Bon Air Desire Avenue, Hobe Sound, Florida

SHEET 1 OF 1
 PERMIT #: N/A
 PROJECT #: 2501547-b



DRAWN BY: C.V.
 DATE: 20250317
 SCALE: NOT TO SCALE



BORING NUMBER B-1

PAGE 1 OF 1

CLIENT Hughes Umbanhowar Architects **PROJECT NAME** 1 Bon Aire Desire Avenue
PROJECT NUMBER 2501547-b **PROJECT LOCATION** Hobe Sound, Florida
DATE STARTED 3/12/25 **COMPLETED** 3/12/25 **GROUND ELEVATION** _____
DRILLING CONTRACTOR _____ **GROUND WATER LEVELS:**
DRILLING METHOD SPT Safety Hammer ∇ AT TIME OF DRILLING 7.3 ft
LOGGED BY AA/LJ
NOTES See Attached Location Plan

COPY NEW LOGS 2024 - 1 - DATA TEMPLATE FOR TESTING.GDT - 3/17/25 16:43 - K:\KSM FILES\25 DOCS (KSM-SERVER)\2501547\SOIL INVESTIGATION\2501547-B.GPJ

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	BLOW COUNTS (N VALUE)	SCP VALUE	MOISTURE CONTENT (%)	FINES CONTENT (%)	ORGANIC CONTENT (%)	PERMEABILITY RATE (IN/HR)	ATTERBERG LIMITS		
									PLASTIC LIMIT	LIQUID LIMIT	PLASTIC INDEX
0		Brown Sand with Traces of Shell Fragments	4-4-5 (9)								
		Dark Brown Sand	5-7-20 (27)								
5		Gray Sand with Traces of Shell Fragments	7-9-15 (24)								
		∇		10-11-12 (23)							
10		Gray Sand	7-8-10 (18)								
15		Light Brown to Gray Sand with Shell Fragments	6-7-7 (14)								
20			8-7-8 (15)								

Bottom of borehole at 20.0 feet.



BORING NUMBER B-2

PAGE 1 OF 1

CLIENT Hughes Umbanhowar Architects **PROJECT NAME** 1 Bon Aire Desire Avenue
PROJECT NUMBER 2501547-b **PROJECT LOCATION** Hobe Sound, Florida
DATE STARTED 3/12/25 **COMPLETED** 3/12/25 **GROUND ELEVATION** _____
DRILLING CONTRACTOR _____ **GROUND WATER LEVELS:**
DRILLING METHOD SPT Safety Hammer ▽ AT TIME OF DRILLING 7.3 ft
LOGGED BY AA/LJ
NOTES See Attached Location Plan

COPY NEW LOGS 2024 - 1 - DATA TEMPLATE FOR TESTING.GDT - 3/17/25 16.43 - K:\KSM FILES\25 DOCS (KSM-SERVER)\2501547\SOIL INVESTIGATION\2501547-B.GPJ

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	BLOW COUNTS (N VALUE)	SCP VALUE	MOISTURE CONTENT (%)	FINES CONTENT (%)	ORGANIC CONTENT (%)	PERMEABILITY RATE (IN/HR)	ATTERBERG LIMITS		
									PLASTIC LIMIT	LIQUID LIMIT	PLASTIC INDEX
0											
0 - 15		Dark Brown to Brown Sand	5-4-7 (11)								
15 - 17		Light Brown to Gray Sand with Shell Fragments	5-8-7 (15)								
17 - 24		Gray Clayey Sand with Shell Fragments	2-4-39 (43)								
24 - 25		Bottom of borehole at 25.0 feet.									



BORING NUMBER B-3

PAGE 1 OF 1

CLIENT Hughes Umbanhowar Architects **PROJECT NAME** 1 Bon Aire Desire Avenue
PROJECT NUMBER 2501547-b **PROJECT LOCATION** Hobe Sound, Florida
DATE STARTED 3/12/25 **COMPLETED** 3/12/25 **GROUND ELEVATION** _____
DRILLING CONTRACTOR _____ **GROUND WATER LEVELS:**
DRILLING METHOD SPT Safety Hammer ▽ AT TIME OF DRILLING 7.9 ft
LOGGED BY AA/LJ
NOTES See Attached Location Plan

COPY NEW LOGS 2024 -1 - DATA TEMPLATE FOR TESTING.GDT - 3/17/25 16.43 - K:\KSM FILES\25 DOCS (KSM-SERVER)\2501547\SOIL INVESTIGATION\2501547-B.GPJ

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	BLOW COUNTS (N VALUE)	SCP VALUE	MOISTURE CONTENT (%)	FINES CONTENT (%)	ORGANIC CONTENT (%)	PERMEABILITY RATE (IN/HR)	ATTERBERG LIMITS		
									PLASTIC LIMIT	LIQUID LIMIT	PLASTIC INDEX
0											
0 - 4.5		Dark Brown to Brown Sand	4-5-5 (10)								
4.5 - 6.7			6-7-8 (15)								
6.7 - 12.0			12-10-25 (35)								
12.0 - 10.0			10-20-26 (46)								
10.0 - 7.1			Gray Sand with Traces of Shell Fragments	7-11-12 (23)							
7.1 - 5.4		Light Brown to Gray Sand with Shell Fragments	5-4-4 (8)								
5.4 - 8.1			8-12-11 (23)								
8.1 - 2.2		Gray Clayey Sand with Traces of Shell Fragments	2-2-2 (4)		36.2	31.0					

Bottom of borehole at 25.0 feet.



BORING NUMBER B-4

PAGE 1 OF 1

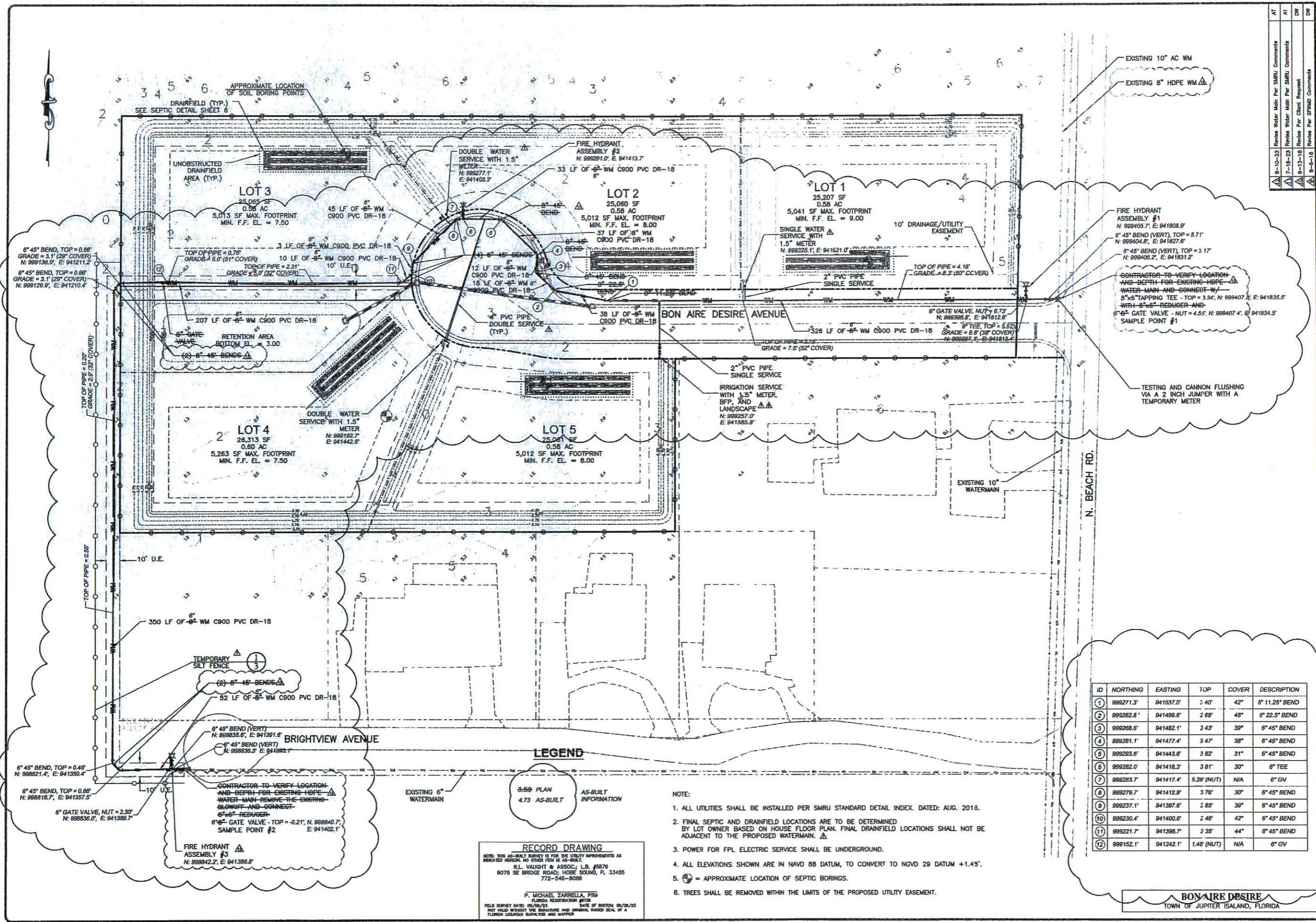
CLIENT Hughes Umbanhowar Architects PROJECT NAME 1 Bon Aire Desire Avenue
 PROJECT NUMBER 2501547-b PROJECT LOCATION Hobe Sound, Florida
 DATE STARTED 3/12/25 COMPLETED 3/12/25 GROUND ELEVATION _____
 DRILLING CONTRACTOR _____ GROUND WATER LEVELS:
 DRILLING METHOD SPT Safety Hammer ∇ AT TIME OF DRILLING 7.9 ft
 LOGGED BY AA/LJ
 NOTES See Attached Location Plan

COPY NEW LOGS 2024 - 1 - DATA TEMPLATE FOR TESTING.GDT - 3/17/25 16:43 - K:\KSM FILES\25 DOCS (KSM-SERVER)\2501547\SOIL INVESTIGATION\2501547-B.GPJ

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	BLOW COUNTS (N VALUE)	SCP VALUE	MOISTURE CONTENT (%)	FINES CONTENT (%)	ORGANIC CONTENT (%)	PERMEABILITY RATE (IN/HR)	ATTERBERG LIMITS		
									PLASTIC LIMIT	LIQUID LIMIT	PLASTIC INDEX
0		Dark Brown Sand	2-3-5 (8)								
			7-10-11 (21)								
5			4-5-5 (10)								
			3-4-4 (8)								
	∇	Gray Sand	4-10-10 (20)								
10											
		Light Brown to Gray Sand with Shell Fragments	5-7-5 (12)								
15											
			6-7-10 (17)								
20											

Bottom of borehole at 20.0 feet.

P:\FL\20111542-Jordan_Goyherd\H0701-Bon Air Desire-HCC\02-CAD-Files\DWG\DESIGN\H0701 04.dwg, PRINTED BY: atovada ON Fri, Aug 11 2023



AT	8-10-23	Revised Water Main Per SMRU Comments
AT	7-18-23	Revised Water Main Per SMRU Comments
DW	8-13-18	Revised Per Client Request
DW	8-5-18	Revised Per SPWAD Comments
AT	8-25-18	REVISED PER TOU/SMRU COMMENTS.
AT	8-21-18	Revised Per SMRU Comments
DW	5-3-18	REVISED PER TOU COMMENTS
AT	4-18-18	Revised Per TOU & SPWAD COMMENTS.
AT	3-22-18	Revised Per SPWAD Comments
AT	3-15-18	Revised watermain route and south tie in per SMRU comments
AT	2-28-18	Revised per TOU UPDATED CALCULATIONS
AT	1/13/18	Revisions per Term of Approval issued 10/30/15
NO.	NO.	DATE.

60
30
0
30
60
(IN FEET)
1 inch = 30 ft.

VERTICAL DATUM NAVD 88

DRAWN: AT
PROJECT: 2011542
FILE: H0701 04.dwg

THE MILCOR GROUP, INC.
A DIVISION OF:

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING

10875 SE FEDERAL HIGHWAY
HOBE SOUND, FL 33455

725 SE PORT ST LUCIE BLVD
UNIT 104
PORT ST. LUCIE, FL 34984

PH: (772) 223-8850

WWW.THEMILCORGROUP.COM
WWW.HALEYWARD.COM

ENGINEERING BUSINESS REGISTRY: 12044

WATER AND SEPTIC PLAN

BON AIRE DESIRE

TOWN OF JUPITER ISLAND, FLORIDA

STATE OF FLORIDA
PROFESSIONAL ENGINEERING

SEAL OF MICHAEL ZARRIELLA, P.E.
NO. 77738
EXPIRES 12/31/2023

SHEET NO.

4

ID	NORTHING	EASTING	TOP	COVER	DESCRIPTION
1	999271.3'	941537.0'	3.40'	42"	6" 11.25' BEND
2	999262.8'	941499.6'	2.68'	48"	6" 22.5' BEND
3	999268.6'	941482.1'	3.43'	39"	6" 45' BEND
4	999281.1'	941477.4'	3.47'	38"	6" 45' BEND
5	999293.6'	941443.6'	3.82'	31"	6" 45' BEND
6	999282.0'	941418.3'	3.81'	30"	6" TEE
7	999283.7'	941417.4'	5.28' (NUT)	N/A	6" GV
8	999279.7'	941412.9'	3.76'	30"	6" 45' BEND
9	999237.1'	941397.6'	2.85'	39"	6" 45' BEND
10	999230.4'	941400.8'	2.46'	42"	6" 45' BEND
11	999221.7'	941396.7'	2.35'	44"	6" 45' BEND
12	999152.1'	941242.1'	1.48' (NUT)	N/A	6" GV

LEGEND

3-59 PLAN AS-BUILT

4-73 AS-BUILT

AS-BUILT INFORMATION

- NOTE:**
1. ALL UTILITIES SHALL BE INSTALLED PER SMRU STANDARD DETAIL INDEX, DATED: AUG. 2016.
 2. FINAL SEPTIC AND DRAINFIELD LOCATIONS ARE TO BE DETERMINED BY LOT OWNER BASED ON HOUSE FLOOR PLAN. FINAL DRAINFIELD LOCATIONS SHALL NOT BE ADJACENT TO THE PROPOSED WATERMAIN.
 3. POWER FOR FPL ELECTRIC SERVICE SHALL BE UNDERGROUND.
 4. ALL ELEVATIONS SHOWN ARE IN NAVD 88 DATUM, TO CONVERT TO NGVD 29 DATUM +1.45'.
 5. = APPROXIMATE LOCATION OF SEPTIC BORINGS.
 6. TREES SHALL BE REMOVED WITHIN THE LIMITS OF THE PROPOSED UTILITY EASEMENT.

RECORD DRAWING

NOTE: THIS AS-BUILT SURVEY IS FOR THE UTILITY IMPROVEMENTS AS INDICATED HEREON. NO OTHER USE IS ALLOWED.

R.L. VAUGHT & ASSOC., L.B. #5879
9075 SE BRIDGE ROAD, HOBE SOUND, FL 33455
772-546-8088

F. MICHAEL ZARRIELLA, P.E.
FLORIDA REGISTRATION #7738
FIELD SURVEY DATED: 05/04/23 DATE OF SHEET: 08/09/23
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RANDED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER



#	date	pages
1	4/3/25	

project description:

new two story home with ground level car port & entry

jurisdiction: Town of Jupiter Island
code: FBC 2020

typical notes index

ADJ	adjacent	JT	joint
AFF	above finished floor	LEV	level
ALUM	aluminum	LOC	location
ANOD	anodized		
ATT	attenuation		
@	at	MAX	maximum
		MECH	mechanical
BETW	between	MEMB	membrane
BLKG	blocking	MFR	manufacturer
BM	beam	MIN	minimum
BSMT	basement	MTD	mounted
		MTL	metal
		MOD	module
C	channel		
CEM	cement	N I C	not in contract
CJ	control joint	NO	number
CL	center line		
CLNG	ceiling		
CLR	clear	O C	on center
CMU	concrete masonry unit	OPNG	opening
COL	column	OPP	opposite
CONCL	concealed		
CONC	concrete	PL	plate
CONST	construction	P L	property line
CONT	continuous	PLAS	plaster
		PLAM	plastic laminate
		PLY	plywood
		PT	pressure treated
		PTD	painted
		RAD	radius
		RE	refer to
		RES	resistant
EA	each	RESIL	resilient
EJ	expansion joint	REQ'D	required
EL	elevation	RM	room
ELEC	electrical	R O	rough opening
ELEV	elevator		
EQ	equal, equal to	S C	solid core
EQUIP	equipment	SCHED	schedule
EXP	expansion	SECT	section
EXT	exterior	SHT	sheet
		SIM	similar
FF	finish face	S STL	stainless steel
FFL	finish floor level	STRUCT	structure
FLR	floor	SUSP	suspended
FLUOR	fluorescent		
FIN	finish	T B C	to be confirmed
FOC	face of concrete	T B D	to be determined
FOS	face of stud	THK	thick
FW	face of wall	THRU	through
FURR	furring	T O	top of
		TYP	typical
GA	gauge		
GALV	galvanized	U O N	unless otherwise noted
GLAZ	glazing		
GI	galvanized iron	VEN	vener
GYP	gypsum board	VER	verify
HC	hollow core	W	with
HM	hollow metal	WD	wood
HT	height	WF	waterproof
		WR	water resistant
INS	insulation		
INT	interior		

site analysis:

site analysis:

address:	1 bon aire desire avenue hobe sound, fl 33455		
zoning district:	E-12	Island Core Residential	
planned start date of construction:			
	required	existing	proposed
lot area:	>12,500	25,207 sq ft	NA
lot width:	>125'	125.05'	125.05'
floor area *principle dwelling shall not exceed 10,000 sq ft	5,041 sq ft (20% max)	NA	5,030 sq ft
front yard setback:	30'	NA	30'
rear yard setback:	35'	NA	35'
side yard setback (one-story) 1. lot width less than 125' 2. lot width greater than 125'	20'	NA	20'
side yard setback (two-story) 1. lot width less than 125' 2. lot width greater than 125'	25'	NA	25'
initial measuring point: (IMP)	>8'	8'	14.8' NAVD
fill:	(max) 3'	NA	< 3'
maximum roof height: pitch: (one-story)	NA	NA	NA
maximum roof height: pitch: (two-story)	24' flat	NA	24'
maximum exterior wall height: (one-story)	14'	NA	14'
maximum exterior wall height: (two-story)	22'	NA	22'
parking spaces:	1 per bedroom/5	NA	6
driveway setback:	3'	NA	see landscape plan
landscape/ pervious area:	50%	NA	64%
elevation of LHSM: (lowest height of structural member)	14.8' NAVD	NA	14.8' NAVD
elevation of finished floor:	9'	NA	9'
FEMA flood zone:		"x" and "AE"	

project team:

architectural

hughesumbanhowar architects
11894 S.E. Dixie Highway, Hobe Sound, FL 33455
huum.com
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landscape architect

Innocenti & Webel
9350 SE Olympus Street Hobe Sound, FL 33455
innocenti-webel.com
phone: 772.546.9650

structural engineer

YHCE
99 NW 27 Ave, Miami, FL 33125
yhengineering.com
phone: 305.969.9423
info@yhengineering.com

mep engineer

FAE consulting
1280 N Congress Ave suite 101 West Palm Beach, FL 33409
faeconsulting.com
phone: 561.391.9292
info@faeconsulting.com

civil engineer

Gruber Consulting Engineers
2475 Mercer Ave, West Palm Beach, FL 33401
phone: 561.312.2041

pool/spa/water features designer

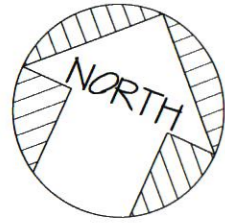
Abaco Pools
8410 SE Bridge Road, Hobe Sound, FL 33455
abacopools.com
phone: 772.402.5032
carl@abacopools.com

sheet index:

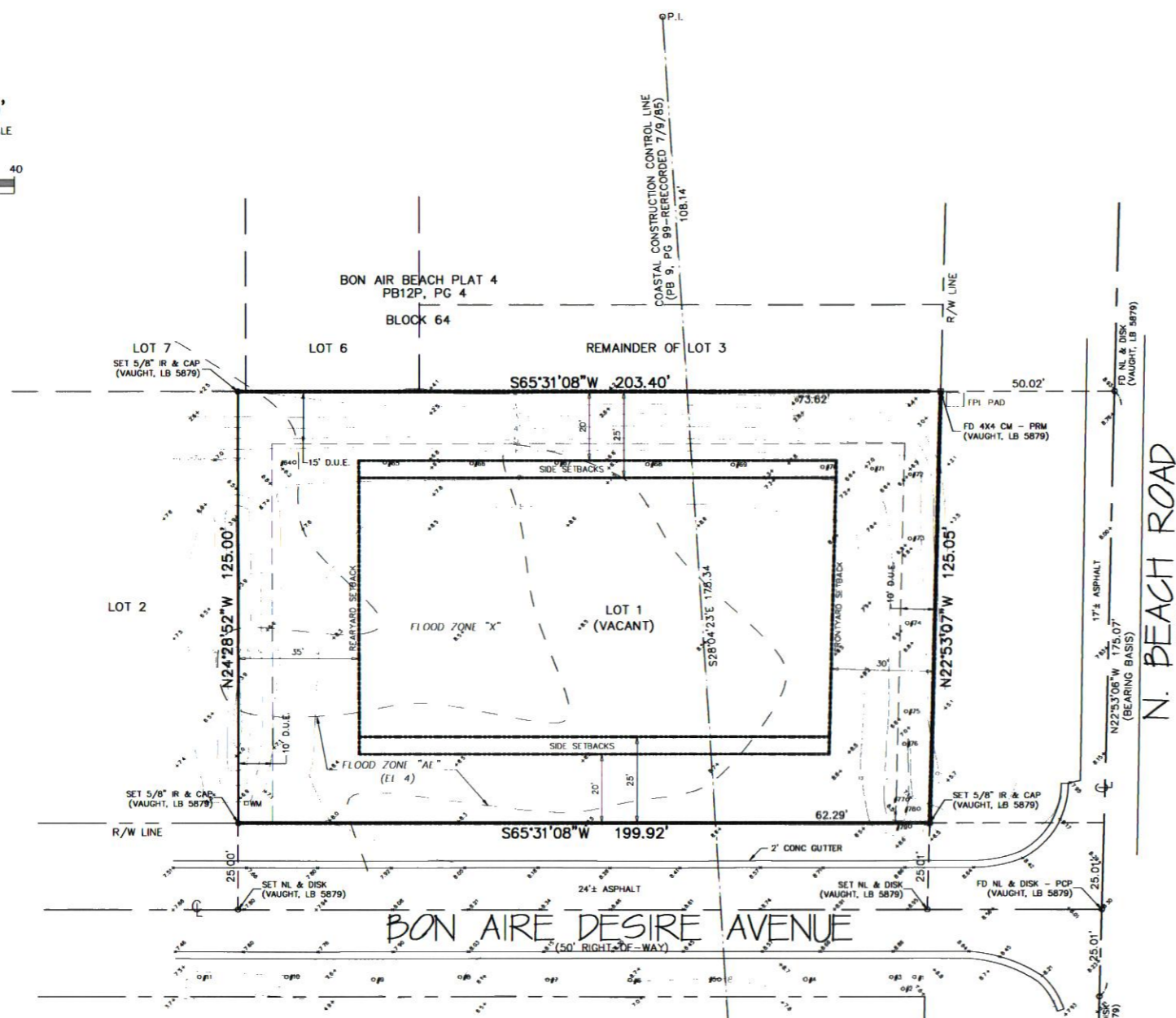
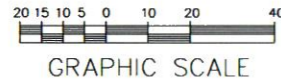
architectural	A-0.00	cover sheet	X	X	structural	S0.00	general notes & index	X
	A-0.01	notes & specifications	X			S1.00	foundation plan	X
	A-0.02	notes & specifications	X			S1.01	parking garage framing plan	X
	A-0.03	construction staging plan	X			S1.02	2nd floor framing plan	X
	A-0.03	site plan	X	X		S1.03	2nd floor framing plan	X
	A-1.01	ground level plan	X	X		S1.04	roof floor framing plan	X
	A-1.02	first level plan	X	X		S1.05	roof floor framing plan	X
	A-1.03	ground level interiors plan - north wing	X	X		S1.06	nominal wind load diagram	X
	A-1.04	ground level interiors plan - south wing	X	X		S1.08	roof additional steel reinforcement	X
	A-1.05	first level interiors plan - north wing	X	X		S2.00	standard details	X
	A-1.06	first level interiors plan - south wing	X	X		S3.00	sections	X
	A-1.07	roof level plan	X	X		S4.00	beam schedule	X
	A-2.01	exterior elevations	X	X		S4.01	column schedule	X
	A-2.02	exterior elevations	X	X		S5.00	wind pressure	X
	A-3.01	overall building sections	X	X		S5.01	axonomies	X
	A-3.02	overall building sections	X	X		electrical		
	A-3.03	architectural wall sections	X	X		E-0.01	electrical site plan	X
	A-4.01	master bath interior elevations	X			E-0.02	power distribution one-line	X
	A-4.02	master closet interior elevations	X			E-1.00	ground level power plan	X
	A-4.03	gym bath and powder interior elevations	X			E-1.01	first level power plan	X
	A-4.04	guest bath 1 interior elevations	X			E-1.02	ground level lighting	X
	A-4.05	guest bath 2+3 interior elevations	X			E-1.03	first level lighting	X
	A-4.06	apartment bath interior elevations	X			civil		
	A-4.07	kitchen interior elevations	X				drainage plan 1/2	X
	A-4.08	pantry interior elevations	X				sections 2/2	X
	A-4.09	laundry interior elevations	X				storm water pollution protection plan details 1/2	X
	A-4.10	garage interior elevations	X				storm water pollution protection plan details 2/2	X
	A-4.11	built-in elevations	X			survey		
	A-4.12	bed built-in elevations	X				boundary and tidal water survey	X
	A-4.13	guest closet elevations	X					
	A-4.14	living room interior elevations	X					
	A-5.01	wall types	X	X				
	A-5.02	interior details	X	X				
	A-5.03	interior details	X	X				
	A-5.04	exterior details	X	X				
	A-5.05	bathroom details	X	X				
	A-5.06	built-in details	X	X				
	A-5.07	interior stair details	X	X				
	A-5.08	exterior stair details	X	X				
	A-6.01	door schedule	X	X				
	A-6.02	door & window details	X	X				
	A-6.03	window schedule	X	X				
	A-6.04	room finish schedule	X	X				
	A-6.05	plumbing fixture schedule	X	X				
mechanical	H-1.03	HVAC ground level plan - north wing	X	X				
	H-1.04	HVAC ground level plan - south wing	X	X				
	H-1.05	HVAC first level plan - north wing	X	X				
	H-1.06	HVAC first level plan - south wing	X	X				
	H-1.08	HVAC ground level plan - future garage	X	X				
	H-2.0	HVAC schedule	X	X				
plumbing	P-2.00	domestic water heating	X	X				
	P-6.00	plumbing diagram ground level	X	X				
	P-6.01	plumbing diagram first level	X	X				
	P-6.02	plumbing riser diagram	X	X				

location map





SCALE : 1" = 20'
THIS IS THE INTENDED DISPLAY SCALE



LEGEND

BFP	BACKFLOW PREVENTER
CATV	CABLE TELEVISION RISER
CBS	CONCRETE BLOCK STRUCTURE
CM	CONCRETE MONUMENT
CONC	CONCRETE
COV	COVERED
A	DELTA/CENTRAL ANGLE
D.U.E.	DRAINAGE AND UTILITY EASEMENT
EB	ELECTRIC BOX
EL	ELEVATION
FD	FOUND
FE	FLOOR ELEVATION
FH	FIRE HYDRANT
ID	IDENTIFICATION
IP	IRON PIPE
IR	IRON ROD
L	ARC LENGTH
LB	LICENSED SURVEY BUSINESS
LS	LICENSED LAND SURVEYOR
NAIL	NAIL
ORB	OFFICIAL RECORDS BOOK
PB	PLAT BOOK
PG	PAGE
PCP	PERMANENT CONTROL POINT
PRM	PERMANENT REFERENCE MONUMENT
P.I.	POINT OF INTERSECTION
R	RADIUS
R/W	RIGHT-OF-WAY
SMH	SANITARY MANHOLE
TEL	TELEPHONE RISER
WM	WATER METER
WV	WATER VALVE
C	CENTERLINE
Q-830	TREE & TAG NUMBER
±	EXISTING ELEVATION

SURVEYOR'S NOTES:

- NOT VALID WITHOUT ALL SHEETS AND THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- BEARINGS SHOWN HEREON ARE BASED ON PLAT. BEARING BASE IS THE CENTERLINE OF NORTH BEACH ROAD.
- THIS SURVEY IS BASED ON A CLOSED GEOMETRIC FIGURE EXCEEDING A HORIZONTAL CLOSURE OF 1:10000 U.S. SURVEY FEET. WELL-IDENTIFIED FEATURES SHOWN HEREON HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.1 FEET.
- ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) AND ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BENCHMARK USED: '98 94 DAT1 (FLDNR), ELEVATION = 8.80' (NAVD88)
- THE EXPECTED ACCURACY OF SPOT ELEVATIONS SHOWN HEREON IS 0.03 FEET FOR THE HARD SURFACE ELEVATIONS AND 0.1 FEET FOR NATURAL GRADE ELEVATIONS.
- BEARINGS, ANGLES, AND DIMENSIONS SHOWN HEREON ARE FIELD MEASURED QUANTITIES UNLESS NOTED OTHERWISE AS: (P)=PLAT MEASUREMENT; (M)=FIELD MEASUREMENT; (C)=CALCULATED MEASUREMENT
- THIS SURVEY PREPARED WITHOUT BENEFIT OF TITLE AND MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAYS AND OTHER ENCUMBRANCES WHICH MAY BE REVEALED IN A SEARCH OF TITLE TO THE SUBJECT LAND.
- THE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY NAMED IN CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON, WITHOUT THE EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.
- THERE HAS BEEN NO ATTEMPT TO LOCATE ANY SUBSURFACE IMPROVEMENTS, FOOTERS, FOOTINGS AND/OR UTILITIES ON THIS PROPERTY.
- SUBJECT PROPERTY LIES IN FLOOD ZONE "X" AND "AE" (EL 4) PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE MAP #12085C0328H, DATED FEBRUARY 19, 2020. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
- LOT AREA = 25,207 SQUARE FEET (0.57867 ACRES) MORE OR LESS

LEGAL DESCRIPTION: (PER OFFICIAL RECORDS BOOK 3320, PAGE 698)

LOT 1, ACCORDING TO THE PLAT OF BON AIRE DESIRE, RECORDED IN PLAT BOOK 19, PAGE 30, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

CERTIFICATION VALID TO:

- BON AIRE BEACH DEVELOPMENT, LLC.

CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

R. L. VAUGHT & ASSOCIATES, INC.
LICENSED BUSINESS NO. 5879

By: *[Signature]*
Professional Surveyor and Mapper No. 6736
State of Florida

DATE OF LAST FIELD WORK:
Nov. 6, 2023



*** TREE LIST ***

NO.	DIAMETER	SPECIE
1	12"	CABBAGE PALM
2	12"	CABBAGE PALM
3	12"	CABBAGE PALM
4	14"	CABBAGE PALM
5	12"	CABBAGE PALM
6	12"	CABBAGE PALM
7	12"	CABBAGE PALM
8	12"	CABBAGE PALM
9	12"	CABBAGE PALM
10	13"	CABBAGE PALM
11	13"	CABBAGE PALM
64	12"	CABBAGE PALM
65	12"	CABBAGE PALM
66	12"	CABBAGE PALM
67	12"	CABBAGE PALM
68	12"	CABBAGE PALM
69	12"	CABBAGE PALM
70	12"	CABBAGE PALM
71	10"	CABBAGE PALM
72	10"	CABBAGE PALM
73	12"	CABBAGE PALM
74	13"	CABBAGE PALM
75	12"	CABBAGE PALM
76	12"	CABBAGE PALM
77	12"	CABBAGE PALM
78	12"	CABBAGE PALM
79	12"	CABBAGE PALM

*** BUILDING SETBACKS ***

PER ZONE E-12, ISLAND CORE RESIDENTIAL DISTRICT:

FRONTYARD SETBACK - 30'

SIDEYARD SETBACKS - 20' (1 STORY BUILDINGS)
25' (2 STORY BUILDINGS)

REARYARD SETBACK - 35'

NOTE: OWNER OF LOT 1, HAS OPTION OF DECIDING ON WHICH ROAD RIGHT-OF-WAY WILL BE THE FRONT LINE.

REVISIONS	BY
11/09/23 * TOPO. SURVEY & TREE LOCATIONS PB. 00	PMZ

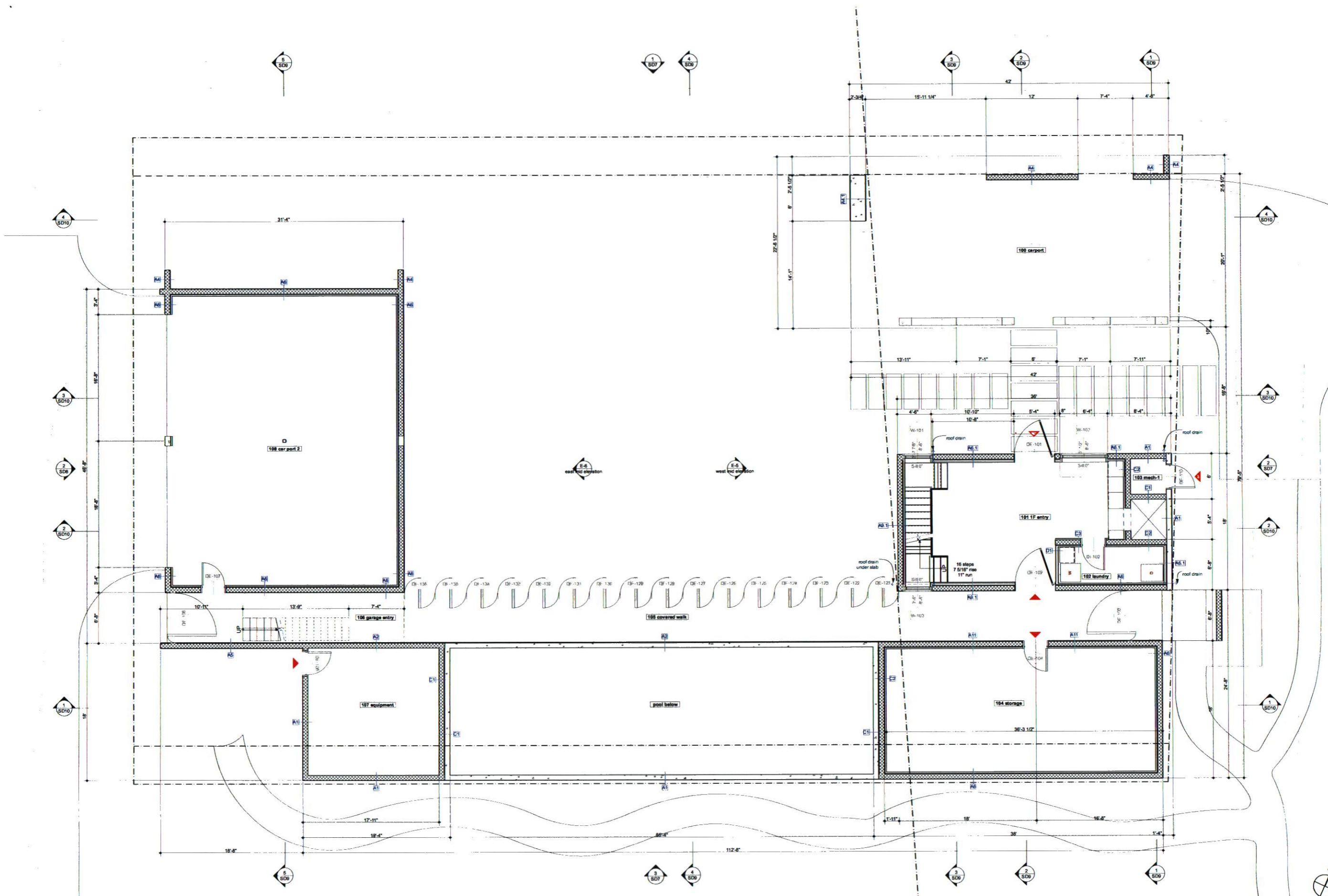
BOUNDARY & TOPOGRAPHIC SURVEY

1 BON AIRE DESIRE AVENUE
HOBE SOUND, FLORIDA 33455
TOWN OF JUPITER ISLAND

R. L. VAUGHT & ASSOCIATES, INC.
SURVEYORS, MAPPERS & PLANNERS
LICENSED SURVEY BUSINESS NUMBER 5879
9075 SE BRIDGE ROAD; HOBE SOUND 33455
MAIL: P.O. BOX 160 HOBE SOUND, FL 33475
PHONE: 772-546-8086 FAX: 772-546-8087
EMAIL: vaught@relisouth.net

DRAWN	RLV III
CHECKED	PMZ
SCALE	AS SHOWN
DATE	FEB. 15, 2023
FIELD BOOK	205/47
ORDER NO.	818499
SHEET OF SHEETS	1 1
FILE NUMBER	PB18499-23J

PCN: 35-38-42-088-000-00010-0

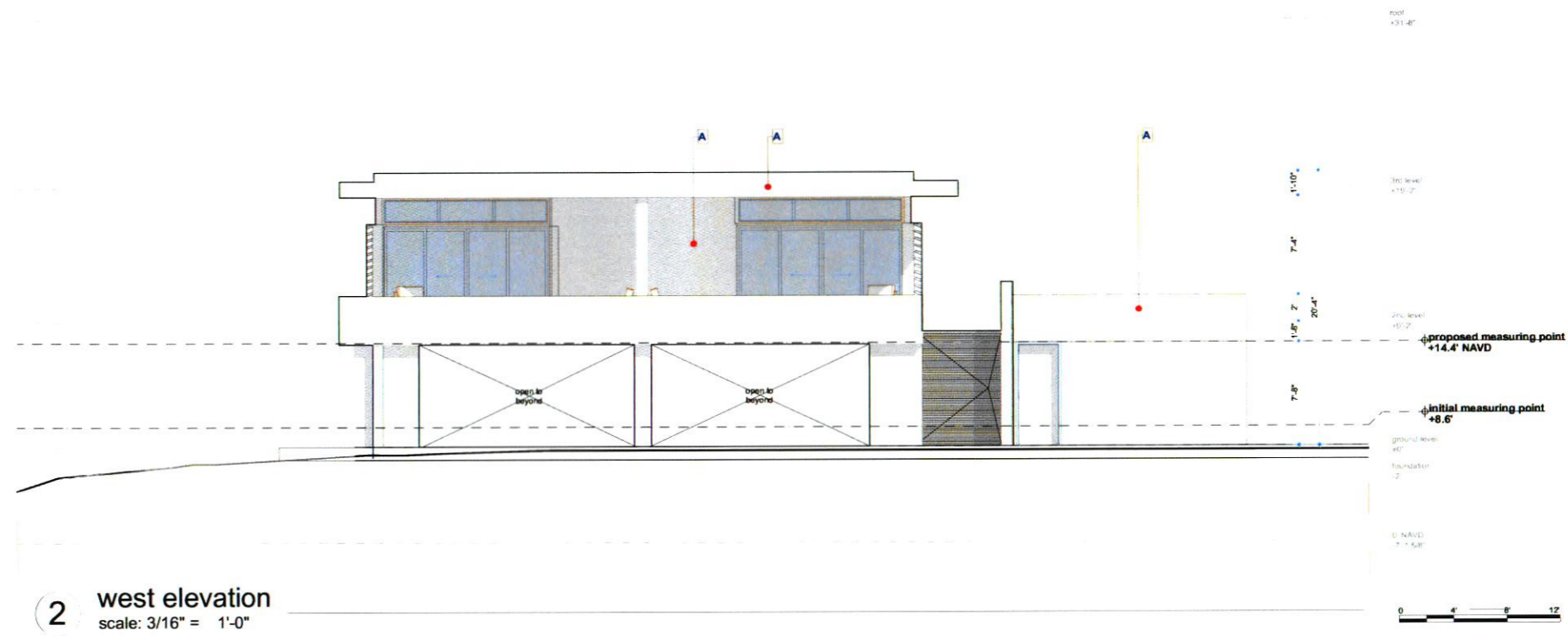
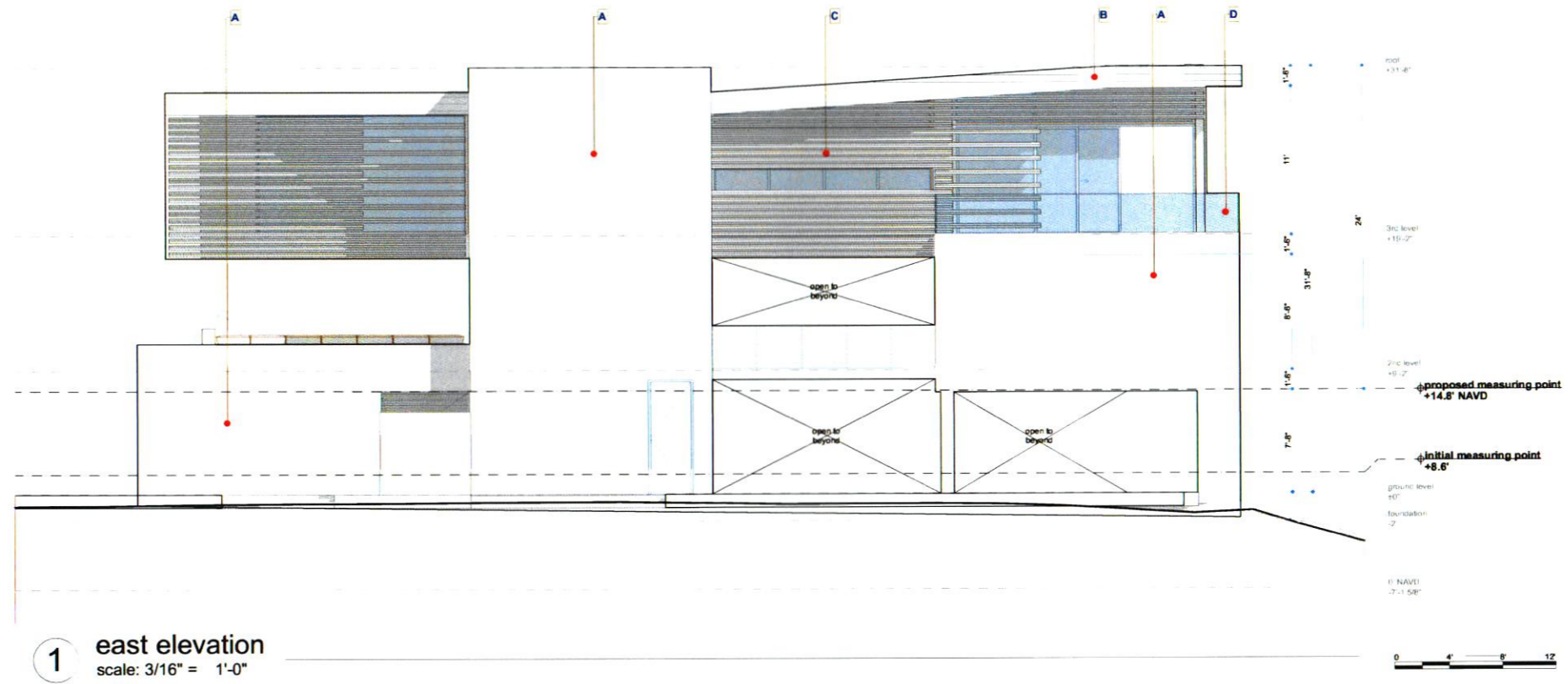


1 ground level
 scale: 3/16" = 1'-0"

revisions	
#	date
1	4/3/25

elevation legend

- A. stucco
- B. wood fascia
- C. wood louvers
- D. glass railing



10000 N. 13th St., Suite 100
Tampa, FL 33613
781.333.1111
hughesumbanhowar.com

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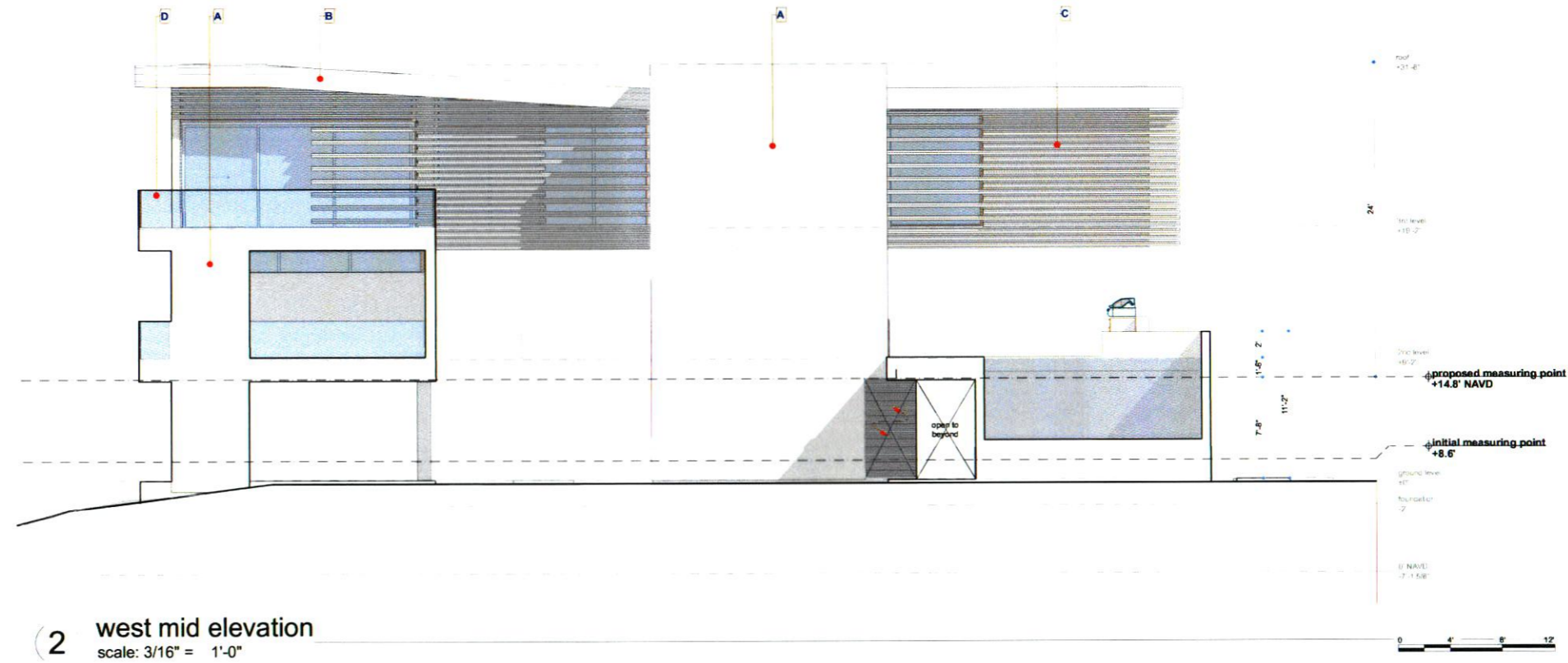
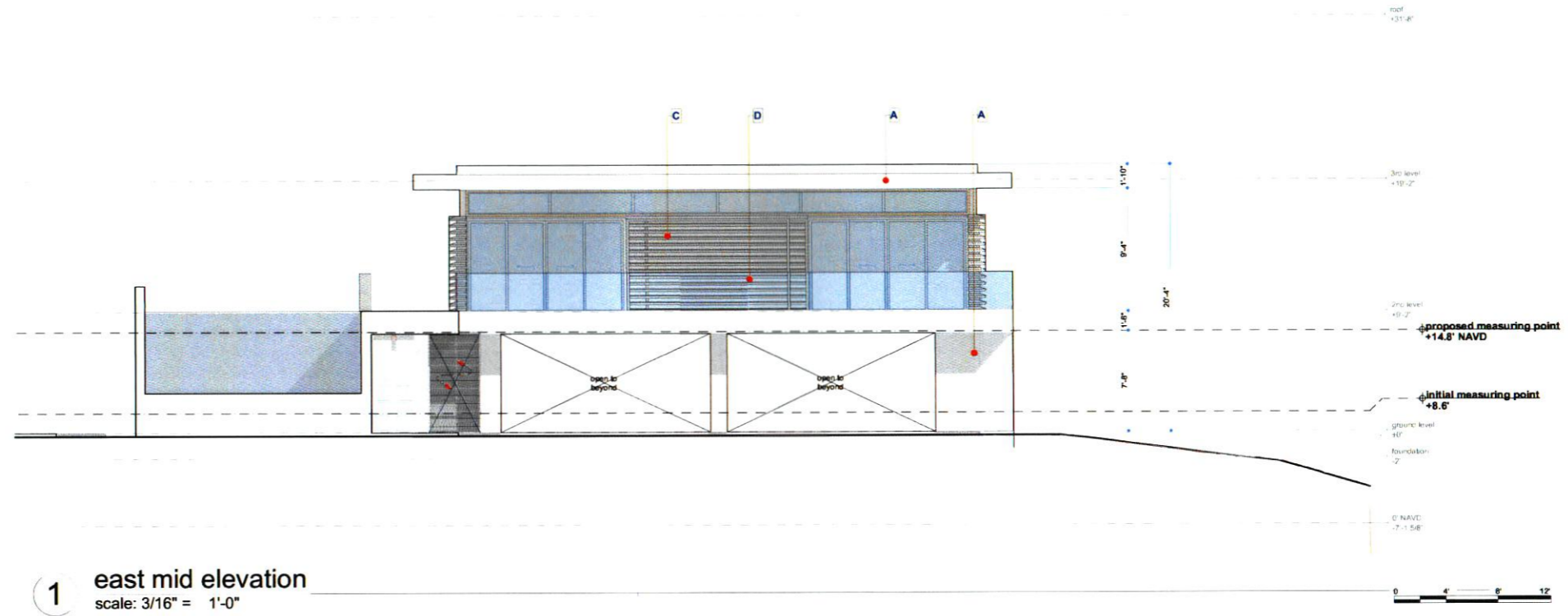
Bell
1 Bon Air Drive Avenue Hobe Sound Florida 33455 USA

revisions	
#	date
1	4/3/25

exterior elevations
A-2.01

elevation legend

- A. stucco
- B. wood fascia
- C. wood louvers
- D. glass railing



revisions

#	date	pages
1	4/3/25	

elevation legend

- A. stucco
- B. wood fascia
- C. wood louvers
- D. glass railing



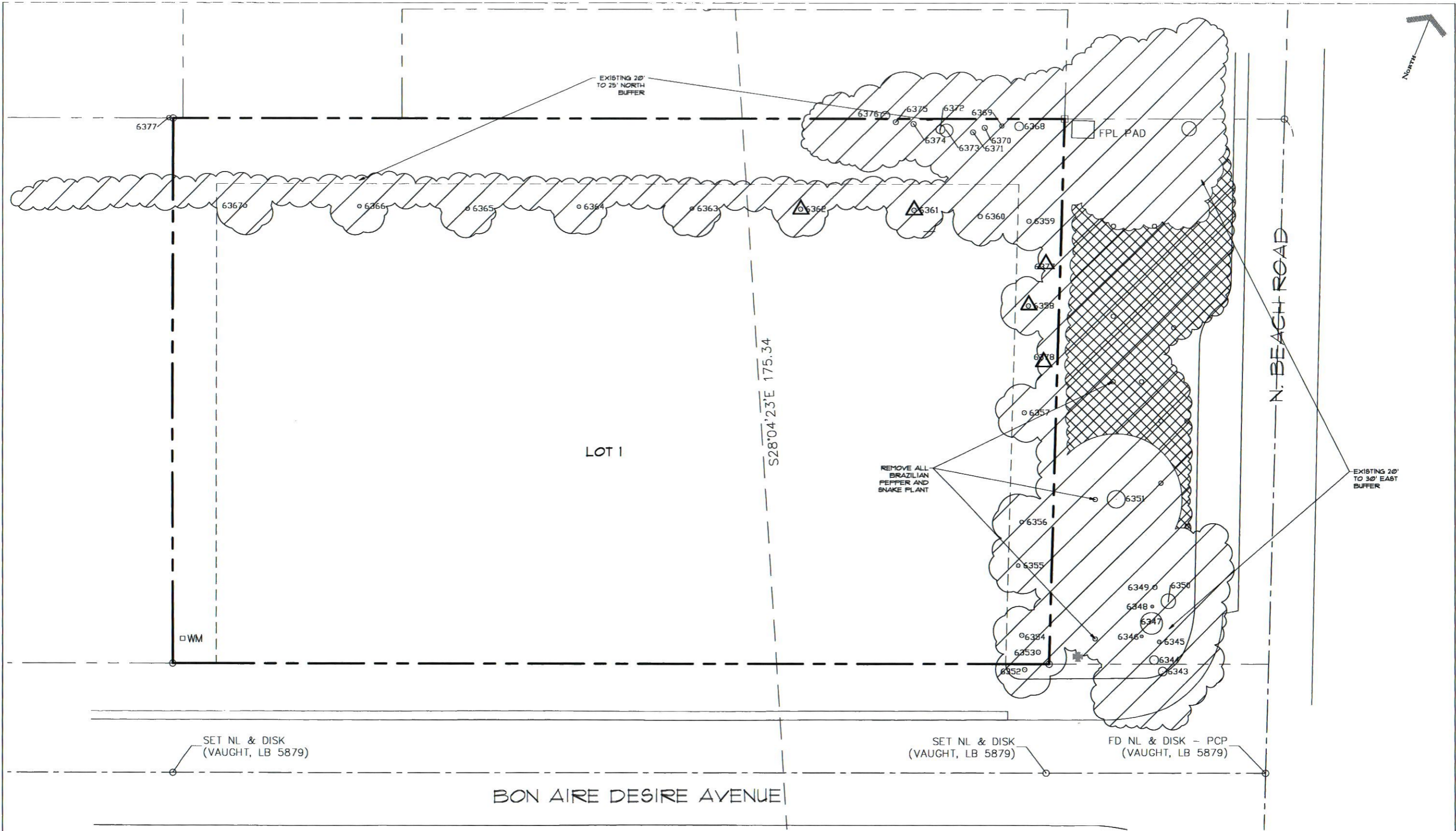
1 north elevation
scale: 3/16" = 1'-0"



2 south elevation
scale: 3/16" = 1'-0"

revisions

#	date	pages
1	4/3/25	



EXISTING TREE LIST

TREE #	SIZE	TREE TYPE	TO REMAIN	TO RELOCATE	TO REMOVE
6358	12"	CABBAGE PALM		X	
6361	12"	CABBAGE PALM		X	
6362	12"	CABBAGE PALM		X	
6377	12"	GREEN BUTTWOOD		X	
6378	12"	GREEN BUTTWOOD		X	

Digitally signed
 By Robert G. Krebs, Jr.
 Professional Landscape Architect
 FL License LA 1378
 Date: 05.05.2025

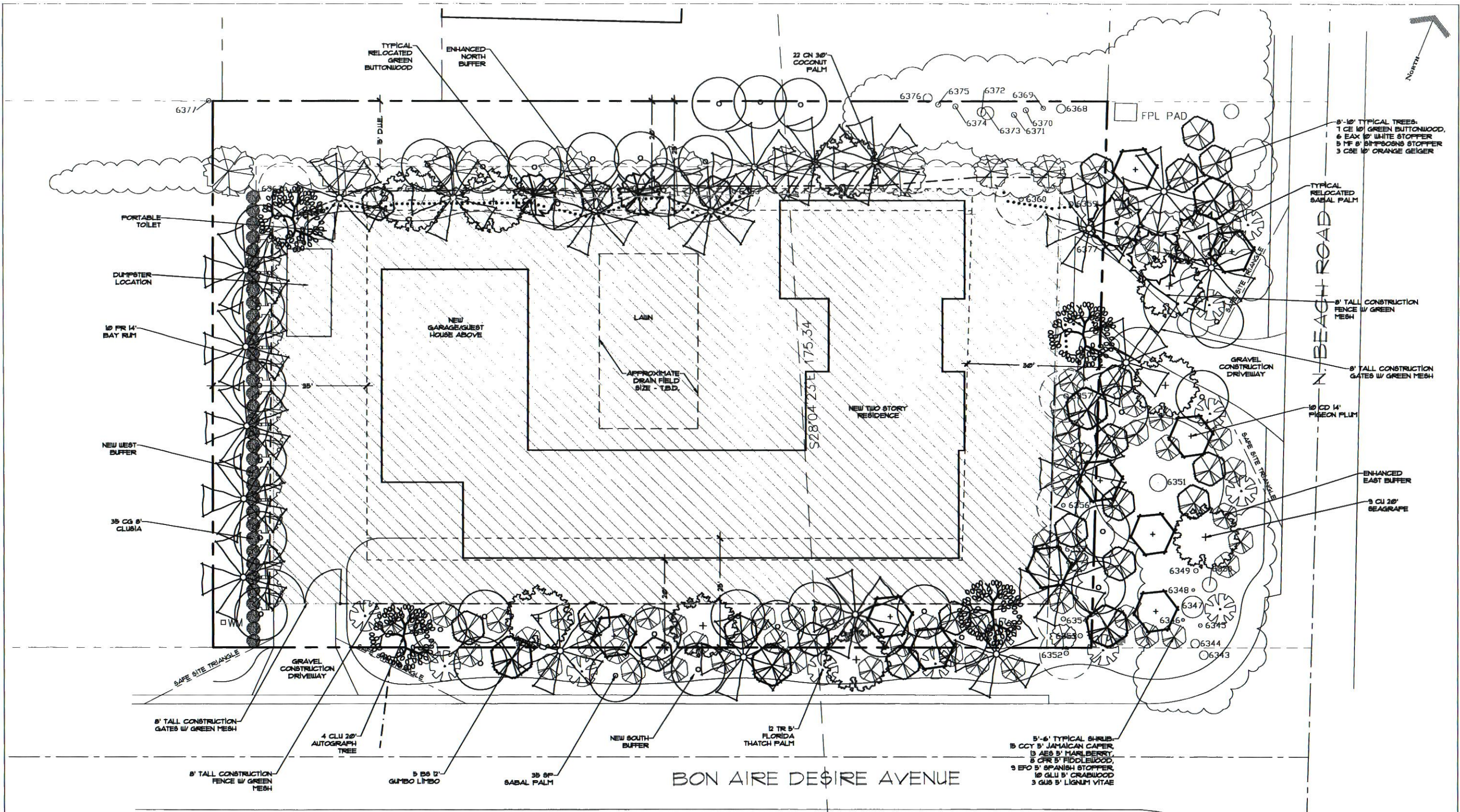
DRAWN BY: CTE/RJR
 DESIGNED BY: RJR
 CHECKED BY: RJR

DATE: 05.05.25
 REVISED: -
 SCALE: 1"=10'-0"

Prepared by the office of
INNOCENTI & WEBER
 Landscape Architects
 9905 SW 15th Avenue, Suite 100
 Fort Lauderdale, FL 33309
 Phone: 754-545-9850 Fax: 754-545-9415

EXISTING VEGETATION REMOVAL/RELOCATION PLAN
 for the
BELL RESIDENCE
 1 BON AIRE DESIRE AVE., HOBE SOUND, FL

DRAWING NUMBER:
L1.0
 OF 4



DRAWN BY: CTE/RJR
 DESIGNED BY: RJR
 CHECKED BY: RJR

DATE: 06.06.25
 REVISED: _____
 SCALE: 1" = 10'

Prepared for the use of:
 INNOCENTI & WEBER
 HOBB SOUND
 Landscape Architecture
 9880 NE 20th Avenue, Ft. Lauderdale, FL 33308
 Phone: 772-548-9880, Fax: 772-548-8418

CONSTRUCTION STAGING/BUFFER PLAN
 for the
 BELL RESIDENCE
 1 BON AIRE DESIRE AVE., HOBE SOUND, FL

DRAWING NUMBER:
L2.0
 OF 4

PLANT LIST

Key	Quantity	Botanical Name	Common Name	Specifications	Spacing
AES 5'	13	<i>Ardesia escallonioides</i>	Marlberry	5'-6"x4" Sp. Full to Base, Bush Form	As Shown
BS 12'	5	<i>Bursera simaruba</i>	Gumbo Limbo	12'x 10' Sp. Specimen, Full Crown	As Shown
CCT 5'	15	<i>Capparis cynophallophora</i>	Jamaica Caper	5'-6"x4" Sp. Full to Base, Bush Form	As Shown
CFR 5'	8	<i>Citharexylum spinosum</i>	Fiddlewood	5'-6"x4" Sp. Full to Base, Bush Form	As Shown
CG 8'	35	<i>Clusia guttifera</i>	Small Leafed Clusia	8'x 4' Sp. Full to Base, Bush Form	As Shown
CLU 20'	4	<i>Clusia rosea</i>	Pitch Apple	20' x 15' Sp. Tree Form, Specimen, Multi-trunk	As Shown
CU 14'	10	<i>Coccoloba diversifolia</i>	Pigeon Plum	14'x 8' Sp. 4" Cal. Full Crown, Well Branched	As Shown
CU 20'	9	<i>Coccoloba uvifera</i>	Seagraps	20' x 15' Multi-trunk Specimen, Full Even Canopy	As Shown
CN 30'	22	<i>Cocos nucifera</i>	Coconut Palm	30' G.W. Thick Trks, Curved Trks, Full Head	As Shown
CE 10'	3	<i>Conocarpus erectus</i>	Green Buttonwood	10'x 6' Sp. Single Trk. Full Canopy, Specimen	As Shown
CSE 10'	6	<i>Cordia sebestena</i>	Orange Geiger Tree	10'x 6' x 5' Sp. Full Canopy, Well Branched	As Shown
EAX 10'	3	<i>Eugenia axillaris</i>	White Stopper	10'x 6' Sp. Specimen, Full Crown	As Shown
EFO 6'	3	<i>Eugenia foetida</i>	Spanish Stopper	5'-6"x4" Sp. Full to Base, Bush Form	As Shown
GLS	10	<i>Gualtuncum sanctum</i>	Native Lignum Vitae	15' 4" - 5' x 3" Sp. Full Plants with Character	As Shown
GLU 5'	5	<i>Gynnanthus lucida</i>	Crabwood	5'-6"x4" Sp. Full to Base, Bush Form	As Shown
MF 8'	10	<i>Murcianthus fragrans</i>	Simpson's Stopper	8'x 6' Sp. Specimen, Multi Trk Tree	As Shown
FR	35	<i>Pimenta racemosa</i>	Bay Rum	14' x 8' Sp. Full Canopy, Matched	As Shown
SP	12	<i>Sabal palmetto</i>	Sabal Palm	12' 18", 24' C.T. Strg Hts. Mix Straight & Curved Trunks	As Shown
TR 5'	2	<i>Thrinax radiata</i>	Florida Thatch Palm	4'-6' O.A. Equal # of heights Full Head, Specimen	As Shown
Relocate	3	zz Relocate Green Buttonwood	Not Numbered	See Site & Plan for trees & locations	As Shown
Relocate		zz Relocate Sabal Palms	Not Numbered	Various Hts. See Site & Plan for trees & locations	As Shown



Digitally signed
 By Robert G. Krebs, Jr.
 Professional Landscape Architect
 FL License LA 1379
 Date: 05.05.2025

LANDSCAPE SPECIFICATIONS

GENERAL CONDITIONS:

All work shall be performed in accordance with plans and specifications prepared by Innocenti & Label, and per direction on-site by the Landscape Architect.

Requirements of the contract include: furnishing all labor, materials, supplies, equipment, etc. necessary to fully complete the installation of work as shown on the drawings, specifications and per the Landscape Architect's direction.

The Landscape Contractor shall provide a unit price bid with a contract total. Unit prices will be used for additions and deletions to the plans. Bid items if any, shall be shown.

JOB CONDITIONS:

The Landscape Contractor shall contact the G.C. and/or an underground utility locating company and arrange for all utilities in the work area to be located. Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not prevent the installation of materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

The Landscape Contractor shall lay out the plants according to the landscape plans. If a conflict arises as to the location, spacing, etc. contact the Landscape Architect immediately.

The Landscape Contractor shall examine the site and fully acquaint himself with all of the existing conditions so no misunderstanding may afterwards arise as to the character or the extent of the work to be done. The Landscape Contractor shall also acquaint himself with all precautions to be taken to avoid injury to persons or property of another. No additional compensation will be granted because of any unusual difficulties that may be encountered in the execution or maintenance of any portion of the work.

SITE PREPARATION:

Prior to any planting the Landscape Contractor shall prepare the planting area and completely remove all sod or weeds from those areas. Unless noted, invasive plant materials such as Brazilian Pepper, Australian Pine, etc. shall be removed from the entire site.

Any building construction material or foreign material such as boulders, trash, roots, concentrations of gravel, etc. encountered during Site Prep or any phase of the work, shall be removed from the site and, if necessary, replaced with acceptable planting soil.

The Landscape Contractor is responsible for the Final Grading (±) during the course of Site Preparation so as to bring the soil and planting beds to their proper elevations and to assure positive drainage.

Final sculpting of berm, whether by machine or by hand, shall be the responsibility of the Landscape Contractor. The work shall be performed under the direction of the Landscape Architect.

MATERIALS LIST:

All quantities for materials shown on the drawings shall be verified by the Landscape Contractor prior to submitting his bid. Quantities and specifications shown on the drawings shall take precedence over the plant list.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to Standardized Plant Names, 1948 Edition. All plant material shall be in accordance with Grade and Standards for Nursery Plants, parts I & II, latest edition published by the Florida Department of Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the documents listed above. Specimens means an exceptionally strong symmetrical specimen with plants not trained or favored in its development that its appearance is unquestionably and outstandingly superior in form, number of branches, compactness, and symmetry. All plants shall be hardened off, sound, healthy, vigorous, well-branched, and free of disease, insects, insect eggs and larvae, and shall have vigorous root systems. Matched plants or trees for planting in rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have foliage and branches which are good quality and in a healthy condition. Established container grown plants transplanted into another container shall be grown in the second container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root-bound plants will not be accepted.

MEASUREMENTS:

Canopy Tree Height: Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown across the center of the trunk.

Shrub Height: Height shall be measured from the ground. Spread shall be measured to the end of the branching equally around the shrub mass.

Palms: Gray Wood (G.W.) shall be measured from the ground to the point where the smooth aged trunk joins any remaining petioles.

Overall Height (OA) shall be measured from the ground to the tip of the unopened bud.

Clear Trunk (CT) shall be measured from the ground to the base of the lowest green fronds.

QUANTITIES, LOCATIONS, AND SUBSTITUTIONS:

No substitutions shall be made without approval from the Landscape Architect and the owner. The Landscape Architect reserves the right to adjust the number and locations of plants. The owner shall receive a credit or debit based on the unit price of the plant material deleted or added.

TRANSPLANTS:

All transplants with a 2" caliper trunk or greater are to be root-pruned a minimum of 6 weeks before moving.

FERTILIZER:

All trees (excluding palm trees), shrubs and ground covers to be fertilized with "Milorganite" or an approved complete fertilizer at the time of planting. All palm trees shall be fertilized with a 100% controlled release Palm Special Fertilizer with micro nutrients manufactured by Lesco, Omocote or Florikan or approved equal applied at the manufacturers recommended rates. Unit prices of plants are to include this cost. Apply "Milorganite" at the following rates:

- 3.00 lbs. or 8.10 cups per 12"-16" plant
- 2.00 lbs. or 5.40 cups per 8"-12" plant
- 0.75 lbs. or 2.00 cups per 6"-8" plant
- 0.25 lbs. or .75 cup per 3 gallon plant
- 0.10 lbs. or .34 cup per 1 gallon plant

STAKING AND GUYING:

The Landscape Architect reserves the right to request any or all trees and palms to be staked.

All Hibiscus Trees shall be staked at all times. Stakes use with a min. of 1" x 5/8" steel rebar, 7' long and placed a min. 3" into the ground. The rebar shall be placed snugly against the tree trunk and tied with 3 wraps of 3/4" wide green plastic nursery tape in 3 - 4 locations along the trunk.

Trees shall be gaged in three directions with 2 tapered strands of No. 12 galvanized wire attached to secure below grade anchors. Ureth in contact with the wire shall be encased in rubber. Large trees and palms shall be banded and staked with Cypress poles or clean lumber and anchored securely. No nails are to be driven into trees or palms. Unless directed, staking and guying shall be left to the discretion of the Landscape Contractor, however the does not relieve the responsibility of re-setting or replacing trees which have blown over.

ESPALIERS PLANTS:

Only lead or plastic anchors with round head stainless steel screws of appropriate size shall be used by the Landscape Contractor to espalier plants. Plants shall be attached to the stainless steel screws with black plastic coated, solid copper, #4 electrical wire. The Landscape Architect will direct the shape of the espaliered plants.

PLANTING SOIL:

All planting pits to be backfilled with a planting mix of 50% sand, 25% humus, and 25% topsoil.

Gardenias and Azaleas shall have a plant pit 3 times the diameter of the root ball and shall be backfilled with a planting mix of 50% sand and 50% humus.

SOD:

Sod to be used-free St. Augustine Florikan solid sod, unless otherwise specified. Loosen subgrade by hand raking to a depth of 4" before laying sod. Sod to be laid with tight joints, not overlapping.

MULCH:

All plant beds to be mulched with a 2" layer of cypress mulch unless otherwise specified.

GUARANTEE:

All new plant materials shall be guaranteed from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. Palms are to be guaranteed for 6 months, other plants are to be guaranteed for 30 days. Replacement shall occur within two weeks of rejection and re-guaranteed from date of installation. Landscape Contractor shall repair damage to plants, lawns, utilities, etc. caused by plant replacement work at no additional cost. The Landscape Contractor shall not be responsible for damage caused by vandals, wind storms, flooding, or other acts of God beyond control.

MAINTENANCE:

Newly installed plants and plant beds are to be kept watered, used free and insect free until the Landscape Contract is complete.

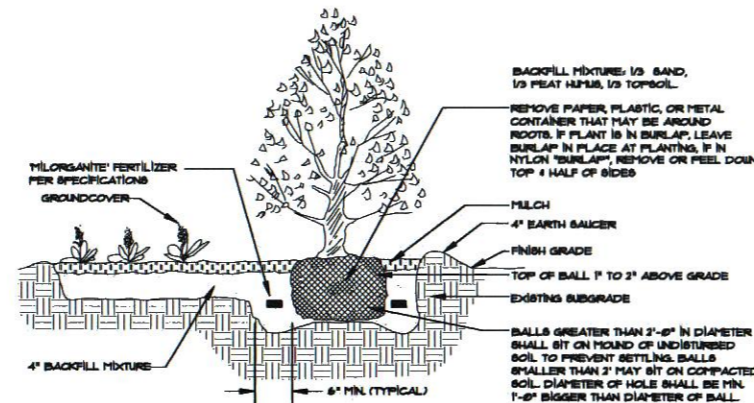
All Bebel Palms with tied heads are to be opened and trimmed 6-8 weeks after installation at no additional cost.

CLEANUP:

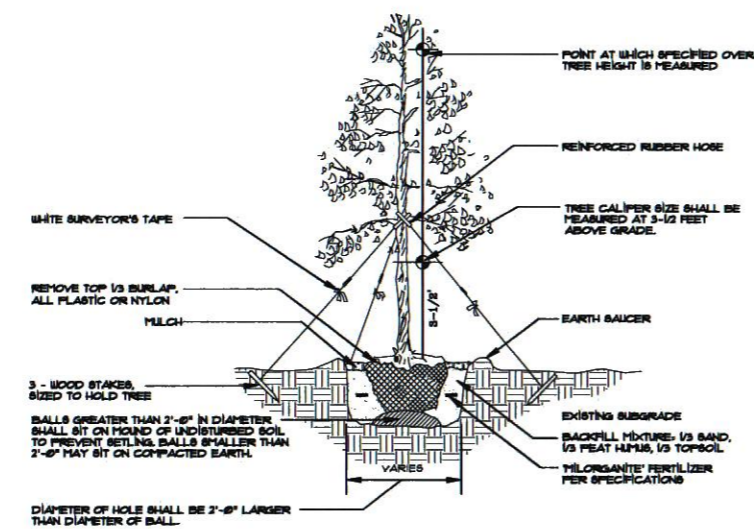
Landscape Contractor shall, at all times, keep job site clean and free from accumulation of waste material, debris, and rubbish.

PLANT LIST

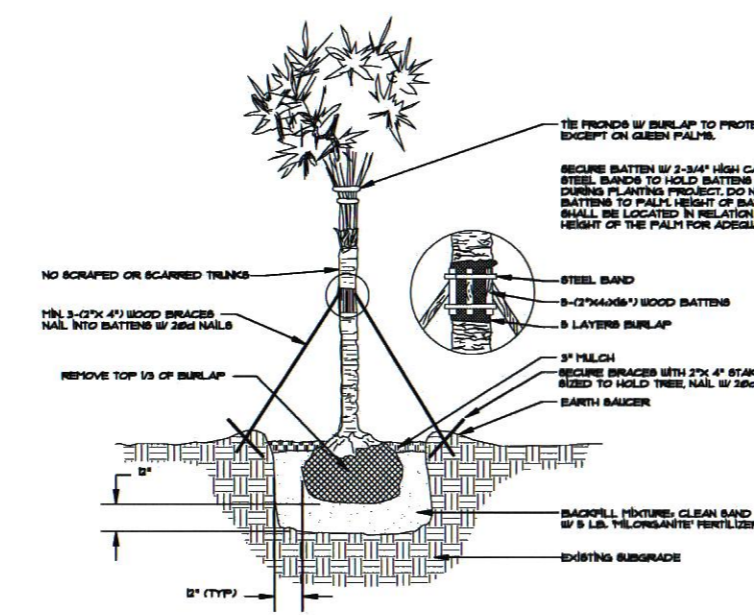
Key	Quantity	Botanical Name	Common Name	Specifications	Spacing
ABT 10"	6	Aechmea Blue Tango	Bromeliad	10" Pot. Full Pots. From Bulls Brom.	As Shown
ADE 10"	5	Aechmea 'Dean'	Bromeliad	10" Pot. Full Pots. From Bulls Brom.	As Shown
AIM 9"	8	Aicantarea imperialis	Bromeliad	9" pot. Full Plants from Bulls Bromeliads	As Shown
AOD 9"	5	Aicantarea odorata	Bromeliad - Silver	9" pot. Full Plants from Bulls Bromeliads	As Shown
AZE 11"	63	Alpinia zerumbet	Shell Ginger	#1, 3" x 3" Sp. Full Pots. Multi. Plants Per Pot	36" O.C.
ATC	2	Althea eclypsa	Cahune Palm	16" O.A. Specimen Full Canopy	As Shown
BA 12"	1	Bulnesia arborea	Yerauwood	12" x 8"-10" Sp., Specimen, Full Crown	As Shown
CCY 5"	3	Capparis cynophallophora	Jamaica Caper	#5, 5" x 4" Sp. Full Plants, Bush Form	As Shown
CRB 9"	181	Carissa macrocarpa 'Emerald Blanket'	Dwarf Carissa	#3, 6" x 4" Sp. Full Pots	18" O.C.
CH 11"	121	Cynacopalamus (caco) Horizontal	Horizontal Cocoplum	#1, 10" x 24" Sp., Full, Min. 4 - 15" Runners	24" O.C.
CO 14"	1	Coccoloba diversifolia	Pigeon Plum	14" x 1" Sp., 4" Gall. Full Crown, Well Branched	As Shown
COA 9"	4	Coccothrinax argentea	Florida Silver Palm	4"-5" O.A. Specimen, Full Canopy	As Shown
COA 8"	3	Coccothrinax argentea	Florida Silver Palm	8" O.A. Super Specimen Matched, Heavy Canopy	As Shown
COB	1	Coccothrinax borhidiana	Borhidiana Palm	3" O.A. Specimen Full Canopy	As Shown
CO C	1	Coccothrinax crinita	Old Man Palm	8" O.A. Super Specimen Field Grown Heavy Canopy	As Shown
CO 9"	2	Coccothrinax crinita	Old Man Palm	5" O.A. Specimen Full Canopy	As Shown
CN 30"	6	Cocos nucifera	Coconut Palm	30" Gill Thick Trks, Curved Trk, Full Head	As Shown
CSE 10"	1	Cordia sebestena	Orange Geiger Tree	#45, 10" x 5" Sp. Full, Well Branched	As Shown
COE #5	30	Crinum X augustum 'Queen Emma'	Queen Emma Crinum	#5, 4" x 4" Sp. Full, Multiple Plants Per Pot	As Shown
DIS 3"	1	Dugon spinulosum	Digon	#5, 3" x 3" Sp. Full Specimens	As Shown
EL	100	Erodia litoralis	Golden Beach Creeper	#1, 12" x 15" Sp. Full Pots	18" O.C.
EFO 9"	1	Eugenia foetida	Spanish Stopper	5'-6" x 4" Sp. Full Plants	30" O.C.
EGL	51	Evolvulus glomeratus	Blue Daze	#1, 12" Sp. Full Pots	15" O.C.
FGI 11"	10	Ficus microcarpa 'Green Island'	Green Island Ficus	#1, 24" x 24" Sp. Full Plants	30" O.C.
GSB	1	Guaiacum sanctum	Native Lignum Vitae	#5, 4" - 5" x 3" Sp. Full Plants with Character	As Shown
GLS 6"	1	Guaiacum sanctum	Native Lignum Vitae	6" x 5" Sp. Specimen with Character	As Shown
GLU 5"	1	Gynandhis lucida	Craibwood	5'-6" x 4" Sp., Bush Full Plants	As Shown
HDE	30	Helianthus debilis	Dune Sunflower	1.5m, 6" HL. Well Rooted and Leafed	12" O.C.
HF	40	Hoya pubicalyx	Wax Plant	#1, 15" x 15" Sp. Full Plants	24" O.C.
HIA 9"	30	Hymenocallis latifolia	Spider Lily	#3, 18" x 18" Sp. Full Pot	24" O.C.
LGS	243	Liriope muscari 'Super Green Giant'	Liriope	#1, 12" x 1" Sp. Full Pots	15" O.C.
MD 11"	38	Monstera deliciosa	Monstera	#1, 13" x 3" Sp. Full Plants	36" O.C.
MUC 10"	21	Muhlenbergia capillaris	Muhly Grass	#3, 2" x 2" Sp. Full Pots	36" O.C.
ODSP #1	63	Odontonema strictum 'Purple'	Firepike 'Purple'	#1, 3" x 3" Sp. Bush Full Plants	30" O.C.
PVO #5	6	Petreae volubilis	Purple Wreath Vine	#5, 6" Min. Ht., Full, Espalier to wall	As Shown
PHD 9"	64	Philodendron 'Barla Marx'	Barla Marx Philodendron	#3, 2" x 2" Sp. Full Plants	30" O.C.
PHG 11"	11	Philodendron giganteum	Giant Philodendron	#1, 3" x 3" Sp. Full Plants	48" O.C.
PROG 9"	31	Philodendron 'Role Congo'	Role Congo Philodendron	#3, 2" x 2" Sp. Full Plants	24" O.C.
PNE 11"	158	Psychotria nervosa	Wild Coffee	#1, 3" x 3" Sp. Full to Base	36" O.C.
RKU 11"	10	Racemachera 'Kuming'	Dwarf Tree Jasmine	3" x 2" Sp., Full, Bush Form	As Shown
REX 6"	14	Rhipis exelsa	Lady Palm	6" x 4" Sp., Shade Grown, Full	As Shown
SL 17"	2	Satantia lukusensis	Satantia Palm	12" O.A. Specimen Full Canopy	As Shown
SAR 11"	23	Schefflera arboricola	Green Schefflera	#1, 30" x 30" Sp. Min. Full, Hedge Plants	As Shown
SRB #5	30	Serenoa repens 'Sericeus'	Silver Saw Palmetto	#5, 3" x 3" Sp. Full Plants Silver	30" O.C.
TH 14"	1	Tabebuia heterophylla	Pink Trumpet Tree	12" x 8" Sp. Specimen, Full Crown, Evenly Branched	As Shown
TR 8"	6	Trinax radiata	Florida Thatch Palm	8" O.A. Full Head, Specimen Matched	As Shown
TRD 8"	4	Trinax radiata	Florida Thatch Palm	8" O.A. Double Trk. Spec. Gilly, Full Head, Specimen, Matching	As Shown
TFI 9"	30	Tripsacum floridana	Dwarf Fakahatchee Grass	#3, 2" x 2" Sp. Full Plants	30" O.C.
ZPU 11"	140	Zamia pumila	Coontia	#1, 24" x 24" Sp. Full	18" O.C.
Mulch	26	zz Mulch - Eco-mulch or Apprval Equal C.Y.	Qty. Determined by Contractor	2" Deep	
Path	15	zz Pathways-Crushed Coquina C.Y.		Compacted to 4" Deep	
Sod	496@	zz Sod, 9.5 St. Augustine Citra Blue'	Sod - Qty. for Budget	Standard, Well Matted, Verify Quantity	



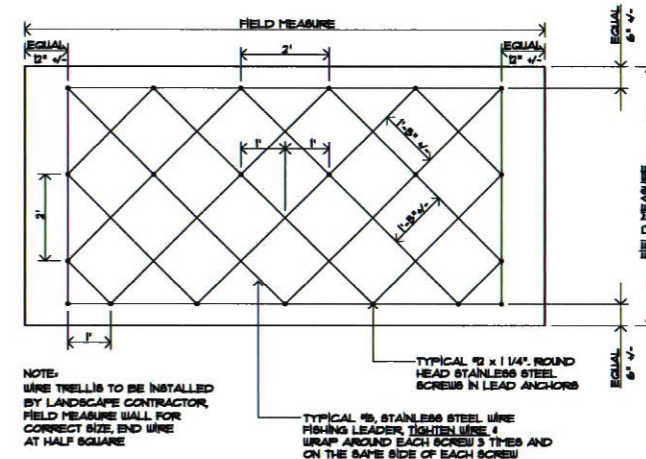
SHRUB & GROUND COVER PLANTING DETAIL



TREE PLANTING DETAIL



SABAL PALM PLANTING DETAIL



Wire Trellis Detail

scale: 1/2" = 1'-0"

INNOCENTI & LABEL
Landscape Architects
9566 NE 6th Avenue
P.O. Box 772-848-8850, Fax 772-848-8418

DATE: 06.06.25
REVISION: 1
SCALE: 1" = 1'-0"

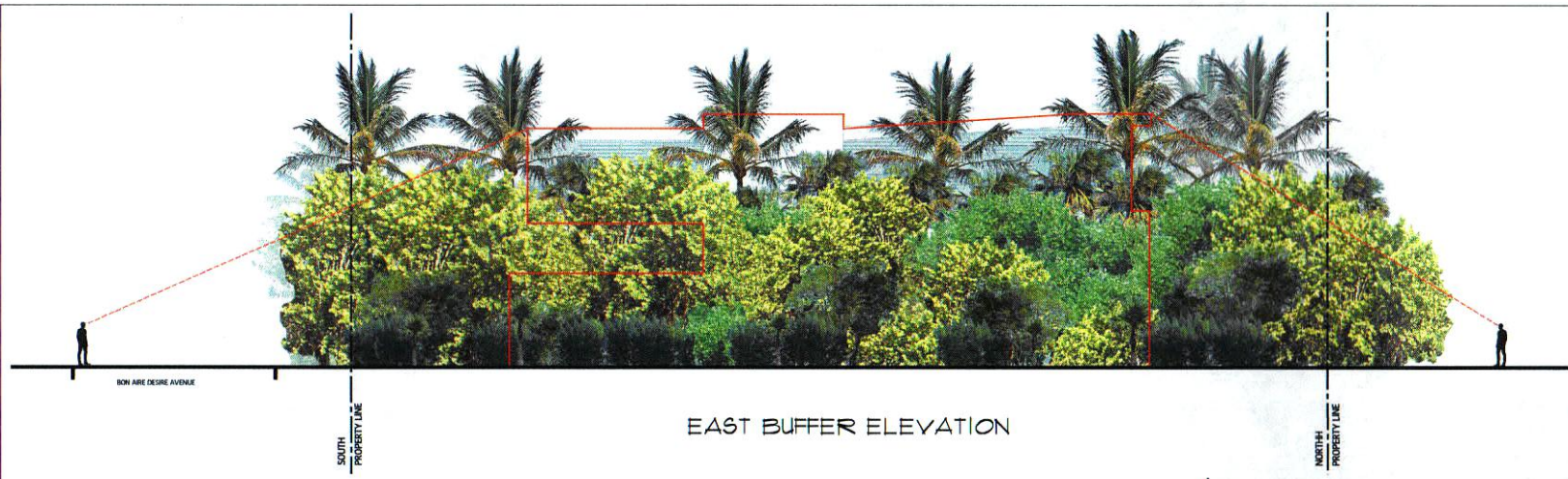
DESIGNED BY: RJR
CHECKED BY: RJR
DRAWN BY: CTR/RJR

LANDSCAPE SPECIFICATIONS
for the
BELL RESIDENCE
1 BON AIRE DESIRE AVE., HOBE SOUND, FL

DRAWING NUMBER:
L4.0
OF 4

BOA/IR SUBMITTAL Page 83 of 229

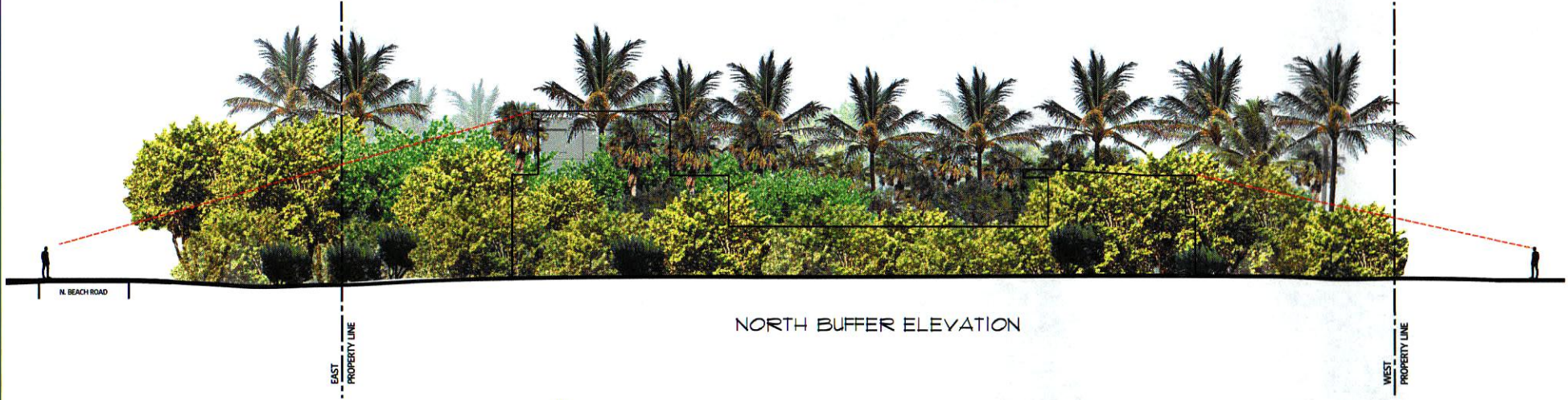
Digitally signed
By Robert G. Krebs, Jr.
Professional Landscape Architect
FL License LA 1378
Date: 05.05.2025



EAST BUFFER ELEVATION



WEST BUFFER ELEVATION



NORTH BUFFER ELEVATION



SOUTH BUFFER ELEVATION

Digitally signed
 By Robert G. Krebs, Jr.
 Professional Landscape Architect
 FL License LA 1378
 Date: 05.05.2025
Robert G. Krebs, Jr.

DRAWN BY: CTE/RJR
 DESIGNED BY: RJR
 CHECKED BY: RJR

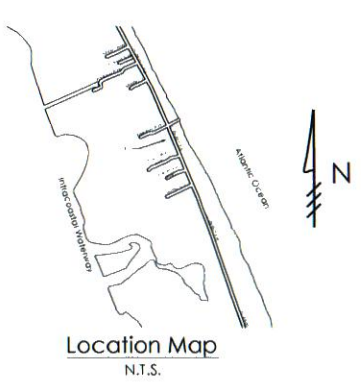
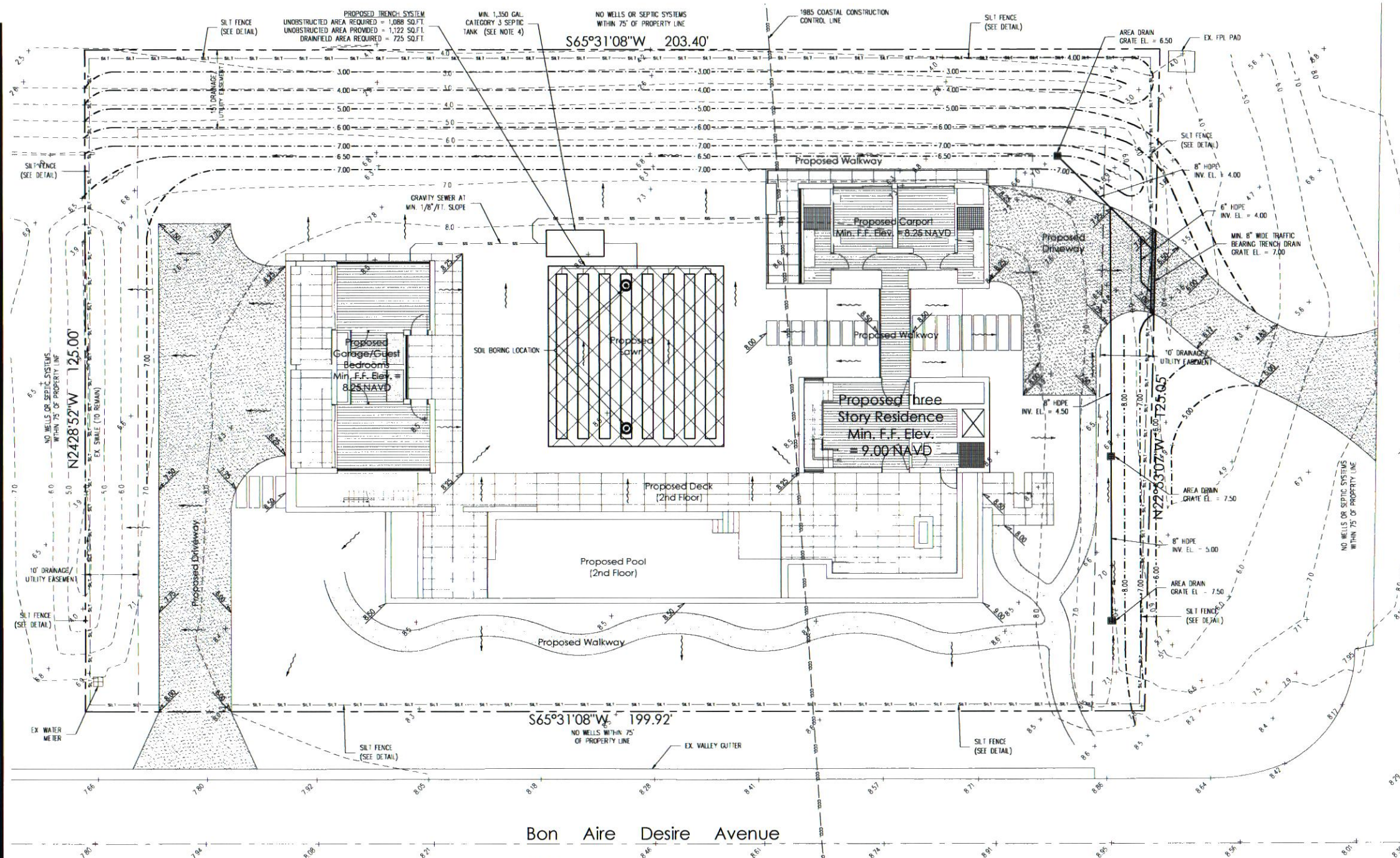
DATE: 05.05.25
 REVISIONS:
 SCALE: N.T.S.

Prepared by the office of
INNOCENTI & WEBER
 HOBBSOUND
 LANDSCAPE ARCHITECTS
 9500 SE Olive Ave., Suite 200, Ft. Lauderdale, FL 33308
 Phone: 754-560-8000 Fax: 754-560-0410

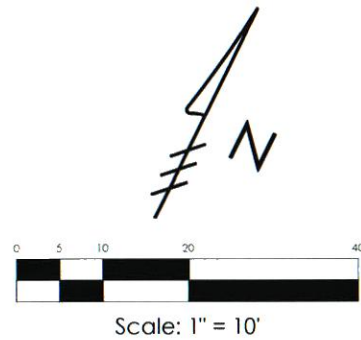
LANDSCAPE BUFFER ELEVATIONS
 for the
BELL RESIDENCE
 1 BON AIRE DESIRE AVE., HOBE SOUND, FL

DRAWING NUMBER:
EL1.0
 OF 1

BOA/IR SUBMITTAL



- Legend**
- 5.3 + EXISTING ELEVATION PER R.L. VAUGHT & ASSOC. (NAVD-88)
 - 7.0 - EXISTING ELEVATION CONTOUR PER R.L. VAUGHT & ASSOC. (NAVD-88)
 - 7.00 PROPOSED ELEVATION (NAVD-88)
 - 7.00 - PROPOSED ELEVATION CONTOUR (NAVD-88)
 - ~ FLOW DIRECTION
 - [Cross-hatched] SEPTIC SYSTEM UNOBSTRUCTED AREA
 - - - GRAVITY SEWER AT MIN. 1/8\"/>
 - - - 2\"/>
 - - - WATER SERVICE LOCATION
 - ⊙ SOIL BORING LOCATION

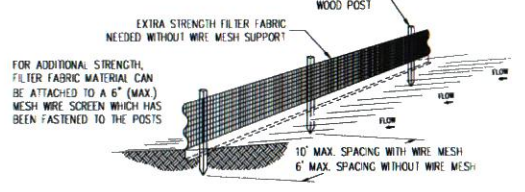


Drainage System Notes:

- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- 3) Contractor is responsible for installing and maintaining erosion control measures during construction.

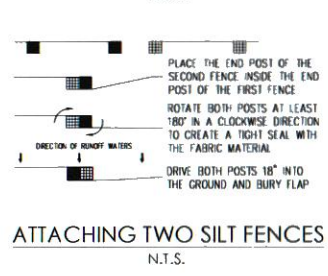
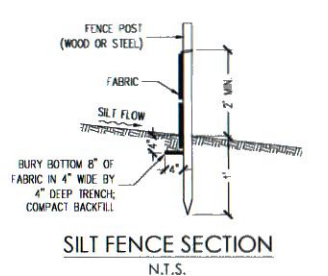
Septic System Notes:

- 1) Removal of any existing septic system and installation of any proposed septic system shall be in accordance with the current specifications and standards of Chapter 64E-6 of the Florida Administrative Code and Chapter 381 of the Florida Statutes.
- 2) Fill material used for septic system installation shall meet the requirements of the current specifications and standards of Chapter 64E-6 of the Florida Administrative Code and Chapter 381 of the Florida Statutes.
- 3) Septic system drainfield area shall be sodded immediately after the drainfield has been covered.
- 4) Contractor to determine final amount of cover over septic tanks prior to tank installation. Final cover of 18\"/>



Notes:

- 1) The height of a silt fence shall not exceed 36\"/>
- 2) Filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
- 3) Posts shall be spaced a maximum of 10' apart at the barrier location and driven securely into the ground to a minimum of 12\"/>
- 4) A trench shall be excavated approximately 4' wide and 4' deep along the line of each and outside from the bottom.
- 5) When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the post using heavy duty wire staples of at least 1\"/>
- 6) The standard strength filter fabric shall be stapled or wired to the fence, and 8\"/>
- 7) The trench shall be backfilled and the roll compacted over the filter fabric.



Sewage Disposal Calculations

A. Project Information

Net usable lot size: 0.58 ac
 Total proposed air-conditioned space: 5,026 sq ft
 Total proposed number of bedrooms: 3 bedrooms
 Type of drainfield configuration proposed: Trench
 Estimated soil loading rate: 0.8 gpa/sq ft

B. Estimated Daily Flow Calculations

The first 3,300 sq ft, of air-conditioned space is equivalent to 4 bedrooms with each bedroom generating an estimated 100 gpd. The remaining 1,726 sq ft of air-conditioned space is converted to equivalent bedrooms using the following formula:

1 equiv. bedroom = 750 sq ft of remaining air-conditioned space
 1,726 sq ft / 750 sq ft / equiv. bedroom = 2.30 equiv. bedrooms
 Use 3 equivalent bedroom at 60 gpd/bedroom = 180 gpd

Total estimate daily flow = 400 gpd + 180 gpd = 580 gpd

Stormwater Retention Calculations

A. Site Information

Total Property Area = 1,046.19 sq ft (2.40 ac)
 Proposed Drainage Basin Area = 57.354 sq ft (1.32 ac)
 Basin Impervious Plan Area (proposed residence, driveways, existing pool house, driveway, etc.) = 13,972 sq ft
 Remaining Basin Pervious Plan Area = 43,362 sq ft

B. Estimated Stormwater Retention Volume

1. Site Plan Characteristics
 - Total site area: 25,207 sq ft (0.579 ac)
 - Impervious plan area: 9,991 sq ft
 - Remaining pervious surface area: 15,216 sq ft
2. Rainfall and Soil Storage Data

The Bon Aire Desire subdivision was completed in 2025. The subdivision's engineer obtained an Environmental Resource Permit from So. Brevard Water Management District which includes a drainage system for the entire subdivision that provides stormwater retention for the 22-year - 3 day storm event which exceeds the town's requirement of retention of the 5 year - 1 day storm event.

Stormwater retention for the subdivision is provided in a dry retention area between Lots 3 & 4 at the west end of Bon Aire Desire Ave. as well as swales along the back sides and between the individual lots. The proposed grading for Lot 1, (subject project), has been developed to maintain the permitted swales and lot grading.



GRUBER CONSULTING ENGINEERS

2475 Mercer Avenue Suite 300
 West Palm Beach, FL 33401
 Phone: 561-312-2041
 Email: office@grubereng.com

48 HOURS BEFORE DIGGING, CALL 1-800-432-4770 SUNSHINE STATE ONE CALL OF FLORIDA, INC.
 Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.

Conceptual Site Grading & Septic System Plan For:
PROPOSED RESIDENCE
 1 Bon Aire Desire Avenue
 Jupiter Island, Florida

PROJECT INFORMATION

Project No.	2025-0017
Issue Date	03/20/2025
Scale	1" = 10'

REVISIONS:

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CHAD M. GRUBER
 FLORIDA P.E. No. 57466
 Digitally signed by Chad M. Gruber
 Date: 2025.03.20 13:53:49 -0400

The design for this project was prepared by the undersigned engineer or architect or both, and the undersigned engineer or architect or both is a duly licensed professional engineer or architect in the State of Florida.

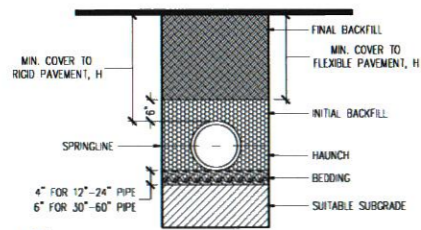
SHEET NUMBER:

C-1

Plan Background from Hardscape Plan by Innocenti & Webel Received 3/6/25
 © 2025 Gruber Consulting Engineers, Inc.

General Notes & Specifications:

- The contractor shall check all drawings furnished immediately upon their receipt and shall promptly notify the engineer in writing of any discrepancies. Anything shown on the drawings and not mentioned in the specifications or mentioned in the specifications and not shown on the drawings, shall be of like effect as if shown or mentioned in both.
- Figure marked on drawings shall, in general, be followed in preference to scale measurements. Large scale drawings shall, in general, govern small scale drawings. The contractor shall compare all drawings and verify the figures before laying out the work and will be responsible for any errors which might have been avoided thereby. When dimensions on the drawings are affected by the type of equipment selected, the contractor shall adjust such dimensions as conditions may require.
- If the contractor, in the course of the work, finds any discrepancy between the drawings and the physical conditions of the locality, or any error or omission in the drawings or in the specification or instructions, or discovers unforeseen underground or above ground conditions or any other unexpected conditions requiring additional work by the contractor, it shall be his duty to immediately inform the engineer, in writing, and the engineer shall promptly check the accuracy of the information. Any work done after such discovery, until any necessary changes are authorized, will be done at the contractor's risk.
- If any part of the contractor's work depends, for proper execution or results, upon the work of any other contractor, the contractor shall inspect and measure work already in place and shall at once report to the engineer any discrepancies between the executed work and the drawings.
- The engineer or his authorized representative shall have free access to the work of the contractor at any time for the purpose of inspection. The contractor shall furnish the facilities to determine, as best as can reasonably be done, the nature and quality of the work performed. Such assistance of the contractor shall, if necessary, include the uncovering, testing or removal of portions of the finished work.
- All debris shall be removed from the area and legally disposed. Debris may be burned upon obtaining proper burning permit but any unburned remains are to be disposed of as directed by the owner or his representatives.
- The contractor shall be responsible for protecting all buildings, structures, and utilities that are underground, above ground, or on the surface against contractor operations that may be hazardous to said facilities and shall hold and save the owner harmless against all claims of damage. The contractor shall, by repair or replacement, return to equal or better condition all pavement, sidewalk, lawns, utilities and other items damaged by this construction activity.
- The contractor shall be responsible for obtaining all required tests and shall submit reports by an independent testing laboratory approved by the engineer. Should any test fail to meet specification as shown herein, the contractor shall, at his expense, correct all deficient work and submit laboratory test results showing compliance with these specifications.
- All work shall be performed in a workmanlike manner and shall conform with all applicable City, County, State and Federal regulations and/or Codes. The contractor shall obtain all permits and licenses required to begin work.
- The contractor shall visually examine the construction site to determine the amount of clearing and existing facilities to be replaced, removed and/or relocated which may be required in order to complete the work.
- The contractor shall give the engineer 48 hours notice prior to requesting required inspections and shall supply all equipment necessary to properly test and inspect the completed work.
- The contractor shall guarantee all work and materials for a period of one year from the date of project acceptance, during which all faulty construction and/or materials shall be corrected at the contractor's expense.
- All work shall be accomplished in a safe and workmanlike manner. The contractor shall comply with all applicable laws and regulations of any public and/or private body having jurisdiction for the safety of persons or property or to protect them from damage, injury or loss and shall erect and maintain all necessary safeguards for such safety and protection. The responsibility for project safety rests solely and specifically with the contractor. Local agencies and their employees and agents are specifically indemnified and held harmless from any actions of the contractor relating to the safety procedures implemented during construction and from any claims brought by any persons regarding safety, personal injury or property damage.
- Minimum Construction Inspection Checkpoints: 1) Prior to any major deviation from the approved plans 2) Prior to backfilling of any trenches containing hydraulic conduits so that jointing may be mutually approved 3) Upon completion of subgrade compaction 4) At the time of delivery of base material 5) Upon completion of the base and prior to priming 6) Immediately prior to and upon the first and second applications of the plant mixed wearing course 7) Upon completion of construction, a final inspection will be made with project representative.
- All unsuitable material such as muck, soil and debris shall be removed from the limits of construction and legally disposed. At the engineer's direction, muck may be stockpiled on the site at designated locations for use in landscaping.
- All material and equipment to be furnished and/or installed by the contractor for this project shall be guaranteed for a period of one year from the date of final acceptance thereof, against defective materials, design and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials during the guarantee period, the affected part parts or materials shall be replaced promptly with new parts or materials by the contractor at no expense to the owner. In the event the contractor fails to make the necessary replacement or repairs within seven (7) days after notification by the owner, the owner may accomplish the work at the expense of the contractor.
- The contractor shall complete "as-built" information relative to pipe lengths, materials and any deviation from plans and provide a copy of such to the owner and engineer for final acceptance of the contractor's work.

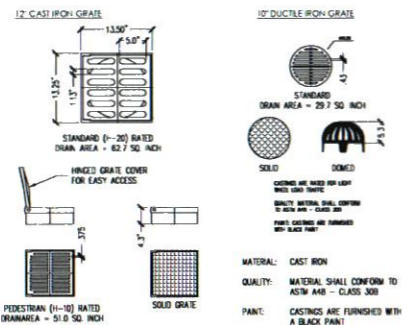


NOTES:

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- SUITABLE SUBGRADE: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 4"-24" PIPE, 6" FOR 30"-60" PIPE.
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOODING. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 16" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

TRENCH AND BACKFILL DETAIL

N.T.S.

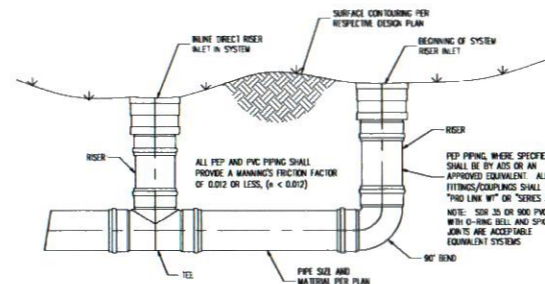


NOTE:

TYPE OF GRATES & INLETS TO BE COORDINATED WITH ENGINEER & LANDSCAPE ARCHITECT.
PIPE MATERIAL MAY BE PVC, ADS, NOS, OR APPROVED EQUIVALENT.

AREA DRAIN DETAIL

N.T.S.



DIRECT RISER INLET: TYPICAL INSTALLATION

N.T.S.

Stormwater Maintenance Plan/Program:

The stormwater management system designed for this project utilizes surface drains, storm sewer piping and exfiltration trench to meet the requirements of the Town of Jupiter Island LDR. These items are designed to operate by gravity however maintenance is required to ensure proper function. Periodic, ongoing inspections of various portions of the system shall be done at the following intervals.

- Monthly inspection: Visual inspection of all surface drains and removal of any debris encountered.
- Semi-annual inspection: Visual inspection of all Nyloplast basin sumps and removal of all sediment and debris encountered.
- Every five (5) years: Every five years, all storm piping shall be video inspected to ensure that storm piping is free of sediment and root intrusion. Any sediment and/or root intrusion encountered shall be removed by jetting with vacuum extraction of any foreign material. Any section of storm piping found to have structurally failed will be excavated and replaced.



GRUBER CONSULTING ENGINEERS

1475 Mercer Avenue, Suite 202
West Palm Beach, FL 33411
561.311.2041
office@gruberengr.com

48 HOURS BEFORE DIGGING, CALL 1-800-432-4770 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.

Drainage Specifications & Details For:
PROPOSED RESIDENCE
1 Bon Aire Desire Avenue
Jupiter Island, Florida

PROJECT INFORMATION:

Project No.	2025-0017
Issue Date	03/20/2025
Scale	As Shown

REVISIONS:

1	
2	
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12	

CHAD M. GRUBER
FLORIDA P.E. NO. 57466
Digitally signed by Chad M Gruber
Date: 2025.03.20 13:53:12 -04'00'

Small text regarding digital signature verification and software used.

SHEET NUMBER:

C-2

To the Members of the Jupiter Island Building Review Committee:

We, the undersigned neighbors of 1 Bon Aire, wish to express our full support for the proposed new residence designed for Mr. Bradon Bell.

We have reviewed the plans and are confident that the project respects the privacy, scale, and character of the surrounding properties. The design is architecturally thoughtful and consistent with the high standards expected on Jupiter Island.

In addition, we support the applicant's request for authorization to raise the project's initial measuring point to accommodate current state requirements for flood resilience and building height. We understand that this adjustment is both reasonable and necessary to ensure long-term safety and compliance with state environmental regulations.

We appreciate the applicant's sensitivity to the site and neighboring homes, and we encourage the committee to approve this application.

Sincerely,

Debbie Textor

Date: October 31,2025

VAN RENSSELAER
133 NORTH BEACH ROAD, HOBE SOUND FL 334355

TOWN OF JUPITER ISLAND
BUILDING DEPARTMENT

Date Received: 10/27/25

October 27, 2025

Jupiter Island Building Review Committee
Town Hall
2 Bridge Road
Hobe Sound FL

To the Members of the Jupiter Island Building Review Committee:



We, the undersigned neighbors of 1 Bon Aire, wish to express our full support for the proposed new residence designed for Mr. Bradon Bell.

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We appreciate the applicant's sensitivity to the site and neighboring homes, and we encourage the committee to approve this application.

Sincerely,



Sallie & Alex Van Rensselaer

TOWN OF JUPITER ISLAND
BUILDING DEPARTMENT

Date Received: 10/30/25

To the Members of the Jupiter Island Building Review Committee:

We, the undersigned neighbors of 1 Bon Aire, wish to express our full support for the proposed new residence designed for Mr. Bradon Bell.

We have reviewed the plans and are confident that the project respects the privacy, scale, and character of the surrounding properties. The design is architecturally thoughtful and consistent with the high standards expected on Jupiter Island.

In addition, we support the applicant's request for authorization to raise the project's initial measuring point to accommodate current state requirements for flood resilience and building height. We understand that this adjustment is both reasonable and necessary to ensure long-term safety and compliance with state environmental regulations.

We appreciate the applicant's sensitivity to the site and neighboring homes, and we encourage the committee to approve this application.

Sincerely,

Gabriel Georgescu

51 North Beach

Hobe Sound, FL, 33455



Date: 10/28/2025

TOWN OF JUPITER ISLAND
BUILDING DEPARTMENT

To the Members of the Jupiter Island Building Review Committee

Date Received: 10/30/25

We, the undersigned neighbors of 1 Bon Aire, wish to express our full support for the proposed new residence designed for Mr. Bradon Bell.

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We appreciate the applicant's sensitivity to the site and neighboring homes, and we encourage the committee to approve this application.

Sincerely,



(Neighbor Names / Addresses)

106 North Beach Rd
Hobe Sound, FL 33455

Date:

10/28/25

TOWN OF JUPITER ISLAND
BUILDING DEPARTMENT

Date Received: 10/30/25

To the Members of the Jupiter Island Building Review Committee:

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We appreciate the applicant's sensitivity to the site and neighboring homes, and we encourage the committee to approve this application.

Sincerely,

Emily & Vanessa Henderson

[Neighbor Names / Addresses]

144 N. BEACH RD

Date:

10/25/25

TOWN OF JUPITER ISLAND
BUILDING DEPARTMENT

To the Members of the Jupiter Island Building Review Committee: Date Received: 10/30/25

We, the undersigned neighbors of 1 Bon Aire, wish to express our full support for the proposed new residence designed for Mr. Bradon Bell.

We have reviewed the plans and are confident that the project respects the privacy, scale, and character of the surrounding properties. The design is architecturally thoughtful and consistent with the high standards expected on Jupiter Island.

In addition, we support the applicant's request for authorization to raise the project's initial measuring point to accommodate current state requirements for flood resilience and building height. We understand that this adjustment is both reasonable and necessary to ensure long-term safety and compliance with state environmental regulations.

We appreciate the applicant's sensitivity to the site and neighboring homes, and we encourage the committee to approve this application.

Sincerely,

Scott,

We support this project. We approve the letter below but cannot sign it (on our phone) because we are en route.

Sandy Boothby
7 Harmony Lane

Thursday, October 23, 2025 at 10:48:44 Eastern Daylight Time

Subject: FW: note to neighbors on 1 Bon Aire Desire Avenue
Date: Thursday, October 23, 2025 at 10:48:41 AM Eastern Daylight Time
From: scott@huum.com

**TOWN OF JUPITER ISLAND
BUILDING DEPARTMENT**

Date Received: 10/30/25

**BON AIRE
OWNER**

From: Ted Hamm <ted@darko.com>
Date: Tuesday, October 21, 2025 at 2:24 PM
To: Scott Hughes <scott@huum.com>
Subject: Re: note to neighbors on 1 Bon Aire Desire Avenue

I fully support this application. I am available for any additional support.

Dear Neighbors,

I am reaching out to ask for your support of Bradon Bell's application to permit construction of his proposed residence at 1 Bon Aire Desire Avenue. The application will be reviewed by the newly formed Development Review Board, whose charge is to preserve and enhance the architectural and environmental character of our island. Securing the confidence and support of fellow homeowners is an important part of that process.

Mr. Bell's proposal represents a thoughtful and contextually appropriate addition to the neighborhood. The attached architectural and landscape plans illustrate how the home will be sensitively buffered from the street and adjoining properties. The landscape design, by Richard Rutledge of Innocenti & Webel, maintains the high

TOWN OF JUPITER ISLAND
BUILDING DEPARTMENT

To the Members of the Jupiter Island Building Review Committee: **Date Received:** 10/30/25

We, the undersigned neighbors of 1 Bon Aire, wish to express our full support for the proposed new residence designed for Mr. Bradon Bell.

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We appreciate the applicant's sensitivity to the site and neighboring homes, and we encourage the committee to approve this application.

Sincerely,

CAROL RUTHERFORD
Date: 10/21/25
29 S. BEACH RD

TOWN OF JUPITER ISLAND
BUILDING DEPARTMENT

Date Received: 10/30/25

To the Members of the Jupiter Island Building Review Committee:

We, the undersigned neighbors of 1 Bon Aire, wish to express our full support for the proposed new residence designed for Mr. Bradon Bell.

We have reviewed the plans and are confident that the project respects the privacy, scale, and character of the surrounding properties. The design is architecturally thoughtful and consistent with the high standards expected on Jupiter Island.

In addition, we support the applicant's request for authorization to raise the project's initial measuring point to accommodate current state requirements for flood resilience and building height. We understand that this adjustment is both reasonable and necessary to ensure long-term safety and compliance with state environmental regulations.

We appreciate the applicant's sensitivity to the site and neighboring homes, and we encourage the committee to approve this application.

Sincerely,

[Neighbor Names / Addresses]

Date: 10/21/25

Stephen & Whitney Lessing
25 N. Beach Road
Hobe Sound, FL 33455

Stephen M. Lessing

Whitney Lessing

TOWN OF JUPITER ISLAND
BUILDING DEPARTMENT

Date Received: 10/30/25

To the Members of the Jupiter Island Building Review Committee:

I, the undersigned neighbor of 1 Bon Aire, wish to express my full support for the proposed new residence designed for Mr. Bradon Bell.

I reviewed the plans and am confident that the project respects the privacy, scale, and character of the surrounding properties. The design is architecturally thoughtful and consistent with the high standards expected on Jupiter Island.

In addition, I support the applicant's request for authorization to raise the project's initial measuring point to accommodate current state requirements for flood resilience and building height. I understand that this adjustment is both reasonable and necessary to ensure long-term safety and compliance with state environmental regulations.

I appreciate the applicant's sensitivity to the site and neighboring homes and encourage the committee to approve this application.

Sincerely,



Tommy Reiser
12 N Beach Rd



NOTICE OF PUBLIC HEARING
TO CITIZENS OF THE TOWN
OF JUPITER ISLAND, FLORIDA

DEVELOPMENT REVIEW BOARD

A Public Hearing/Meeting will be held at the Jupiter Island Town Hall, 2 Bridge Rd, Hobe Sound, FL on **Thursday, November 6, 2025 at 9:00 am** for the purpose of considering the following application:

126 South Beach Rd – D-25 Island Core Residential District

This is the application of Robert and Mary McCormack, represented by Jared Gaylord, Esq. of Marc R. Gaylord, P.A., requesting the following:

A Site plan approval for:

Addition of a small closet space on the Northwest side of the existing master suite and a new covered entry. This 7'-7'5" x 12' closet and new covered entry will result in the addition of 142 square feet, exceeding the permitted floor area for this property by 110 square feet.

In accordance with Article X, Division V, Section 5.00, Standards for Approval of Variances, the applicant is requesting a variance to Article III, Division V, Section 5.02(F)(1) for Permitted Floor Area.

Plans are available for inspection at the Building Department at Town Hall Monday through Friday, 9:00 a.m. to 3:30 p.m.

The Development Review Board meeting may be viewed live, or any time after the meeting, via the Town's website: www.townofjupiterisland.com.

STATE MANDATED STATEMENT:

If a person decides to appeal any decision made by the board, agency, committee, or commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town prior to the meeting. Please contact the Town at Town Hall, 2 Bridge Road, Hobe Sound, FL 33455, telephone (772) 545-0100



**TOWN OF JUPITER ISLAND
Development Review Board
Meeting Date: November 6, 2025**

STAFF REPORT

To: Chair and Members of the Development Review Board
Copy: Robert Garlo, Town Manager and Tom Baird, Town Attorney
From: Catherine Harding, Building, Planning, and Zoning Director
RE: 126 South Beach, **Hardship Variance**

Note:

This application for a variance was submitted on June 6, 2025, to be heard at The Board of Adjustment Meeting on July 31, 2025. The BOA could not get a quorum for several months after the submittal and a hearing could not be held. The Development Review Board was subsequently established to hear applications for variances and site plan review. Their first meeting could not be set until November 6, 2025.

If a variance is approved by the Development Review Board, no site plan review will be required. A building permit can be issued for the proposed work with Administrative Approval.

Owners:

Robert C. McCormack and Mary L. McCormack

Agent:

The owners are represented by Jared Gaylord, Esq. of Marc R. Gaylord, P.A.

Property Description:

D-25 Island Core Residential District

The property was developed in 1988 with a one-story residence and pool.

Request:

The owners are requesting a Hardship Variance for the addition of a closet and new covered entry totaling 142 sq. ft., exceeding the allowable floor area by 110 sq. ft.

Planning and Zoning Analysis:

The Land Development Regulations have been analyzed in the attached Site Data Chart. The required side yard setbacks are 25 ft. The residence has a pre-existing, non-conforming north side yard setback of 21.2 ft., and pre-existing non-conforming south side yard setbacks of 23.3 and 20.4 ft. The front yard setback is 29.8 ft. a slight difference from the 30 ft. required.

The interpretation of Ordinance No. 393 and Ordinance No. 405 was raised by the applicant. To be clear, Ordinance No. 393 was never intended to remove non-living space (garages) from the definition of Floor Area and at no time was that interpretation used by the Building Department. Ordinance No. 405 clarified Ordinance 393 to re-affirm the Land Development Regulations, that *floor area includes all areas on all floors of all buildings.*

Requirement for review by the Development Review Board:

Article X, Division 5. Variances, Section 5.00, Standards for Approval of Variances is attached.

The applicant has addressed the questions in this section as required. Those answers are attached to this application for the Board's review to determine if the applicant has met the standards of approval.

Cah/10/16/25

Sec. 5.00. Standards for approval of variances.

Except as provided in article V, section 5.09 (variances related to subdivision standards), the board of adjustment shall grant a variance from the terms of these land development regulations if the applicant demonstrates that:

- A. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district; and
- B. The special conditions and circumstances do not result from the actions of the applicant; and
- C. The variance requested will not confer on the applicant any special privilege that is denied by these land development regulations to other lands, buildings or structures in the same zoning district; and
- D. Literal interpretation of the provisions of these land development regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of these land development regulations and would work unnecessary and undue hardship on the applicant; and
- E. The variance is the minimum variance that will make possible the reasonable use of the land, building or structure; and
- F. The variance will be in harmony with the general intent and purpose of these land development regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and
- G. The variance does not authorize a use of land that is prohibited in the underlying zoning district.

Sec. 5.01. Factors to be excluded from consideration.

The following shall not be considered by the board of adjustment in its evaluation of an application for a variance:

- A. Any nonconforming use or structures in any zoning district; and
- B. Any permitted use of lands, structures or buildings in other zoning districts.

Sec. 5.02. Duration of approval.

If the board of adjustment does not specify otherwise, development pursuant to a variance must commence within 12 months of the date of the approval and shall be completed within 12 months of the date of commencement. If development does not commence within the required period, the variance approval shall expire.



**Town of Jupiter Island
Development Application
For
Board of Adjustment
And/Or
Impact Review Committee**



The undersigned owner(s) of the following described property hereby petition this committee to make a determination of the following:

NATURE OF THE REQUEST: (Please Print or Type)

BOARD OF ADJUSTMENT

Variance: Article: III Division: V Section: 5.02(F)(1) - Permitted Floor Area
 Variance: Article: X Division: V Section: 5.00

IMPACT REVIEW COMMITTEE

Development and/or Demolition (Circle all that apply)

FEE: \$1,000 per Request (Please make check payable to the Town of Jupiter Island)

PROPERTY OWNER, as shown in the official County Records (please attach current tax bill & deed)

Name: Robert C. McCormack and Mary L. McCormack
 Mailing Address: 228 South Beach Road
Street Address
Hobe Sound FL 33455
City State Zip
 Phone #: _____ Email: _____

AGENT (If Applicable, notarized power of attorney must be attached)

Name: Jared Gaylord, Esq. of Marc R. Gaylord, P.A.
 Mailing Address: 12000 SE Dixie Highway
Street Address
Hobe Sound FL 33455
City State Zip
 Phone #: 772-545-7740 Email: jared@marcgaylordlaw.com

DESCRIPTION OF PROPERTY:

Street Address: 126 South Beach Road, Hobe Sound, FL 33455
 Tax Parcel Number: 35-38-42-009-104-00020-5 Zoning: D-25 Island Core Residential District
 Legal/General Description Lots 3 and the south 1/2 of Lot 2, Block 104, The Island Beach Revised Plat No. 2, according to the plat thereof, recorded in Plat Book 2, Page 44, of the Public Records of Martin County, Florida

EXPLANATION OF REQUEST (describe what you are trying to accomplish):

Addition of a small closet space on the northwest side of the existing master suite and a new covered entry. This 7'-7.5" x 12' closet and new covered entry results in the addition of 142 square feet, exceeding the permitted floor area for this property by 110 square feet. My clients purchased this property in March 2024 - prior to the adoption of Ordinance 393 and Ordinance 405 which made this renovation project non-conforming.

AFFECTED ARTICLE AND SECTION (list the wording of the section as it applies):

Article III, Division V, Section 5.02(F)(1) - Permitted Floor Area

Article X, Division V, Section 5.00 - Variances

For specific wording, please see enclosed supplement.

HARDSHIP STATEMENT, IF VARIANCE IS REQUESTED:

In seeking this variance, I contend that the following hardship would result if the ordinance provisions were strictly enforced and my hardship was denied:

My clients would be denied property rights that existed when they purchased the property and when they began developing renovation plans with their architect and contractor. As such, the McCormack family's reasonable, investment backed expectation of adding a small closet and covered entry would be denied.

Information as contained within this application MUST be provided and accepted by the Town of Jupiter Island in order for this project to be considered. Additional information as required by the administrative official or as attached by the applicant constitutes a part of this application. The administrative official reserves the right to reject any application which is improperly filled out or incomplete.

Jared Gaylord, Esq., attorney-in-fact for Robert C. McCormack and

BY: Mary L. McCormack

Print name

Signature of Owner or Agent—REQUIRED

Note: Public Notification

Notice of public hearing is posted as required by law and mailed to residents within one thousand feet (1320') of the property. The notice explains the specific nature of the request, as well as the time, date and location of the public hearing. Any interested party is invited to attend the meeting and may present testimony or written arguments.

**McCormack Family
126 SOUTH BEACH ROAD
SUPPLEMENT AND ADDENDUM TO APPLICATION TO THE BOARD OF ADJUSTMENT**

Affected Article and Section:

Article III, Division V, Section 5.02 (F)(1) Permitted Floor Area.

F. *Permitted floor area.* The maximum floor area permitted on any lot within this district shall not exceed:

1. If the lot area is less than 37,500 square: 3,750 square feet or 20 percent of lot area, whichever is greater.

RELIEF SOUGHT

Article X, Division V, Section 5.00 Standards for Approval of Variances.

Except as provided in Article V, Section 5.09 (variances related to subdivision standards), the Board of Adjustment shall grant a variance from the terms of these Land Development Regulations if the applicant demonstrates that:

A. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district; and

B. The special conditions and circumstances do not result from the actions of the applicant; and

C. The variance requested will not confer on the applicant any special privilege that is denied by these Land Development Regulations to other lands, buildings or structures in the same zoning district; and

D. Literal interpretation of the provisions of these Land Development Regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of these Land Development Regulations and would work unnecessary and undue hardship on the applicant; and

E. The variance is the minimum variance that will make possible the reasonable use of the land, building or structure; and

F. The variance will be in harmony with the general intent and purpose of these Land Development Regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and

G. The variance does not authorize a use of land that is prohibited in the underlying zoning district.

LIMITED POWER OF ATTORNEY

KNOWN ALL MEN by these presents, that I, **MARY L. MCCORMACK**, the undersigned hereby authorize, **JARED GAYLORD, ESQ.** to serve as her Attorney-in-Fact, to execute any and all documents necessary and to perform any such acts as he deems necessary for a development application to the Town of Jupiter Island located at the following described property, including but not limited to executing any documentation, signing notices of commencement or termination, signing building permits, transacting business with local governmental agencies, building officials, contractors, design professionals, utilities and other service providers on our behalf:

Legal Description

Parcel 1: Lot 3 and the South one half of Lot 2, Block 104, Island Beach Revised Plat No. 2, according to the map or plat thereof as recorded in Plat Book 2, Page 44, Public Records of Martin County, Florida.

Parcel 2: An undivided twenty-five percent (25%) interest in and to the following: the South 20 feet of Lots 3 and 4, Block 105, Island Beach Revised Plat No. 2, according to the Plat thereof recorded in Plat Book 2, Page 444, Public Records of Martin County, Florida.

a/k/a 126 South Beach Road, Hobe Sound, FL 33455

PCN: 35-38-42-009-104-00020-5

Giving and granting unto, **JARED GAYLORD, ESQ.** full power and authority to do and perform every act and thing whatsoever requisite and necessary to be done in and about the property, with regard to the development application of the above referenced property to all intents and purposes as **MARY L. MCCORMACK**, might or could do if personally present, hereby

ratifying and confirming all that, **JARED GAYLORD, ESQ.**, as Attorney-in Fact, shall lawfully do or cause to be done by virtue hereof.

This power of attorney shall be effective for five (5) years beginning on the date of execution. This power of attorney shall not be affected by any subsequent incapacity or disability of the undersigned and shall have the same effect and inure to her benefit and bind Mary L. McCormack, her heirs, successors, and her personal representatives.

Signed in the presence of:



Print Name: Perry Zhao


MARY L. MCCORMACK



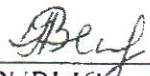
Print Name: Jeff Abusirriyeh

STATE OF New York

COUNTY OF New York

I, the undersigned authority, hereby certify that the foregoing instrument was acknowledged before me by means of physical presence or [] online notarization, on this 4th day of May 2025, by Mary L. McCormack, who is personally known to me or who [] produced _____ as identification.

JULIA BELYAKOVA
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01BE6436807
Qualified in New York County
Commission Expires July 25, 2026


NOTARY PUBLIC
Printed Name: Julia Belyakova

LIMITED POWER OF ATTORNEY

KNOWN ALL MEN by these presents, that I, **ROBERT C. MCCORMACK**, the undersigned hereby authorize, **JARED GAYLORD, ESQ.** to serve as his Attorney-in-Fact, to execute any and all documents necessary and to perform any such acts as he deems necessary for a development application to the Town of Jupiter Island located at the following described property, including but not limited to executing any documentation, signing notices of commencement or termination, signing building permits, transacting business with local governmental agencies, building officials, contractors, design professionals, utilities and other service providers on our behalf:

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a/k/a 126 South Beach Road, Hobe Sound, FL 33455

PCN: 35-38-42-009-104-00020-5

Giving and granting unto, **JARED GAYLORD, ESQ.** full power and authority to do and perform every act and thing whatsoever requisite and necessary to be done in and about the property, with regard to the development application of the above referenced property to all intents and purposes as **ROBERT C. MCCORMACK**, might or could do if personally present, hereby

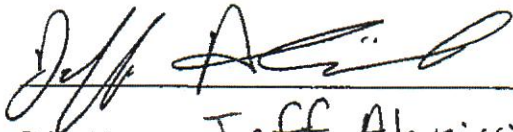
ratifying and confirming all that, **JARED GAYLORD, ESQ.**, as Attorney-in Fact, shall lawfully do or cause to be done by virtue hereof.

This power of attorney shall be effective for five (5) years beginning on the date of execution. This power of attorney shall not be affected by any subsequent incapacity or disability of the undersigned and shall have the same effect and inure to his benefit and bind the **ROBERT C. MCCORMACK**, his heirs, successors, and his personal representatives.

Signed in the presence of:



Print Name: Perry Zhao



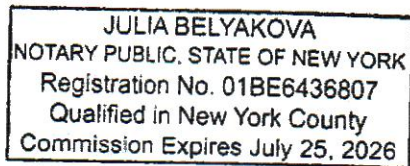
Print Name: Jeff Abusivriyeh


By 
Robert C. McCormack

STATE OF New York

COUNTY OF New York

I, the undersigned authority, hereby certify that the foregoing instrument was acknowledged before me by means of physical presence or online notarization, on this 4th day of May 2025, by Robert C. McCormack, who is personally known to me or who produced _____ as identification.




NOTARY PUBLIC
Printed Name: Julia Belyakova



Basic Info

PIN 35-38-42-009-104-00020-5	AIN 57722	Situs Address 126 SOUTH BEACH RD JUPITER ISLAND FL	Website Updated 6/5/25
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General Information

[CHANGE MAILING ADDRESS](#)

[SIGN UP FOR PROPERTY FRAUD ALERT](#)

Property Owners

MCCORMACK ROBERT C
MCCORMACK MARY L

Parcel ID

35-38-42-009-104-00020-5

Use Code/Property Class

0100 - 0100 Single Family

Mailing Address

126 SOUTH BEACH RD
JUPITER ISLAND FL 33455

Account Number

57722

Neighborhood

135735 Jupiter Island - Interior

Tax District

JUPITER ISLAND

Property Address

126 SOUTH BEACH RD JUPITER ISLAND FL

Legal Acres

0.5

Legal Description

ISLAND BEACH REVISED PLAT 2 S1/2 OF LOT ...

Ag Use Size (Acre\Sq Ft)

N/A

Current Value

Year	Land Value	Improvement Value	Market Value	Value Not Taxed	Assessed Value	Total County Exemptions	County Taxable Value
2024	\$ 3,310,000	\$ 1,392,320	\$ 4,702,320	\$ 848,503	\$ 3,853,817	\$ 0	\$ 3,853,817

Market values shown on the website reflect market conditions as of January 1st, the statutory assessment date. We are prohibited by law from relying on sales that occur after the January 1 assessment date. Therefore, market values shown on the website do not reflect today's market conditions, but rather the market conditions last year. In addition, the statutes require the county Property Appraiser to deduct for typical costs of sale (which include expenses such as commissions, title insurance, appraisals, inspection fees, etc.) when arriving at market value for tax purposes. That is why the market value for tax purposes is different from what a property would sell for today.

Current Sale

Sale Date

3/24/24

Grantor (Seller)

RICHARD G WOOLWORTH AS TRUSTEE

Doc Num

3067292

Sale Price

\$ 8,125,000

Deed Type

Trustee's Deed

Book & Page

3431 363

Legal Description

ISLAND BEACH REVISED PLAT 2 S1/2 OF LOT 2 & ALL LOT 3 BLK 104 PER WD 637/2093.. & AN UNDIVIDED 25% INTEREST IN S 20' OF LOTS 3 & 4 BLK 105 PER WD 645/834.

The legal description is intended for general information only. The Property Appraiser assumes no responsibility for the uses or interpretations of the legal description.



Prepared by and return to:
Lorraine M. Johnson

Seaspray Title LLC
12000 SE Dixie Hwy
Hobe Sound, FL 33455

File Number: 2024-064SS
Will Call No.:

[Space Above This Line For Recording Data]

Trustee's Deed

This Trustee's Deed made this 24th day of April, 2024 between Sally W. Lynch, a married woman, Individually, Louise W. Lamphere, a single woman, Individually and Andrew B. Woolworth, a married man, Individually and all as Trustees of the R.K. Baker Trust dated December 17th, 1940, as amended whose post office address is P.O. Box 5366, Lancaster, PA 17606, grantor, and Robert C. McCormack and Mary L. McCormack, husband and wife whose post office address is 228 South Beach Road, Hobe Sound, FL 33455, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantees heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Parcel 1:

Lot 3 and the South one half of Lot 2, Block 104, Island Beach Revised Plat No. 2, according to the map or plat thereof as recorded in Plat Book 2, Page 44, Public Records of Martin County, Florida.

Parcel 2:

An undivided twenty five (25%) percent interest in and to the following:
The South 20 feet of Lots 3 and 4, Block 105, Island Beach Revised Plat No. 2, according to the Plat thereof recorded in Plat Book 2, Page 444, Public Records of Martin County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Name: MARC GAYLORD
Witness Address: 12000 SE Old Dixie Hwy.,
Hobe Sound, FL, 33455

[Signature]
Sally W. Lynch, Individually and as Trustee
of the R.K. Baker Trust dated December 17, 1940,
as amended

[Signature]
Witness Name: LOUISE W. LAMPHERE
Witness Address: 12000 SE Old Dixie Hwy.,
Hobe Sound, FL, 33455

[Signature]
Louise W. Lamphere, Individually and as Trustee
of the R.K. Baker Trust dated December 17, 1940
as amended

[Signature]
Witness Name: MARC GAYLORD
Witness Address: 12000 SE Old Dixie Hwy.,
Hobe Sound, FL, 33455

[Signature]
Witness Name: LOUISE W. LAMPHERE
Witness Address: 12000 SE Old Dixie Hwy.,
Hobe Sound, FL, 33455

State of Florida
County of Martin

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 18 day of March, 2024 by Sally W. Lynch, Trustee and Louise W. Lamphere, Trustee who are personally known or have produced a driver's license as identification.

[Notary Seal] 

[Signature]
Notary Public
Printed Name: MARC GAYLORD
My Commission Expires: _____

Signed, sealed and delivered in our presence:

Harleigh Ganguer

Witness Name: Harleigh Ganguer

Witness Address: 126 E King St.
Lancaster, PA 17602

Christina L Reed

Witness Name: Christina L. Reed

Witness Address: 126 E. King St.
Lancaster, PA 17602

Andrew B Woolworth

Andrew B. Woolworth, Individually and as Trustee of the R.K. Baker Trust dated December 17, 1940, as amended

State of Pennsylvania
County of Lancaster

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 20th day of March, 2024 by Andrew B. Woolworth, Trustee, who is personally known or has produced a driver's license as identification.

[Notary Seal]

Kendall L. Martin
Notary Public

Printed Name: Kendall L. Martin

My Commission Expires: August 11, 2026

Commonwealth of Pennsylvania - Notary Seal
Kendall L. Martin, Notary Public
Lancaster County
My commission expires August 11, 2026
Commission number 1338426
Member, Pennsylvania Association of Notaries



**HONORABLE
RUTH PIETRUSZEWSKI, CFC**

MARTIN COUNTY TAX COLLECTOR
3485 SE WILLOUGHBY BLVD
STUART, FL 34994

Property Address 126 SOUTH BEACH RD
Legal Description ISLAND BEACH REVISED PLAT 2 S1/2 OF LOT 2 & ALL LOT 3
BLK 104 PER WD 637/2093.. & AN UNDIVIDED 25% I
See Additional Legal on Tax Roll

REAL ESTATE

2024 MARTIN COUNTY
Notice of Ad Valorem Taxes and Non-Ad Valorem Assessments

MCCORMACK ROBERT C & MCCORMACK MARY L
126 SOUTH BEACH RD
JUPITER ISLAND, FL 33455

PARCEL ID: 35-38-42-009-104-00020.50000
ALTERNATE ID: 57722
ESCROW CODE:



SCAN TO VIEW YOUR
BILL ONLINE!

If Paid By	Nov 30, 2024	Paid	\$67,369.01	11/18/2024
Please Pay	\$67,369.01			

Ad Valorem Assessments

Taxing Authority	Telephone	Millage	Assessed Value	Exemption	Taxable Value	Tax Amount
JUPITER ISLAND-AD VAL-OP	772-545-0100	2.8086	3,853,817	0	3,853,817	10,823.83
JUPITER ISLAND-EROSION	772-545-0100	0.9593	3,853,817	0	3,853,817	3,696.97
JUPITER ISL-DEBT SERVICE	772-545-0100	0.2273	3,853,817	0	3,853,817	875.97
SCHOOL-GENERAL FUND	772-219-1200 ext 30273	3.0770	4,702,320	0	4,702,320	14,469.04
SCHOOL CAPITAL OUTLAY	772-219-1200 ext 30273	1.5000	4,702,320	0	4,702,320	7,053.48
SCHOOL - DISCRETIONARY	772-219-1200 ext 30273	0.7480	4,702,320	0	4,702,320	3,517.34
SCHOOL ADDTNL VOTER MIL	772-219-1200 ext 30273	0.4250	4,702,320	0	4,702,320	1,998.49
CHILDRENS SERVICES ORDNCNS	772-288-5758	0.3618	3,853,817	0	3,853,817	1,394.31
FL-INLAND NAVIGATION DIST	561-627-3386	0.0288	3,853,817	0	3,853,817	110.99
S. FLA WTR MGMT	561-686-8800	0.2301	3,853,817	0	3,853,817	886.76
COUNTY-GENERAL FUND-OP	772-463-2868	6.5776	3,853,817	0	3,853,817	25,348.87
MILLAGE CODE 4300	TOTAL MILLAGE	16.9435	TOTAL AD VALOREM TAXES			\$70,176.05

Exemptions

Non Ad Valorem Assessments

Levying Authority	Telephone	Rate (\$ per unit)	Tax Amount
TOTAL NON AD VALOREM TAXES			\$0.00
TOTAL			\$70,176.05

*SEE REVERSE SIDE FOR INSTRUCTIONS PLEASE DETACH AND RETURN BOTTOM PORTION WITH YOUR PAYMENT
OR PAY CURRENT TAXES ONLINE AT [HTTP://MARTINTAXCOLLECTOR.COM](http://MARTINTAXCOLLECTOR.COM)

2024

Make checks payable to: Ruth Pietruszewski, Tax Collector

Mail payments to: 3485 SE Willoughby Blvd Stuart, FL 34994 (772) 288-5600

CANADIAN CHECKS MUST BE PAYABLE IN U.S. FUNDS & DRAWN ON A U.S. BANK **DO NOT SEND CASH**

PARCEL ID: 35-38-42-009-104-00020.50000

ALTERNATE ID: 57722

ESCROW CODE:

MCCORMACK ROBERT C & MCCORMACK MARY L
126 SOUTH BEACH RD
JUPITER ISLAND, FL 33455

Please check one box. Current taxes are processed by the month they are postmarked. Delinquent taxes are processed by the date they are received.

Nov 30, 2024 \$67,369.01

Paid By **Robert C McCormack**

Paid \$67,369.01 11/18/2024

TAXES BECOME DELINQUENT APRIL 1 - ADD 3% PLUS FEES

Notice: If taxes on your property are not paid in full, a tax certificate will be sold for the delinquent taxes.



LAW OFFICES OF
MARC R. GAYLORD, P.A.

12000 S.E. OLD DIXIE HIGHWAY
HOBE SOUND, FL 33455
TEL: (772) 545-7740
FAX: (772) 545-7782

MARC R. GAYLORD, ESQ.
JARED E. GAYLORD, ESQ.

FORD T. DWYER, ESQ.
COLBY HEDDEN, ESQ.

June 2, 2025

VIA HAND DELIVERY

Catherine Harding
Town of Jupiter Island
P.O. Box 7
Hobe Sound, FL 33475

RE: Robert C. McCormack and Mary L. McCormack, Board of Adjustment - Letter
Property Address: 126 South Beach Road, Hobe Sound, Florida 33455

Dear Mrs. Harding:

This office represents the interests of Robert C. McCormack and Mary L. McCormack, as it pertains to their application to the Board of Adjustment for additional floor area pursuant to the renovation for an existing residence at the aforementioned property located within the Town of Jupiter Island.

The subject property is located on the west side of South Beach Road in the D-25 Island Core Residential District and is 0.49948 acres or 21,757 square feet. My clients purchased this property on March 24, 2024. The maximum permitted floor area for this parcel is 4,351 square feet. Since purchasing the property, my clients have investigated renovating the residence. Mrs. McCormack hoped to add a small, covered entry and a 12' x 7.6' area to the master bedroom wing to serve as closet space. Unfortunately, after investigating these proposed renovations the McCormack family learned of the Town's recent changes to the Land Development Regulations that precluded these renovations.

On April 18, 2024, the Town of Jupiter Island recorded Ordinance 393 which, among other things, removed the "bonus" floor area of 10% of the maximum permitted floor area or 1,000 square feet, whichever is less, for covered but unenclosed space contained in Article IV, Division II, Section 2.01(C)(1)(a). While Ordinance 393 removed this "bonus" space, it did not count floor area for spaces that were not deemed "living space."¹ Under this reinterpretation of the Land Development Regulations, the proposed additions would be permitted since the 384 square foot garage would not be assessed as floor area.

¹ Ordinance 393 stated that "living space and floor area are the same." See TOWN OF JUPITER ISLAND, FL., CODE OF ORDINANCES 393 (2024).

Since Ordinance 393 did not prevent the contemplated renovations, my clients began planning modifications to the one-story residence. Recently, when my clients were planning to submit these proposed plans to the Town's Building Department they learned of the adoption of Ordinance 405, which removed the exemption for non-living space. This code modification rendered the proposed addition and renovation non-conforming because the 384 square foot garage would now count as floor area.

The 4,319 square foot residence would also be able to support the proposed renovations if Ordinance 393's removal of "bonus" space was not adopted. Previously, this property would have been entitled to 435.1 square feet of unenclosed, covered space without counting this as floor area.² Not including the 50% subtraction, there is currently 440 square feet of unenclosed, covered space on the property consisting of a lanai and existing entry. If the "bonus" floor area provision existed – as it did when the McCormack family purchased the property – the property's existing floor area would be 4,133.45 square feet. The proposed addition of a 92 square foot closet and a 50 square foot covered entry³ would result in a total floor area of 4,275.45 square feet – 75.55 square feet less than the permitted floor area for this property.

Additionally, the McCormacks own a twenty-foot stretch of property from South Beach Road to provide beach access in common with three other nearby property owners. If this 7,448 square feet of property was added to the existing 21,757 square feet of the lot, then a total lot size of 29,205 square feet would support a floor area of 5,841 square feet. However, the D-25 Zoning District, unlike the B-40 Zoning District, does not permit the transfer of floor area when properties are separated by a right-of-way.

The small addition of 142 square feet for a closet and new covered entrance will not result in negative impacts on adjacent properties or make the one-story residence more visible. These two small, proposed additions, in light of the recent changes to the Town's Land Development Regulations, are reasonable.

It is my clients' intent that the additions be constructed in a manner that is consistent with and complementary to the existing infrastructure of the Town, the surrounding properties, and cohesive with the characteristics of the area in which the proposed development will occur. If you have any questions or concerns with regard to the foregoing, or with regard to any of the attachments hereto, please do not hesitate to contact the undersigned.

Sincerely,



Jared Gaylord, Esq.

/JEG

Encl.

² See Art. IV, Div. II, Sec. 2.01(C)(1)(a), Floor Area, TOWN OF JUPITER ISLAND LAND DEVELOPMENT REGULATIONS (2023).

³ The total size of the covered entry is 100 square feet; however, the Town's Land Development Regulations calculate covered but unenclosed space at 50%. See Art. IV, Div. II, Sec. 2.01(C)(1), Floor Area, TOWN OF JUPITER ISLAND LAND DEVELOPMENT REGULATIONS (2025).

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TEL: (772) 545-7740
FAX: (772) 545-7782

MARC R. GAYLORD, ESQ.
JARED E. GAYLORD, ESQ.

FORD T. DWYER, ESQ.
COLBY HEDDEN, ESQ.

June 2, 2025

VIA HAND DELIVERY

Catherine Harding
Town of Jupiter Island
P.O. Box 7
Hobe Sound, FL 33475

RE: Robert C. McCormack and Mary L. McCormack, Board of Adjustment – Standards
Property Address: 126 South Beach Road, Hobe Sound, Florida 33455

Dear Mrs. Harding:

This office represents the interests of Robert C. and Mary L. McCormack and their family, as it pertains to their application to the Board of Adjustment for the addition of a 92 square foot closet and a 50 square foot covered entrance at 126 South Beach within the Town of Jupiter Island.

Pursuant to Article X, Division V, Section 5.00, the Board of Adjustment shall grant a variance from the terms of the Land Development Regulations if the applicants demonstrate that:

- A. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district:

The subject property is located along South Beach Road in the D-25 residential district. This property was developed in 1988 – prior to the overhaul of the Town’s Land Development Regulations (“LDRs”) in the early 2000s. Recently, the Town has updated the LDRs through Ordinance 393 and Ordinance 405 – after the McCormack family purchased the property and during the time they were planning these renovations with architects and contractors.

The subsequent update to the Town’s LDRs rendered the proposed plans slightly nonconforming due to their size. The proposed addition of 142 square feet, consisting of an enclosed closet space off the master suite wing and a new covered entryway, would have been permitted prior to the adoption of Ordinance 393 or Ordinance 405. Additionally, the McCormacks own a beach access parcel that, if this area was counted, would permit a floor area of 5,841 square feet for the property. However, this zoning district does not permit the transfer of floor area from property that is separated by a

right-of-way, unlike the B-40 Zoning District. The unique circumstances of a previously developed property, recent changes to the LDRs, and an ocean access parcel are unique to this property and not applicable to other lots within the D-25 Zoning District.

- B. The special conditions and circumstances do not result from the actions of the applicant:

When the property was developed, the recent changes to the LDRs, and the non-transferability of floor area from the beach access parcel are not the result of actions by the McCormack family.

- C. The variance requested will not confer on the applicant any special privilege that is denied by these Land Development Regulations to other lands, buildings or structures in the same zoning district:

The variance will not confer on the applicants a special privilege denied by the LDRs to other lands, buildings, or structures in the D-25 Zoning District. Due to the existing development on this property, it is nearly impossible to create additional closet space without adding floor area. Additionally, most neighbors within this zoning district did not purchase a property prior to April 2024, only to have the Town change the LDRs in the midst of their redesign and renovation planning. Finally, most other property owners within the D-25 Island Core Zoning District do not also own a beach access parcel nearby.

- D. Literal interpretation of the provisions of these Land Development Regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of these Land Development Regulations and would work unnecessary and undue hardship on the applicant:

Literal interpretation of the LDRs would deprive the applicants of closet space and a covered entry that many other property owners in the D-25 Zoning District were permitted to develop prior to the adoption of Ordinance 393 and Ordinance 405. Denying the relatively small variance request for 110 square feet to construct an unenclosed covered entrance and a master suite closet would result in an unnecessary and undue hardship for my clients' and their family since they purchased this property with the understanding that such redevelopment was possible and began planning for such a project prior to the adoption of Ordinance 405. This would mean that my clients' time and resources spent with architects and other design professionals would be wasted.

- E. The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or structure:

The proposed addition is relatively small. The additional closet on the master wing of the residence will only be 12'x7.6' or approximately 92 square feet. The covered entry will only be 50 square feet.¹ These relatively minor additions are the minimum variances to

¹ The total size of the covered entry is 100 square feet; however, the Town's Land Development Regulations calculate covered but unenclosed space at 50%. See Art. IV, Div. II, Sec. 2.01(C)(1), Floor Area, TOWN OF JUPITER ISLAND LAND DEVELOPMENT REGULATIONS (2025).

make reasonable use of a covered entrance and a closet space. These additions would have been permitted prior to the adoption of Ordinance of 405.

- F. The variance will be in harmony with the general intent and purpose of these Land Development Regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare:

The requested variance is in harmony with the general intent and purpose of the Land Development Regulations. The McCormack family's proposal is the result of the existing residence's development, the recent adoption of Ordinance 393 and 405, and the inability to utilize the lot size for the family's beach access parcel. The existing development and these recent changes to the LDR mean that any reasonable or worthwhile addition to the residence would likely be nonconforming. Many homes in this area of Jupiter Island have similar covered entryways and large closet space. Furthermore, many of these homes were able to utilize the covered "bonus" space provision that existed prior to Ordinance 393.

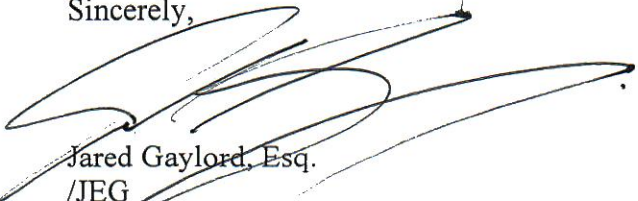
These small additions – a small closet and covered entry within the building envelope – will not be visible from neighboring properties or South Beach Road. The proposed additions will not be visible to neighboring properties due to landscape buffers and their location on the property. This lack of visibility ensures that this variance will not be injurious to the Island Core and D-25 Zoning District neighborhoods. Granting the 110-square foot variance for a closet and covered entryway will enhance the property. This project will not result in any deviation from the surrounding neighborhood character.

- G. The variance does not authorize a use of land that is prohibited in the underlying zoning district:

The property will be used for a single-family dwelling. The variance does not authorize a use of land that is prohibited in the underlying zoning district.

My clients intend that this development is consistent with and complementary to the existing Town infrastructure, surrounding properties, and the Island Core neighborhood. If you have any questions or concerns regarding this application, or any of the attachments enclosed herein, please do not hesitate contacting the undersigned.

Sincerely,



Jared Gaylord, Esq.

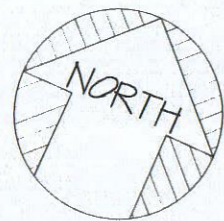
/JEG

Encl.

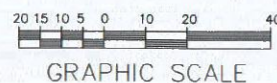
Site Data Analysis*

Address:	126 S. Beach Road		
Zoning District:	D-25 Island Core		
Planned Start Date of Construction:	6/1/2025		
	Required	Existing	Proposed
Lot Area:	25,000	21,750	21,750
Lot Width:	100'	145'	145'
Floor Area: *Principle dwelling shall not exceed 10,000 sq ft.	20% 4,351	4,319	4,461
Front Yard Setback:	30'-0"	29.8'	29.8'
Rear Yard Setback:	35'-0"	61.2'	49.2'
Side Yard Setback: (One-Story) 1) Lot width less than 125' 2) Lot width greater than 125'	Type text here	Type text here 21.2'	Type text here 21.2' EXISTING 25'-0" ADDITION
Side Yard Setback: (Two-Story) 1) Lot width less than 125' 2) Lot width greater than 125'	N/A		
Initial Measuring Point: (IMP)	F.F.E	F.F.E.	F.F.E.
Fill:			
Maximum Roof Height: Pitch: (One-Story)		19'-4" 12/12	19'-4" 12/12
Maximum Roof Height: Pitch: (Two-Story)	N/A		
Maximum Exterior Wall Height: (One-Story)	14 ft	9'-0"	9'-0"
Maximum Exterior Wall Height: (Two-Story)	22 ft	N/A	
Parking Spaces:	1 per bedroom (1.5 max)		
Driveway Setback:			
Landscape Area:			
Elevation of LHSM: (Lowest Height of Structural Member)	N/A		
Elevation of Finished Floor:		15.53'	15.53'
FEMA Flood Zone:	AE (4)		

GOD BLESS AMERICA



SCALE : 1" = 20'
THIS IS THE INTENDED DISPLAY SCALE



LEGEND

- BFP BACKFLOW PREVENTER
- CATV CABLE TELEVISION RISER
- CBS CONCRETE BLOCK STRUCTURE
- CM CONCRETE MONUMENT
- CONC CONCRETE
- COV COVERED
- EA DELTA/CENTRAL ANGLE
- EB ELECTRIC BOX
- EL ELEVATION
- FO FLOOR ELEVATION
- FD FIRE HYDRANT
- FI IDENTIFICATION
- IP IRON PIPE
- IR IRON ROD
- L ARC LENGTH
- LA LANDSCAPE AREA
- LS LICENSED SURVEY BUSINESS
- LS LICENSED LAND SURVEYOR
- NL NAIL
- OHV OVERHEAD WIRE
- ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PG PAGE
- PCP PERMANENT CONTROL POINT
- PRM PERMANENT REFERENCE MONUMENT
- P.I. POINT OF INTERSECTION
- R RADIUS
- R/W RIGHT-OF-WAY
- SMH SANITARY MANHOLE
- TEL TELEPHONE RISER
- WM WATER METER
- WV WATER VALVE
- WPP WOOD POWER POLE
- C CENTERLINE

LEGAL DESCRIPTION:

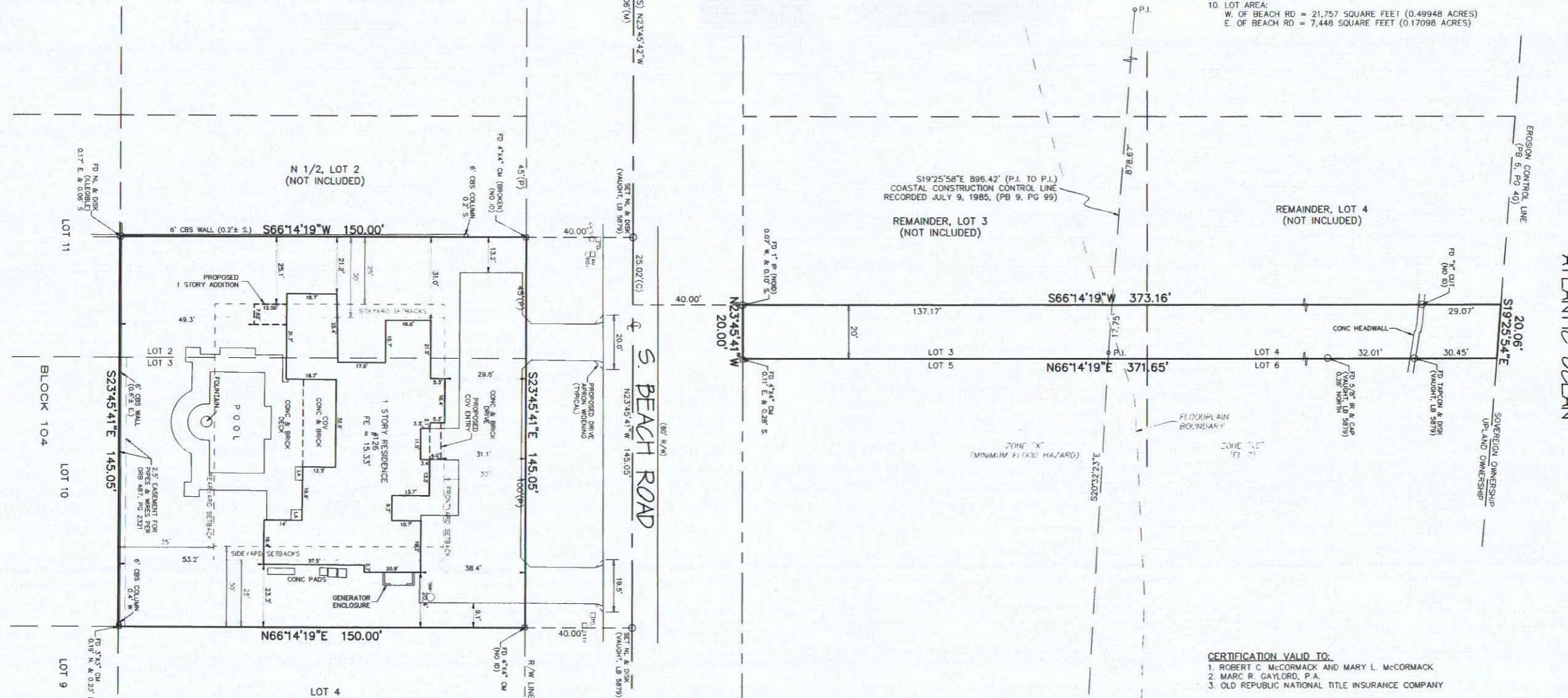
LOT 3 AND THE SOUTH 1/2 OF LOT 2, BLOCK 104, THE ISLAND BEACH REVISED PLAT NO. 2, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 44, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

TOGETHER WITH

AN UNDIVIDED TWENTY FIVE (25%) PERCENT INTEREST IN AND TO THE SOUTH 20 FEET OF LOTS 3 AND 4, BLOCK 105, ISLAND BEACH REVISED PLAT NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 44, MARTIN COUNTY, FLORIDA PUBLIC RECORDS.

SURVEYOR'S NOTES:

1. NOT VALID WITHOUT ALL SHEETS AND THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. BEARINGS SHOWN HEREON ARE ASSUMED BASED ON THE CENTERLINE OF SOUTH BEACH ROAD AS SHOWN HEREON.
3. THIS SURVEY IS BASED ON A CLOSED GEOMETRIC FIGURE EXCEEDING A HORIZONTAL CLOSURE OF 1:10000 U.S. SURVEY FEET. WELL-IDENTIFIED FEATURES SHOWN HEREON HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.1 FEET.
4. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) AND ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF.
5. BEARINGS, ANGLES, AND DIMENSIONS SHOWN HEREON ARE FIELD MEASURED QUANTITIES UNLESS NOTED OTHERWISE AS: (P)=PLAT MEASUREMENT; (M)=FIELD MEASUREMENT; (C)=CALCULATED MEASUREMENT
6. THIS SURVEY PREPARED WITHOUT BENEFIT OF TITLE AND MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAYS AND OTHER ENCUMBRANCES WHICH MIGHT BE REVEALED IN A SEARCH OF TITLE TO THE SUBJECT LAND.
7. THE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY NAMED IN CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON, WITHOUT THE EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.
8. THERE HAS BEEN NO ATTEMPT TO LOCATE ANY SUBSURFACE IMPROVEMENTS, FOOTERS, FOOTINGS AND/OR UTILITIES ON THIS PROPERTY.
9. SUBJECT PROPERTY LIES IN FLOOD ZONES "X" (MINIMAL FLOOD HAZARD) AND "VE" (EL 7). FLOODPLAIN BOUNDARIES SHOWN HEREON AS SCALED PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE MAP #12085C0336H, DATED FEBRUARY 19, 2020. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
10. LOT AREA:
W. OF BEACH RD = 21,757 SQUARE FEET (0.49948 ACRES)
E. OF BEACH RD = 7,448 SQUARE FEET (0.17098 ACRES)



BUILDING SETBACKS

- PER ZONE D-25, ISLAND CORE RESIDENTIAL DISTRICT:
- FRONTYARD SETBACK - 30'
- SIDEYARD SETBACKS - 25' (1 STORY BUILDINGS)
30' (2 STORY BUILDINGS)
- REARYARD SETBACK - 35'

CERTIFICATION VALID TO:

1. ROBERT C. MCCORMACK AND MARY L. MCCORMACK
2. MARC R. GAYLORD, P.A.
3. OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

R. L. VAUGHT & ASSOCIATES, INC.
LICENSED BUSINESS NO. 5879

DATE OF LAST FIELD WORK:
Feb. 20, 2024

By: *[Signature]*
P. Michael Zarrella
Professional Surveyor and Mapper No. 6736
State of Florida

REVISIONS	BY
05/14/25 * ADD PROPOSED SITE PLAN NO. # 520630	PMZ

BOUNDARY SURVEY
126 SOUTH BEACH ROAD
HOBE SOUND, FLORIDA 33455
TOWN OF JUPITER ISLAND

R. L. VAUGHT & ASSOCIATES, INC.
SURVEYORS, MAPPERS & PLANNERS
LICENSED SURVEY BUSINESS NUMBER 5879
9075 SE BRIDGE ROAD: HOBE SOUND 33455
MAIL: P.O. BOX 160 HOBE SOUND, FL 33475
PHONE: 772-546-8086 FAX: 772-546-8087
EMAIL: vaught@ellsouth.net

DRAWN	PMZ
CHECKED	PMZ
SCALE	AS SHOWN
DATE	FEB. 22, 2024
FIELD BOOK	243/28
ORDER NO.	819521
SHEET OF SHEETS	1 1
FILE NUMBER	PB19521-24J

PCN: 35-38-42-009-104-00020-5 & 35-38-42-009-105-00030-0

McCORMACK RESIDENCE WALK-IN CLOSET ADDITION

HOBE SOUND, FLORIDA

TOWN OF JUPITER SUBMITTAL
MAY 20, 2025

PROJECT TEAM:

ARCHITECT:
Principle Design & Development Group, LLC
7211 Wilson Road
West Palm Beach, FL 33413
Ph. 561-247-6675

CONTRACTOR:
DMD DEVELOPMENT
P.O. BOX 2003
HOBE SOUND, FL 33475
PH: 561-429-6100



INDEX	
SURVEY	
A-1.1	ARCHITECTURAL SITE PLAN
A-1.1B	STAGING PLAN
A-2.0	DEMOLITION AND NEW WORK FLOOR PLANS
A-3.0	DEMOLITION AND NEW WORK ROOF PLAN
A-4.0	DEMOLITION AND NEW ELEVATIONS
A-4.1	DEMOLITION AND NEW ELEVATIONS
A-4.2	DEMOLITION AND NEW ELEVATIONS
A-4.3	DEMOLITION AND NEW ELEVATIONS
L-1	LANDSCAPE SITE PLAN



-Architecture-Interiors -
-Planning-Development-

7211 Wilson Road
West Palm Beach, Florida 33413
Ph: 561-247-6675
Fax: 561-828-0170
Lic # AA-26003299

WALK-IN CLOSET ADDITION FOR:
MCCORMACK
 126 SOUTH BEACH ROAD
 HOBE SOUND, FLORIDA 33455
 COVER SHEET

Rev.	Description	Date
5		
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Rev. Description Date
Status: Town of Jupiter

Job No.:	24-1168
Designed by:	KCW
Drawn By:	OQ
Checked By:	KCW
Date:	3/31/25

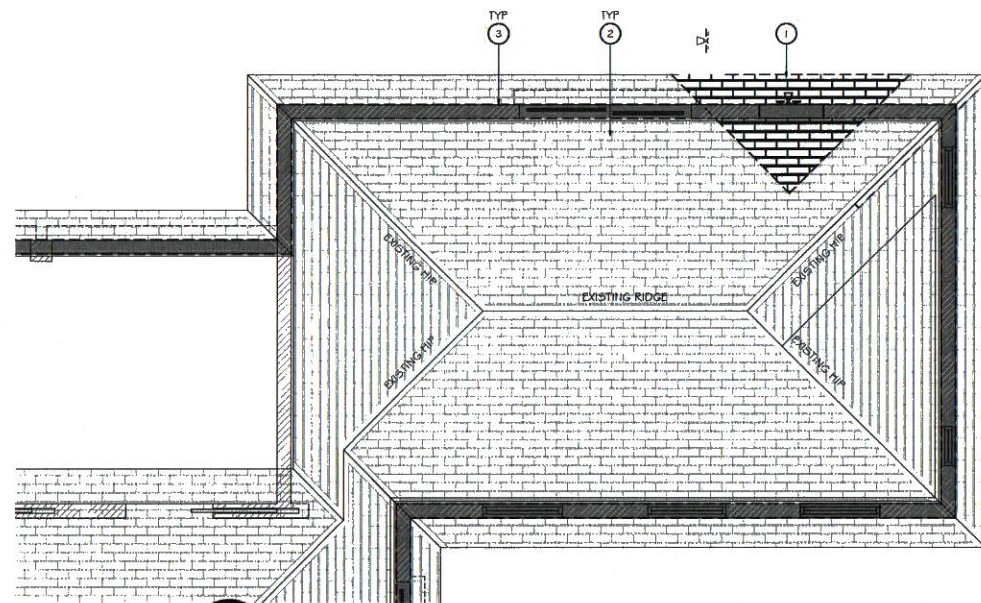
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Kermit C.
White
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Kermit C. White, A.I.A.
Lic. # AR-00017761

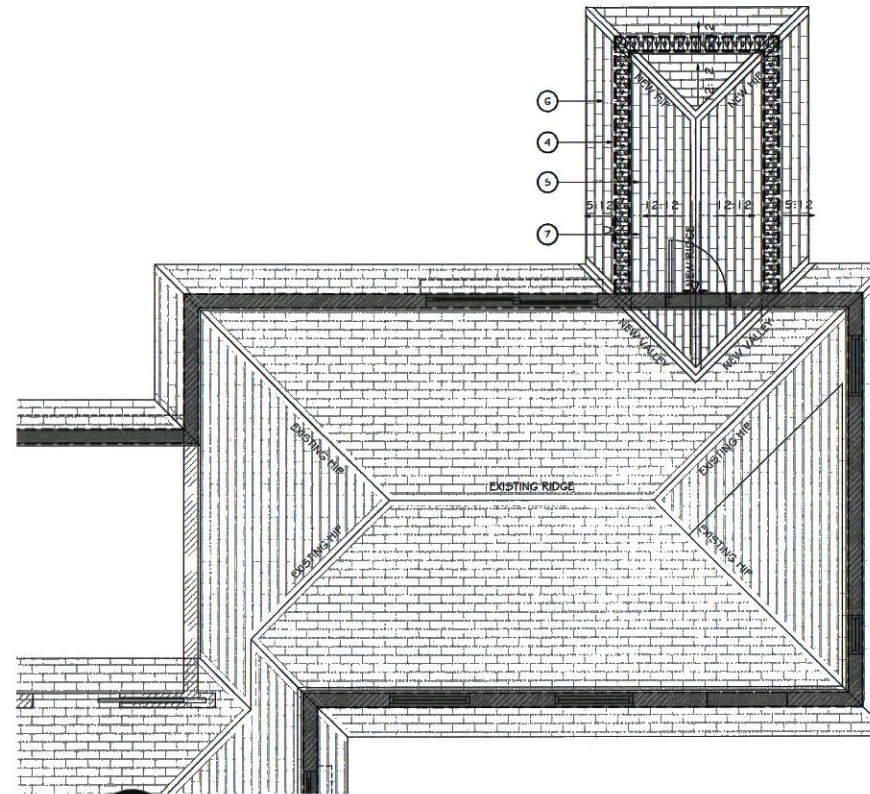
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Sheet No:

T-1

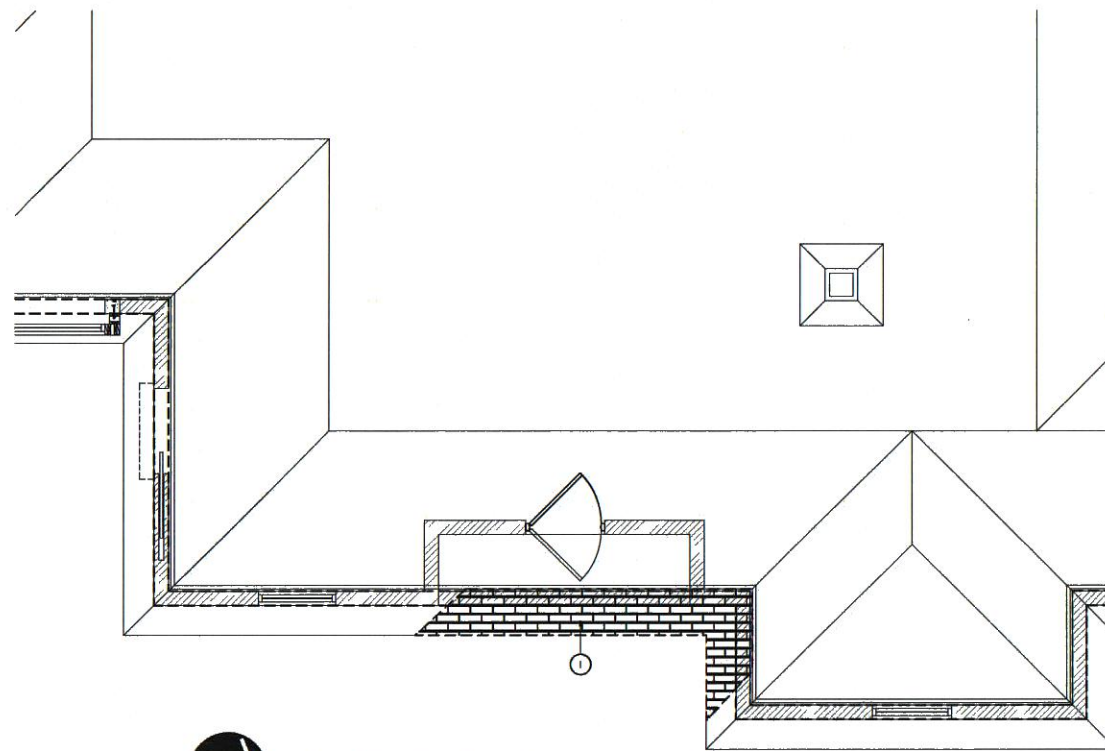
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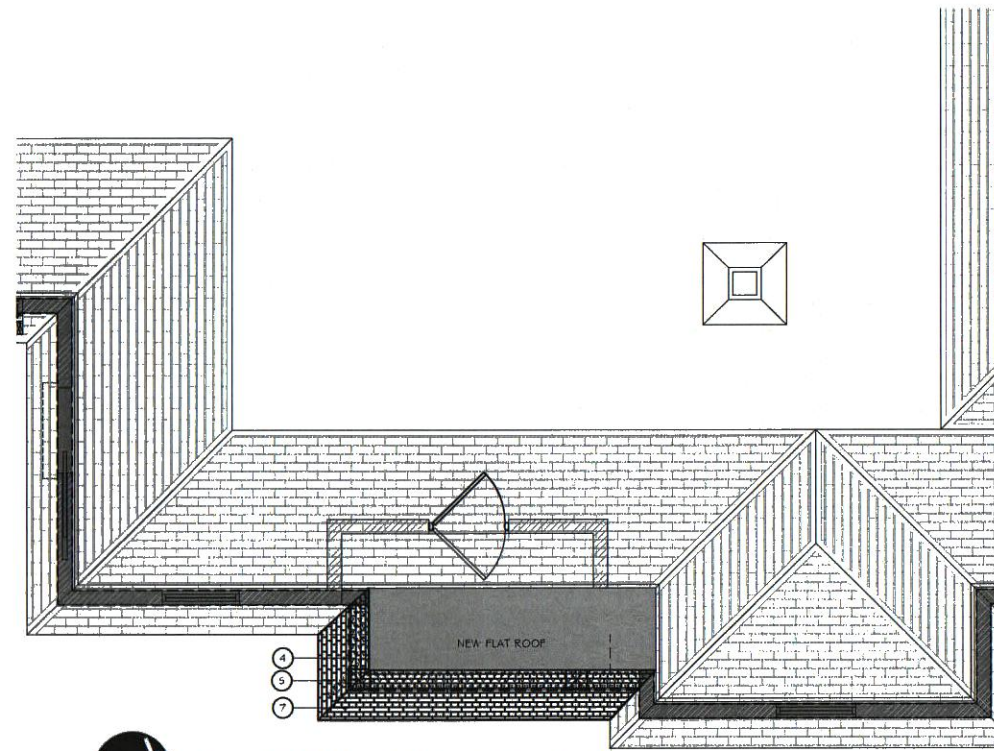
1-DEMOLITION ROOF PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



3 - NEW WORK ROOF PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



2-DEMOLITION ROOF PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



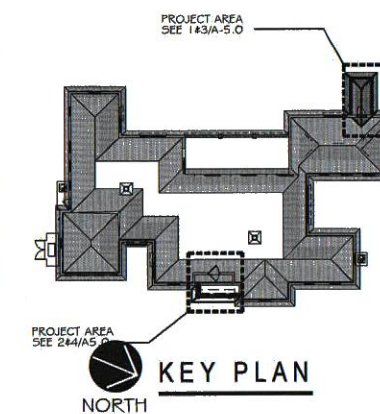
4 - NEW WORK ROOF PLAN
 SCALE: 1/4" = 1'-0"
 NORTH

KEYED DEMOLITION NOTES

- 1 REMOVE PORTION OF EXISTING WOOD SHINGLES ROOFING, MEMBRANE, FLASHING AND ANY OTHER NECESSARY ITEMS AS REQUIRED TO EXPOSE EXISTING ROOF SHEATHING AND INSTALL NEW WORK.
- 2 EXISTING ROOF TO REMAIN.
- 3 EXISTING STRUCTURAL BEAM TO REMAIN.
- 4 NEW BEAM, SEE STRUCTURAL DRAWINGS
- 5 PROVIDE NEW PRE-ENGINEERING WOOD TRUSSES. SLOPES TO MATCH EXISTING.
- 6 NEW ROOF SOFFIT AND OVERHANG TO MATCH EXISTING
- 7 INSTALL NEW WOOD SHINGLES TO MATCH EXISTING OVER MEMBRANE UNDERLAYMENT ON PLYWOOD SHEATHING.

TOP OF CONCRETE BEAM BEARING LEGEND

ELEV.	SYMBOL
EXISTING TO REMAIN	
NEW BEAM TOP AT +9'-0" TO MATCH EXISTING	



KEY PLAN
 NORTH



-Architecture-Interiors -
 -Planning-Development-

7211 Wilson Road
 West Palm Beach, Florida 33413
 Ph: 561-247-6675
 Fax: 561-828-0170
 Lic. # AA-26003299

WALK-IN CLOSET ADDITION FOR:
MCCORMACK
 126 SOUTH BEACH ROAD
 HOBE SOUND, FLORIDA 33455
 DEMO AND NEW WORK ROOF PLAN

Rev.	Description	Date
5		
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Status: Town of Jupiter

Job No: 24-1168
 Designed by: KCW
 Drawn By: OQ
 Checked By: KCW
 Date: 3/31/25

Digitally signed by
 Kermit C. White
 Date: 2025.05.21 09:28:20 -04'00'
 Kermit C. White, A.I.A.
 Lic. # AR-00017761

Job No: 24-1168
 Sheet No:
A-3.0



-Architecture-Interiors -
-Planning-Development-

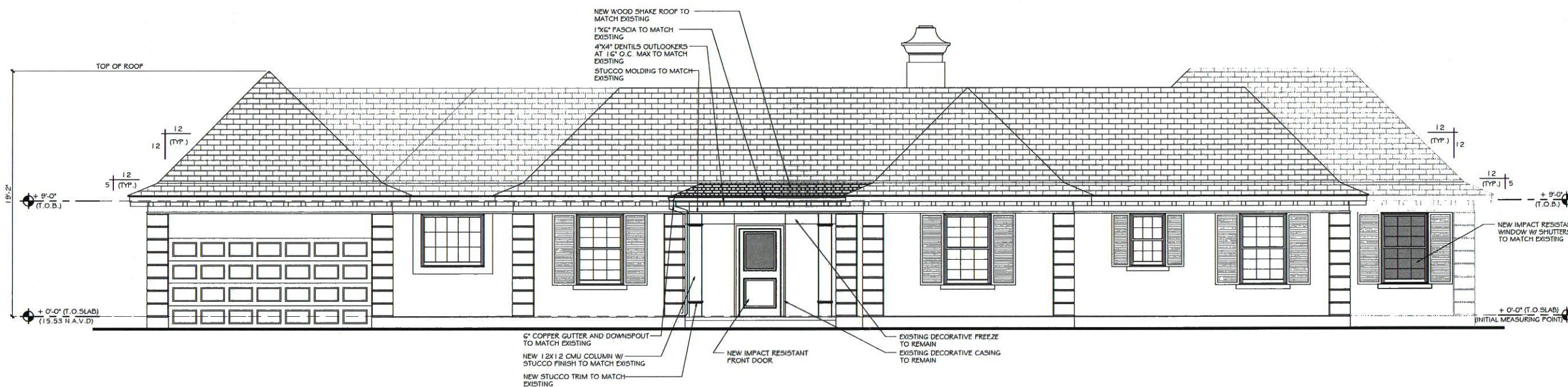
7211 Wilson Road
West Palm Beach, Florida 33413
Ph: 561-247-6675
Fax: 561-828-0170
Lic. # AA-26003299

RESIDENTIAL ADDITION FOR:
MRS ANNE GANNON
236 NORTH DIXIE BOULEVARD
DELRAY BEACH, FLORIDA 33444
EXISTING & PROPOSED ELEVATIONS



1 - EXISTING FRONT ELEVATION (EAST)

SCALE: 1/4" = 1'-0"



3 - PROPOSED FRONT ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

Rev.	Description	Date
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Status: PERMIT DOCUMENTS

Job No:	24-1162
Designed by:	KCW
Drawn By:	OQ
Checked By:	KCW
Date:	04-06-25

Digitally signed by
Kermit C. White
Date: 2025.05.21
09:28:55
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Kermit C. White, A.I.A.
Lic. # AR-00017761

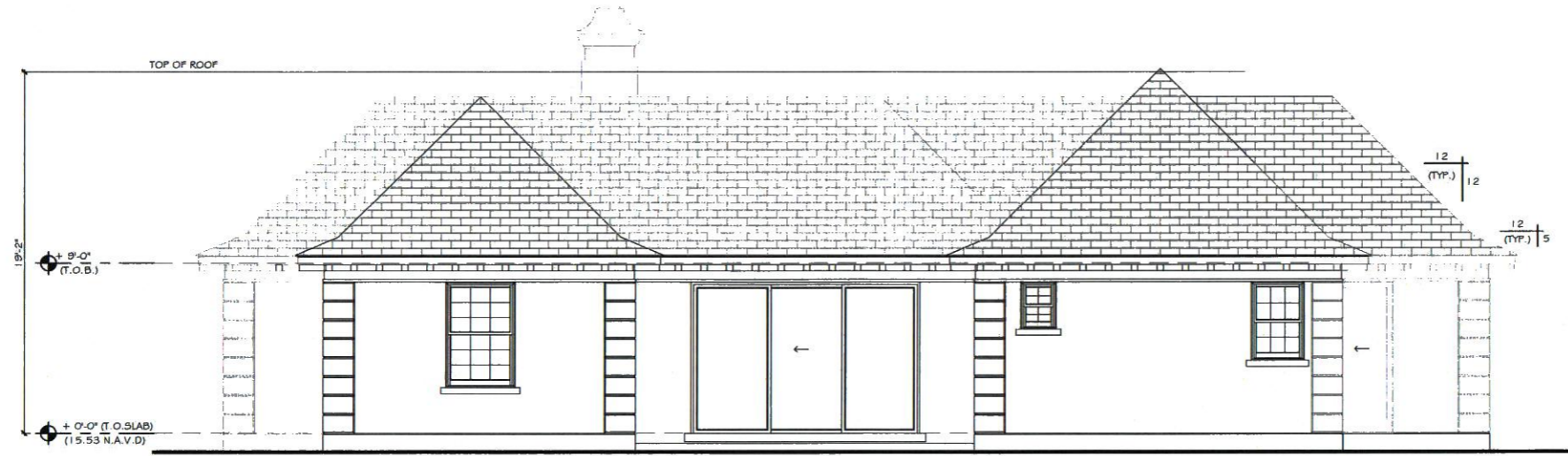
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A-4.0



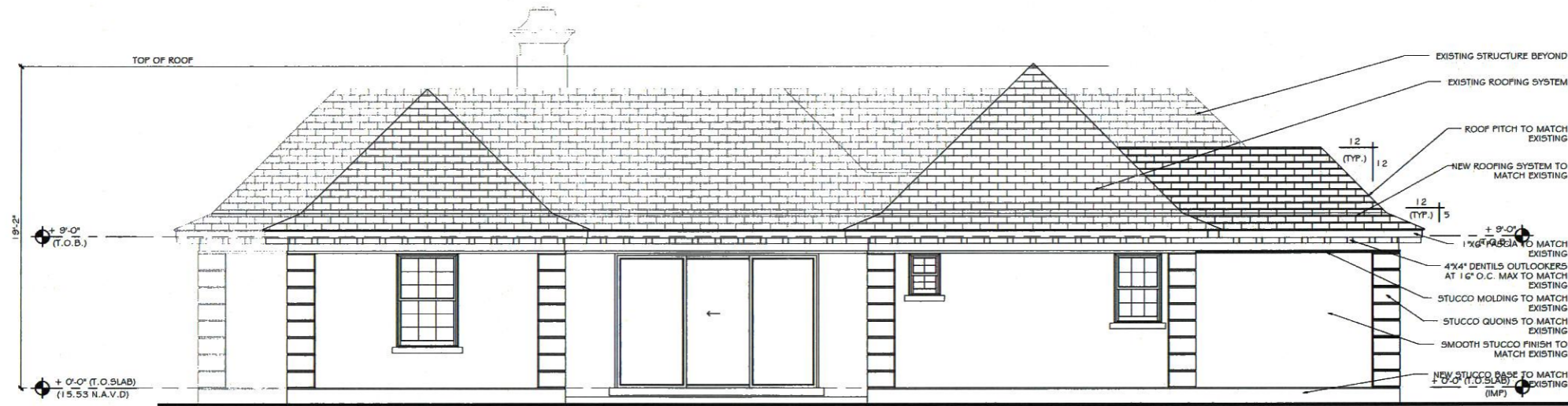
-Architecture-Interiors -
-Planning-Development-

7211 Wilson Road
West Palm Beach, Florida 33413
Ph: 561-247-6675
Fax: 561-828-0170
Lic. # AA-26003299



1 - EXISTING SIDE ELEVATION (NORTH)

SCALE : 1/4" = 1'-0"



2 - PROPOSED SIDE ELEVATION (NORTH)

SCALE : 1/4" = 1'-0"

RESIDENTIAL ADDITION FOR:
MRS ANNE GANNON
236 NORTH DIXIE BOULEVARD
DELRAY BEACH, FLORIDA 33444
EXISTING & PROPOSED ELEVATIONS

Rev.	Description	Date
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STATUS: PERMIT DOCUMENTS

Job No: 24-1162
Designed by: KCW
Drawn By: OQ
Checked By: KCW
Date: 04-06-25

Digitally signed by Kermit C. White
Date: 2025.05.21 09:29:37 -04'00'
Kermit C. White, A.I.A.
Lic. # AR-00017761

Job No: 24-1162
Sheet No:

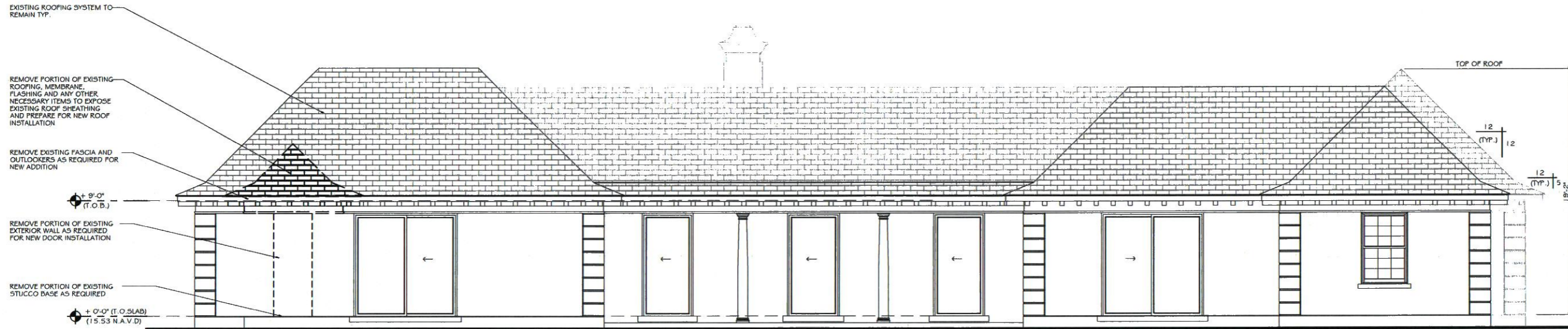
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-Architecture-Interiors -
-Planning-Development-

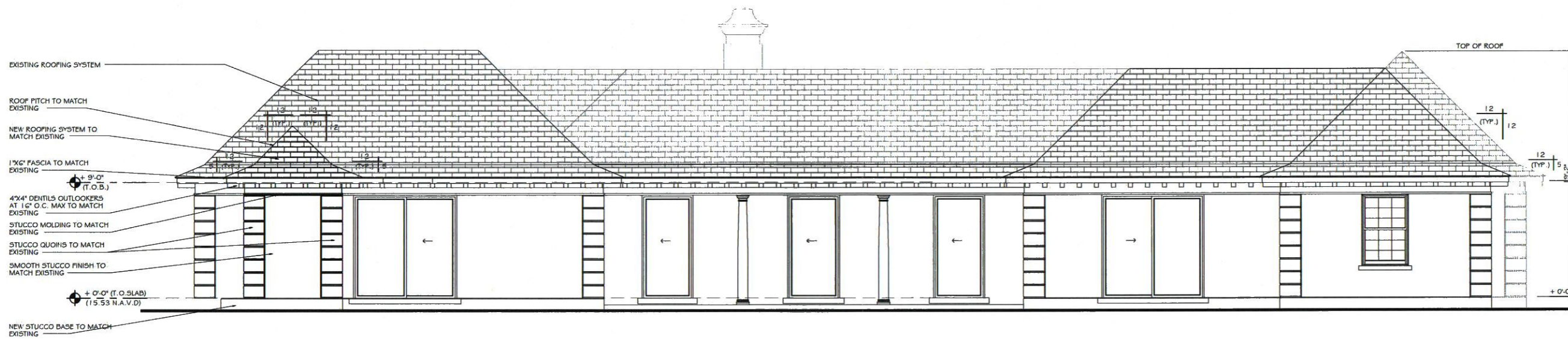
7211 Wilson Road
West Palm Beach, Florida 33413
Ph: 561-247-6675
Fax: 561-828-0170
Lic. # AA-26003299

RESIDENTIAL ADDITION FOR:
MRS ANNE GANNON
236 NORTH DIXIE BOULEVARD
DELRAY BEACH, FLORIDA 33444
EXISTING & PROPOSED ELEVATIONS



1 - EXISTING REAR ELEVATION (WEST)

SCALE : 1/4" = 1'-0"



2 - PROPOSED REAR ELEVATION (WEST)

SCALE : 1/4" = 1'-0"

Rev.	Description	Date
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Status: PERMIT DOCUMENTS

Job No:	24-1162
Designed by:	KCW
Drawn By:	OQ
Checked By:	KCW
Date:	04-06-25

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Date: 2025.05.21 09:30:16
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Kermit C. White, AIA
Lic. # AR-0017761

Job No: 24-1162
Sheet No:

A-4.2



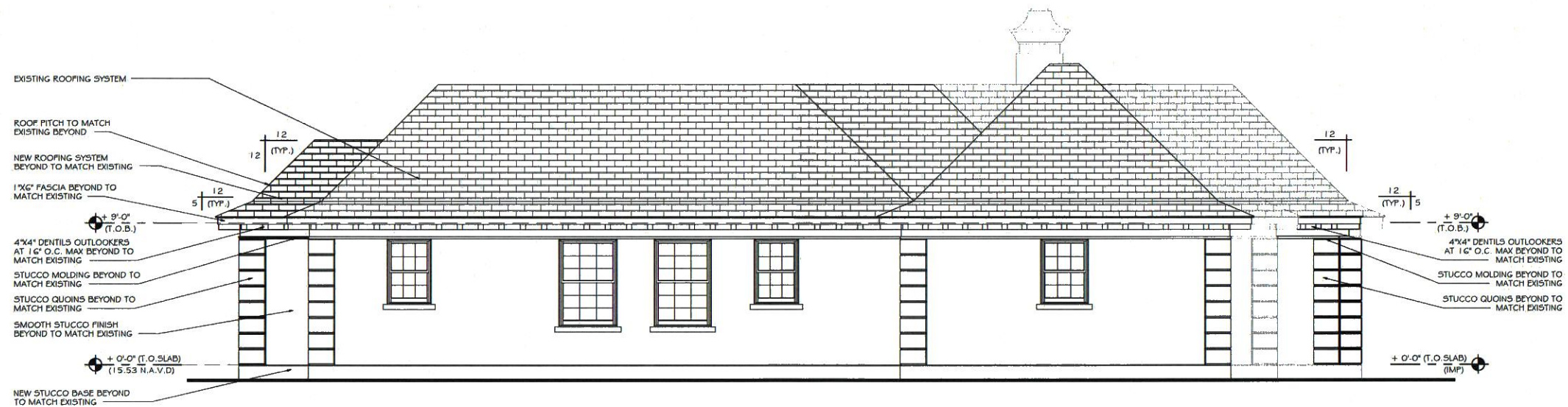
-Architecture-Interiors -
-Planning-Development-

7211 Wilson Road
West Palm Beach, Florida 33413
Ph: 561-247-6675
Fax: 561-828-0170
Lic. # AA-26003299



1 - EXISTING SIDE ELEVATION (SOUTH)

SCALE : 1/4" = 1'-0"



2 - PROPOSED SIDE ELEVATION (SOUTH)

SCALE : 1/4" = 1'-0"

RESIDENTIAL ADDITION FOR:
MRS ANNE GANNON
236 NORTH DIXIE BOULEVARD
DELRAY BEACH, FLORIDA 33444
EXISTING & PROPOSED ELEVATIONS

Rev.	Description	Date
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Rev. Description Date		
Status: PERMIT DOCUMENTS		
Job No:	24-1162	
Designed by:	KCW	
Drawn By:	OQ	
Checked By:	KCW	
Date:	04-06-25	

Digitally signed by Kermit C. White
Date: 2025.05.21 09:31:08 -04'00'
Kermit C. White, A.I.A.
Lic. # AR-00017761

Job No: 24-1162
Sheet No:

A-4.3

DEMOLITION PLAN LEGEND	
	CONTINUOUS LINE DENOTES EXISTING TO REMAIN.
	EXISTING WALL, PARTITION, OR AREA TO REMAIN
	THIN DASHED LINES DENOTES EXISTING WALL, PARTITION, DOOR, WINDOW, OR CONDUIT TO BE REMOVED
	THICK DASHED LINES DENOTES EXISTING NON-BEARING FRAMED CONSTRUCTION WALL ABOVE OR THROUGH



-Architects-Interiors -
-Planning-Development-

7211 Wilson Road
West Palm Beach, Florida 33413
Ph: 561-247-6675
Fax: 561-828-0170
Lic # AA-26003299

WALK-IN CLOSET ADDITION FOR:
McCORMACK
126 SOUTH BEACH ROAD
HOBE SOUND, FLORIDA 33455
DEMO & NEW WORK LANDSCAPE PLAN

Rev.	Description	Date
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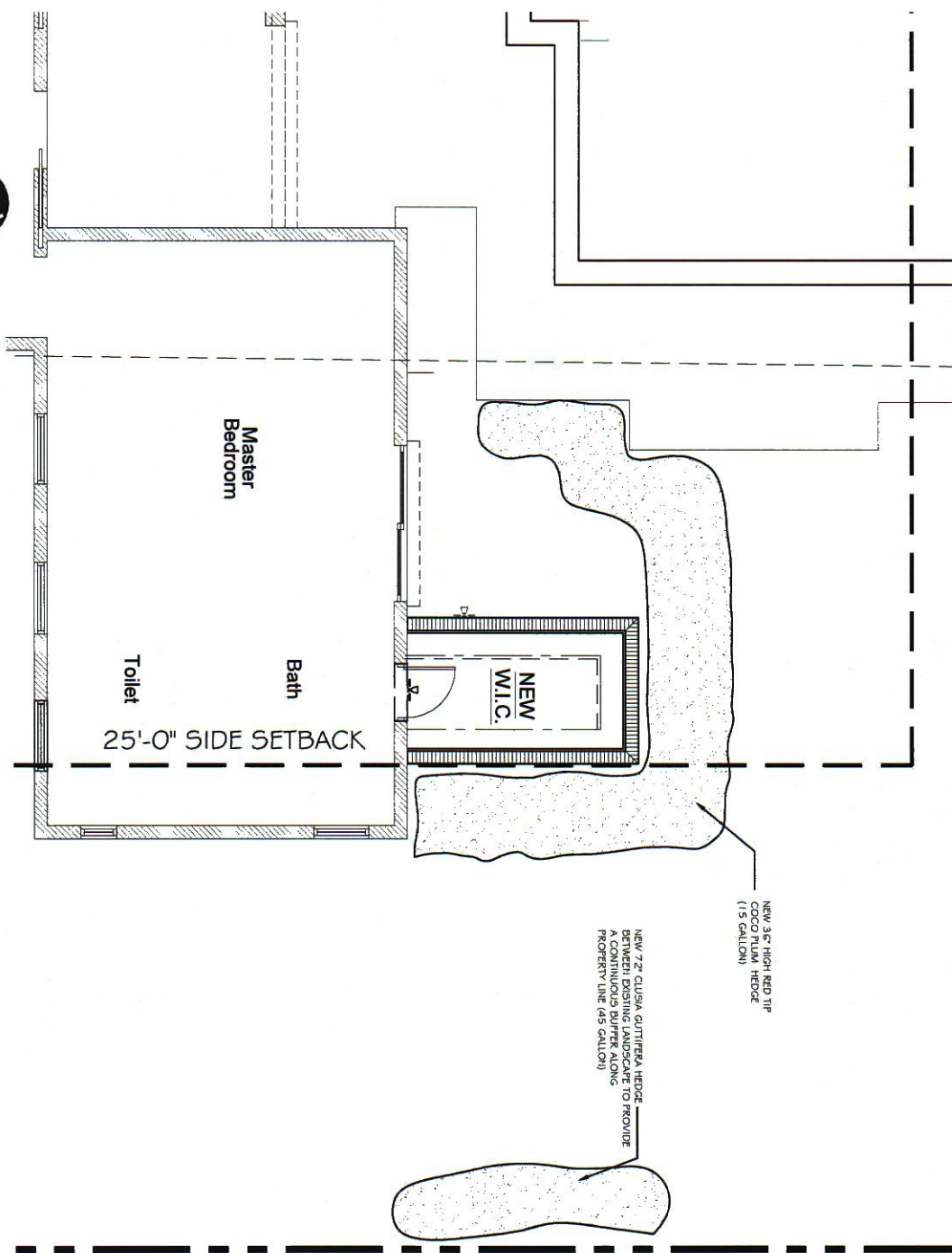
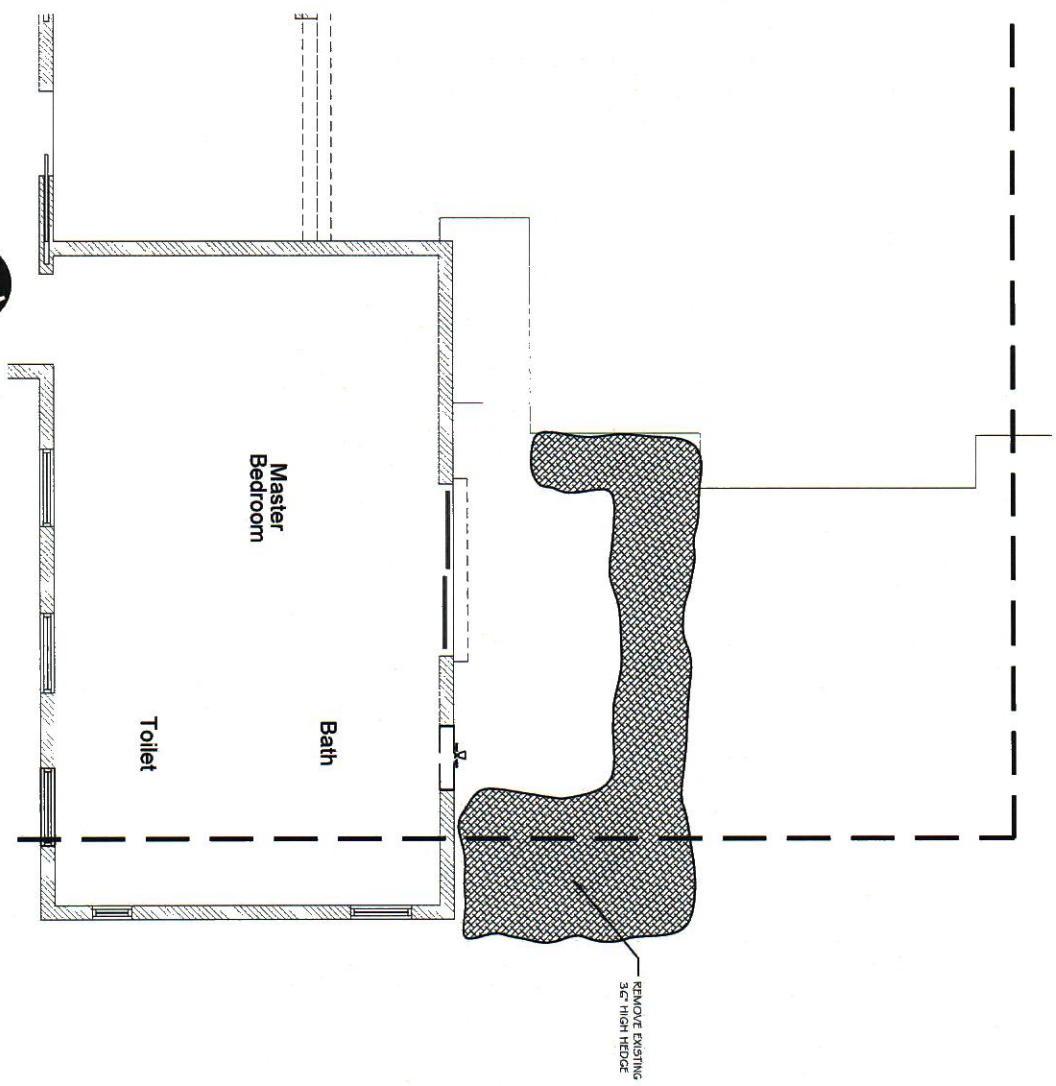
Status: Town of Jupiter

Job No:	24-1168
Designed by:	KCW
Drawn By:	QQ
Checked By:	KCW
Date:	3/31/25

Digitally signed by
Kermit C. White
Date: 2025.05.21 09:34:14 -0400
Kermit C. White, A.L.A.
Lic # AR-00017761

Job No: 24-1168
Sheet No:

L-1





NOTICE OF PUBLIC HEARING
TO CITIZENS OF THE TOWN
OF JUPITER ISLAND, FLORIDA

DEVELOPMENT REVIEW BOARD

A Public Hearing/Meeting will be held at the Jupiter Island Town Hall, 2 Bridge Rd, Hobe Sound, FL on **Thursday, November 6, 2025 at 9:00 am** for the purpose of considering the following application:

214 South Beach Road – A-80 2-Acre Estate Residential District

This is the application of Gate House South Properties, represented by Jared Gaylord, Esq. of Marc R. Gaylord, P.A., requesting the following:

A site plan approval for:

Demolition of existing main house and construction of a new 5,006 sq ft 2 story single family residence. Pool and associated hardscape and landscape permits and alterations to garage and carriage house are already underway.

Plans are available for inspection at the Building Department at Town Hall Monday through Friday, 9:00 a.m. to 3:30 p.m.

The Development Review Board meeting may be viewed live, or any time after the meeting, via the Town's website: www.townofjupiterisland.com.

STATE MANDATED STATEMENT:

If a person decides to appeal any decision made by the board, agency, committee, or commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town prior to the meeting. Please contact the Town at Town Hall, 2 Bridge Road, Hobe Sound, FL 33455, telephone (772) 545-0100



**TOWN OF JUPITER ISLAND
Development Review Board
Meeting Date: November 6, 2025**

STAFF REPORT

To: Chair and Members of the Development Review Board
Copy: Robert Garlo, Town Manager and Tom Baird, Town Attorney
From: Catherine Harding, Building, Planning, and Zoning Director
RE: 214 South Beach

Owners:

Gate House South Properties, LLC, a Florida limited liability.

Agent:

The owners are represented by Jared Gaylord Esq., of Marc R. Gaylord, P.A.

Property Description:

214 South Beach Road is an existing site with a main residence, formally known as the "Gate House" and three accessory buildings listed on the National Register of Historic Places. This application is for the main residence only. It is located in the A-80, 2-acre Estate Residential District.

Request:

The request is for the demolition of the main residence, "Gate House", and the construction of a new main residence. The main residence was previously permitted for renovation on April 3, 2025. During that renovation it was found that the condition of the structure was no longer valid and needed to be replaced.

Planning and Zoning Analysis:

There were no restrictions on the renovation of a building listed on the National Register. Similarly, there are no restrictions on the demolition of a building listed on the National Register, providing they did not receive state or federal money to

maintain the structure's condition. The attached letter from the Bureau Chief/Deputy State Historic Preservation Officer, Bureau of Historic Preservation, Florida Department of State, dated October 3, 2025, confirms that the main residence can be demolished with no restrictions.

The attached Site Data Analysis Chart shows the proposed main residence and site meet the Land Development Regulations as to the height of a building, setbacks, and floor area.

Staff Reports from Stuart Trent, Director of Engineering; King Tree Service; and Sergeant/Fire Chief, Frank Lasaga are attached for the Board's review.

Requirements for review by the Development Review Board:

Standards for demolition as stated in Article X, Division 2, Section 2.03 have been addressed by the applicant and are attached for the Board's review.

Standards for Impact Review as stated in Article X. Division 2. Section 2.02 have been addressed by the applicant and are attached for the Board's review.

Building Department Recommendations:

The King Tree review has been completed and approved, but a final inspection is required to confirm that after the Ficus trees have been removed, the buffer will be sufficient prior to the demolition permit being issued.

The initial report by Stuart Trent, Director of Engineering, requires the protection of the buried utilities along South Beach Road, by placing steel plating over all existing utility mains to protect them while debris is removed from the site.

Connection charges due to SMRU will be assessed and paid with the issuance of a building permit for the new construction. An assessment of the meter capacity will be made at that time.

A full site review by the Town's Engineer will be made prior to a permit for the new construction and any requirements will be established at that time.

These recommendations if approved by the Board will be part of the requirements for the Building Permits.

Construction site maintenance and buffers will be enforced by Code Compliance.

Cah/10/16/25

Sec. 2.03. Standards for impact review of demolition applications.

The decision-maker shall approve an application for approval of the demolition of an existing structure or building if the applicant demonstrates that:

- A. The proposed demolition will not adversely affect the public interest; and
- B. The proposed demolition will result in the complete removal of all evidence of the former structure or building; and
- C. If the demolition affects all of the buildings on the lot, all impermeable surfaces that were accessory to the demolished structures or buildings, including but not limited to driveways, terraces, courts, slabs, and foundations, will also be removed; and
- D. The landscape treatment along the front lot line will remain comparable to the character and quantity of the streetscape along lot frontage on the same public road for a distance of 1,000 feet in both directions, or will be planted such that it is comparable to the character and quantity of said streetscape if its existing condition is that it is not comparable in character or quantity; and
- E. The building or structure proposed for demolition does not meet the standards for landmark designation set out in article VIII, section 1.02; and
- F. The demolition will not unnecessarily affect existing landscape buffers, and landscape buffers that are affected will be restored upon completion of the demolition.
- G. The demolition will be staged such that:
 - 1. Noise will be minimized in terms of duration and volume; and
 - 2. Demolition equipment will be screened from view from neighboring properties and public rights-of-way to the maximum feasible extent; and
 - 3. No traffic on public streets in the town will be stopped during the period from November 1 to April 15; and
 - 4. Debris will be removed from the site in a manner that minimizes the number and length of additional trips on the public streets in the town; and
 - 5. Dust will be contained to the maximum practicable extent; and
 - 6. Demolition activities will have a minimal impact on adjacent infrastructure.
 - 7. Buildings proposed for demolition will receive pest control services to control rodents before and after the demolition.
- H. All exposed soil will be stabilized with plant material within ten days of completion of the demolition.

(Ord. No. 347, § 3, 9-16-14)

Sec. 2.02. Standards for impact review.

The decision-maker shall approve an application for impact review approval if the applicant demonstrates that:

- A. The proposed development will not adversely affect the public interest; and
- B. The proposed development is consistent with the surrounding neighborhood character; and
- C. The visibility of the proposed development from public rights-of-way, adjacent properties, the beach, the ocean and the intracoastal waterway is minimized in a manner that is consistent with the surrounding neighborhood character; and
- D. The landscape treatment along the front lot line is comparable to the character and quantity of the streetscape along lot frontage on the same public road for a distance of 1,000 feet in both directions; and
- E. The proposed ingress and egress is functionally adequate with regard to vehicular and pedestrian safety, separation of automotive traffic, traffic flow and control, provision of services, servicing of utilities, refuse collection, and access in case of fire, catastrophe or emergency; and
- F. Proposed screens and buffers are sufficient to ensure compatibility of uses and buildings with adjacent properties; and
- G. The location, design and character of lighting and sound will not adversely affect adjacent properties; and
- H. The proposed stormwater management system is sufficient to prevent runoff from adversely affecting adjacent properties; and
- I. The proposed development is designed and located so that all buildings are screened from view from adjacent properties and public roads such that the visual character of the proposed development from adjacent properties and public roads is predominantly natural, landscape plant material, and land forms.

(Ord. No. 368, § 3, 7-17-18)

RE: IRC Application - 214 South Beach - PZE0415- Demo -Main Residence w/ Proposed new Residence

From Stuart Trent <strent@tji.martin.fl.us>
Date Fri 9/5/2025 3:21 PM
To Amy Vanilla <avanilla@tji.martin.fl.us>

Given the nature of the proposed work, my only concern is protection of the buried utilities along South Beach Road. The contractor will need to place steel plating over all existing utility mains to protect them while debris is removed from the site. SMRU will provide a full site review when they come back for development proposal. At this time, no engineering review is required.

stuart

From: Amy Vanilla <avanilla@tji.martin.fl.us>
Sent: Friday, September 5, 2025 10:31 AM
To: John Duchock <jduchock@tji.martin.fl.us>; Stuart Trent <strent@tji.martin.fl.us>; Frank Lasaga <flasaga@tji.martin.fl.us>; Brian Fischer <bfisch@bellsouth.net>
Cc: Kim McLaughlin <kmclaughlin@tji.martin.fl.us>; Megan McMahon <mmcmahon@tji.martin.fl.us>; Catherine Harding <charding@tji.martin.fl.us>
Subject: IRC Application - 214 South Beach - PZE0415- Demo -Main Residence w/ Proposed new Residence

Good Afternoon all.

Please see the attached document for an IRC review located 214 South Beach Road. This will hopefully be on the IRC meeting for October.

DEMOLISH THE EXISTING RESIDENCE LOCATED IN THE CENTER OF THE PROPERTY AND THE ASSOCIATED TERRACE, WALKWAY, AND HARDSCAPE ADJACENT TO THE EXISTING RESIDENCE. LANDSCAPING AND HARDSCAPING WILL BE MODIFIED AS PART OF THIS DEMOLITION PROCESS; HOWEVER, NOT ALL STRUCTURES ON THE PROPERTY WILL BE DEMOLISHED.

If you need a hard copy, it will be available in the building department.

Stuart if you prefer a hard copy, it will be available in the building department.

Note: We are hoping to have all responses back by Wednesday, September 10th, as we need to send out notices for the meeting by September 11th.

Thank you,

Amy Vanilla

Town of Jupiter Island – Building Department
2 Bridge Road
Hobe Sound, FL 33455



MEMORANDUM

TO: Building Department
FROM: Sergeant/Fire Chief Frank Lasaga
DATE: September 17, 2025
SUBJECT: 214 S Beach Rd

After reviewing the proposed plans for the demolition of a single-family residence at 214 South Beach Road, Jupiter Island, I find the following considerations relating to Traffic and Safety for the project:

Traffic: Please advise the builder to limit disruption to the adjacent traffic flow. Please have arriving and departing truck traffic at the site enter via S Beach Rd. Trucks over 1 ton are prohibited on Gomez Rd, except for local deliveries.

Traffic control, i.e. flag crews, are required when traffic entering and exiting the site impacts general traffic flow and when equipment/supply deliveries must be done from the roadway.

Parking: There will be limited parking available for this project. Please remind the builder to make parking arrangements and transport workers to and from the site from off island, as needed. There will be no parking in the following areas:

- On the road right of way
- On any other private property, unless specifically permitted by the owner of the property in question

Fire Suppression: There is adequate water supply for this site with the existing hydrants and the relatively short distance from the right of way to the dwelling.

The site plan for the demolition phase appears to provide adequate access for emergency vehicle access. The contractor shall ensure all access roads are kept clear for emergency vehicles.

Site Security: Please secure the site with a chain link fence and closing gate. "Felony Trespass Warning" signs should be posted in a visible location. Porta Jon's shall be located to be out of plain view from the roadway. All tools should be secured on the site at the end of the day in a locked container or room.

The General Contractor should establish a file on all Contractor's and Sub Contractor's employees who are working on the site. This should include and document the names of all employees coming to work on the site and be updated weekly with the following:

Name

- Address
- Driver's license number
- Vehicle Registration number

Trespass authorization forms should be signed, notarized, and submitted to the Public Safety Department. The completed form enables officers to act on behalf of the property owner to warn trespassers to leave the site and not return upon penalty of law.

Other concerns: The contractor shall ensure compliance with the following requirements:

- Noise ordinance requirements in and around the site, including decibel and time limits; no loud music permitted.
- No trespassing on private property
- Control of damage to lawns, curbs, rights of way or any foliage by contractors, workers, and equipment. Repairs need to be completed *immediately*.

The purpose of this is to ensure a safe and secure construction site on Jupiter Island. We are requesting this information be incorporated in the initial plan review process and as such, be indicated and agreed upon by the Town of Jupiter Island Building Department prior to issuance of the permit.

Amy Vanilla

From: Brian Fischer <bfisch@bellsouth.net>
Sent: Wednesday, October 15, 2025 7:41 PM
To: Catherine Harding
Cc: Jared Gaylord; Megan McMahon; Amy Vanilla
Subject: Re: 214 South Beach Road

External Email - Use Caution

Hi Catherine,

I have reviewed the new landscape plan. Overall it appears good but I do need to do a site visit now that all the Ficus trees have been removed to make sure the buffers are sufficient. I can review this next Monday.

Thanks,

Brian Fischer
ISA Certified Arborist FL-5287A
King Tree Service of South Florida
(561) 798-3977

On Tuesday, October 14, 2025 at 09:54:45 AM EDT, Catherine Harding <charding@tji.martin.fl.us> wrote:

Brian,

I hope you had a nice vacation. You had a question about the 214 SB landscape plan. The applicant has supplied a future landscape plan, and this is what we will follow. The ordinance allows for an applicant to propose a new landscape plan to replace the old. We have your report of October 10th, please review the site again when you get a chance, and we will use your final report for the Development Review Board meeting on November 6th.

Thank you for your continued attention to our landscape reviews.

Catherine

KING TREE SERVICE

OF SOUTH FLORIDA

P.O. Box 210847
Royal Palm Beach, FL 33421-0847

October 10, 2025

**Catherine Harding
Town of Jupiter Island
2 Bridge Road
Hobe Sound, FL 33455**

RE: 214 South Beach Road - Demo and Final Landscape Plan

- The North driveway is proposed to be relocated. Im very happy with the proposed relocation of the driveway to take a path south of Ficus aurea #136. The previously approved driveway location would have caused significant damage to this tree. I believe Ficus aurea #136 is the last standing large Ficus species (and the only native Ficus) left on the property after construction damage and hypoxylon canker caused the 7 other large Ficus trees to die and be removed.
- Tree Protection Fencing will be in place for all trees and buffer and will remain in place through the remainder of construction. This is necessary and important to this site as we have already had several trees die due to construction damage.
- All invasives species will be removed from the site and replaced as necessary to fill in the buffer.
- All proposed removals and relocations are ok with me.
- Stockpiled construction materials will no longer be stored in the Tree Protection Zones. This will be very beneficial to the remaining trees on site.
- All new proposed plant material is suitable for the site.
- I have not had a chance to review the site since the 7 Ficus trees have been removed. I cannot comment on the final buffer of the property until I review the site again. I am out of town next week (10/13/25-10/17/25) but I will review in person as soon as I am back in town.

Prepared by:



**Brian Fischer
ISA Certified Arborist FL-5287A**

KING TREE SERVICE

OF SOUTH FLORIDA

P.O. Box 210847
Royal Palm Beach, FL 33421-0847

September 10, 2025

**Catherine Harding
Town of Jupiter Island
2 Bridge Road
Hobe Sound, FL 33455**

RE: 214 SBR- Demolition Plans and Current Site Conditions

Much of the previous Landscape Plan was either not followed or had not yet been implemented. How much of the previously approved Landscape Plan is still in effect or to be implemented at a future date and how much does the new Landscape Plan supersede the previously approved Landscape Plan? The newly submitted Landscape Plan is quite vague and states that a full Landscape Plan will be submitted at a future date.

Observations from my site visit and Landscape Plan review:

- The current state of the construction site is in a very harmful condition to the existing plant material and evidence of tree decline is present. Tree Protection Fencing (TPF) has only been utilized in a few areas and even those areas are being disturbed by construction activities that include but are not limited to:
 - Large piles of dirt placed around trees.
 - Digging around trees.
 - Construction materials such as wood, pallets of roof tiles and rebar piled around trees.
 - Construction equipment parked directly under large trees damaging the roots.
 - Changes in grade which can lead to tree decline.
- 3 large Ficus trees are currently infected with Hypoxylon and will need to be removed. These should be removed as soon as possible to avoid infecting other healthy trees on Jupiter Island. While a healthy tree can become infected with hypoxylon, trees negatively impacted by construction activities are much more likely to be infected with this disease. This exemplifies the importance of Tree Protection Fencing. More new plant material may need to be installed to make up for the canopy loss of these 3 large trees.
- It is very frustrating that after several letters with comments stating that all trees should be identified there are still nearly 50 trees on the landscape plan labeled as “unknown”.
- Only 12 new plants are shown on the new Landscape Plan. These new plants are to be installed in the buffer and they are labeled as “Ficus”. There are over 800 species of Ficus. We need to know the exact species to be installed. Additionally, Ficus hedge material in general is no longer favored due to Ficus Whitefly and an alternative species such as Clusia is recommended.

KING TREE SERVICE

OF SOUTH FLORIDA

P.O. Box 210847
Royal Palm Beach, FL 33421-0847

- Many invasive species still remain on site and have yet to be removed. The new Landscape Plan states that they will be removed and infilled as necessary to provide for buffer. I'd like to see more specifics about this topic.
- The new driveway to the north side of the property has not been installed yet. Stakes mark out its future location. Ficus aurea #136 (native species) will clearly be impacted by this driveway even though the Landscape Plan says it will not be. This tree is scheduled to remain on site in its current location. This driveway location will be a huge negative impact on Ficus aurea #136. This is one of the last large Ficus on site that is not infected with Hypoxylon (native Ficus trees rarely get Hypoxylon) and with the removal of the 3 other Ficus this tree is more valuable to the site than ever. I do not recommend the driveway be installed as shown by the location of the stakes. A southern route around this tree may be more beneficial overall and still accomplish the same goal.

My recommendation at this time is for the following:

- Remove the 3 Ficus infected with Hypoxylon immediately.
- Remove all stockpiled construction materials and construction equipment from the base/root zone of all trees.
- Remove piles of dirt from the base/root zone of all trees and re-establish proper grade where it has been changed.
- Install Tree Protection Fencing immediately around all trees to remain on site and the buffer.
- Propose alternative ideas for Ficus aurea #136 and the new driveway.
- Provide detailed Demolition Plan for demolition equipment access and material removal from the site that does not affect existing trees, particularly Ficus aurea #136.

With the vagueness of the newly submitted Landscape Plan and the current state of the construction site and its negative impacts on existing plant material I cannot recommend this project to move forward at this time. Significant communication and action regarding the current site conditions are needed.

Prepared by:



Brian Fischer
ISA Certified Arborist FL-5287A



Town of Jupiter Island Development Review Board (DRB)

PROPERTY:

Street Address: 214 South Beach Road, Jupiter Island, FL 33455
Tax Parcel Number: 35-38-42-001-102-00162-5 Zoning: A-80 2-Acre Estate
Legal/General Description See attached Exhibit "A" Legal Description

AGENT: (If Applicable, notarized power of attorney must be attached)

Name: Jared Gaylord, Esq. of Marc R. Gaylord, P.A.
Mailing Address: 12000 SE Dixie Highway, Hobe Sound, FL 33455
Phone #: 772-545-7740 Email: jared@marcgaylordlaw.com

PROPERTY OWNER: as shown in the official County Records (please attach current tax bill & deed)

Name: Gate House South Properties, LLC, a Florida limited liability company
Mailing Address: 19 East 72nd Street, Apt. 5D, New York, NY 10021
Phone #: _____ Email: _____

EXPLANATION OF REQUEST:

Demolish and replace the existing main residence with a new main residence in a similar location and scale as the previous residence. The property was previously granted Impact Review Committee approval in November 2024 for extensive renovations that would have been larger than the proposed floor area now proposed. Unfortunately, the structure's poor condition did not justify renovating the existing main residence and the property owner decided to instead replace this structure.

AFFECTED ARTICLE AND SECTION (written out):

Article X, Division II, Section 2.02 - Standards for Impact Review

Article X, Division II, Section 2.03 - Standard for Impact Review of Demolition Applications

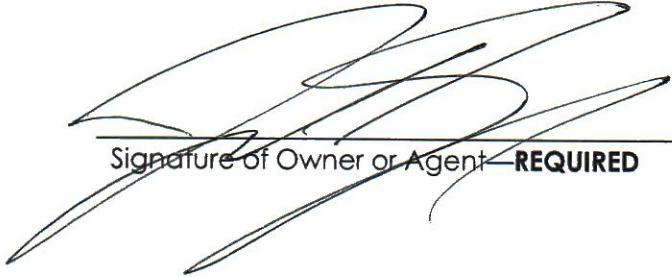
HARDSHIP STATEMENT, IF VARIANCE IS REQUESTED:

In seeking this variance, I contend that the following hardship would result if the ordinance provisions were strictly enforced and my hardship was denied:

N/A

FEE: \$1,000 per Request (Please make check payable to the Town of Jupiter Island)

Information as contained within this application **MUST** be provided and accepted by the Town of Jupiter Island for this project to be considered. Additional information as required by the administrative official or as attached by the applicant constitutes a part of this application. The administrative official reserves the right to reject any application which is improperly filled out or incomplete.



Jared Gaylord, attorney-in-fact for
Gate House South Properties, LLC
a Florida limited liability company

10/15/2025

Signature of Owner or Agent **REQUIRED**

Printed Name

Date

EXHIBIT "A"**Legal Description**

Commencing at the Southeast corner of Lot 35, Block 115, Island Beach Revised Plat No. 2, Plat Book 2, Page 44, Public Records of Martin County, Florida; Thence run Easterly along the Easterly extension of the South line of said Lot 35 a distance of 32.31 feet to the centerline of State Road 707; thence measuring right to left an angle of 111 degrees 53' 01", run along the centerline of State Road 707 a distance of 177.58 feet to the Point of Beginning; Thence measuring left to right (right to left) an angle of 68°12'25", run a distance of 212.97 feet; Thence measuring left to right an angle of 90°04'51", run a distance of 165.58 feet more or less to the South line of Lot 102, Plat of Gomez Grant and Jupiter Island, Plat Book 1, Page 80, Public Records of Palm Beach (now Martin) County, Florida; Thence measuring left to right an angle of 176 degrees 58'00", run a distance of 121.25 feet; Thence measuring left to right an angle of 103° 51'00", run a distance of 52.25 feet; thence measuring left to right an angle of 235°34'30", run a distance of 39.57 feet; thence measuring left to right an angle of 115°30'00", run a distance of 276.63 feet to the centerline of State Road 707, thence measuring left to right an angle of 66°13'30", run along the centerline of State Road 707, a distance of 346.12 feet (367.66 feet to) the Point of Beginning, less and excepting the North 20 feet and Right of Way for State Road 707.

Together with Easement in common with others for access to the Atlantic Ocean, over and across the following described property:

Start at the Southeast corner of Lot 35, Block 115, The Island Beach Revised Plat #2, according to Plat thereof recorded in Plat Book 2, Page 44, Public Records of Martin County, Florida; thence run S89°23'21" E along the Easterly extension of the South line of said Lot 35 for a distance of 32.31 feet to a point in the centerline of Gomez Road; and thence run S21°05'30" E along said road centerline (State Road 707) for a distance of 134.35 feet to the Point of Beginning; thence run N83°56'11" E for a distance of 41.71 feet to a concrete monument; thence continue on said line and bearing for a distance of 550.74 feet to a concrete monument; thence continue on said line and bearing for a distance of 150 feet, more or less to the Atlantic Ocean; thence meander the shoreline of the Atlantic Ocean in a Southeasterly direction to the point of intersection with a line which lies 8 feet Southerly of, as measured at right angles, the first described line; thence run S83°56'11" W along a line parallel to and 8 feet Southerly of said first described line to the point of intersection with the said centerline on State Road 707; thence run Northwesterly along said centerline to the point and place of beginning.

Site Analysis:

Address:	Zoning District:		
Planned Date of Construction:	Demo 2025/Dev to follow		
	Permitted	Existing	Proposed
Lot Area:	2 Acres	1.86997 Acres	1.86997 Acres
Floor Area*:	10,166.8 Sq. Ft.	6,247.5 Sq. Ft.	8,117 Sq. Ft.
Principle Dwelling: (10,000 sf max)	Max 10,000 Sq. Ft.	3,743 Sq. Ft.	5,006 Sq. Ft.
Accessory Structure #1: (not to exceed 1/3 square footage of principal dwelling)	Max: 3,388.94 Sq. Ft.	Carriage: 1,184 SF (31.6%)	Carriage: 1,248 SF (25.9%)
Accessory Structure #2: (not to exceed 1/3 square footage of principle dwelling)	Max: 3,388.94 Sq. Ft.	Guest House: 964 SF (25.8%) Pool Cabana: 640 SF (17.1%)	Guest House: 964 SF (19.3%) Pool Cabana: 640 SF (12.8%) Garage: 645 SF (12.9%)
FAR (Floor Area Ratio): Floor Area ÷ Lot Area		7.7%	10%
Lot Width:	200'	345.56 feet	345.56 feet
Front Yard Setback:	50'	27' 7 1/2"	27' 7 1/2"
Rear Yard Setback:	50'	9' 8 3/4"	9' 8 3/4"
Side Yard Setback: One-Story: Two-Story:	One-Story: 25' Two-Story: 30'	1-Story North: 131.81' 1-Story South: 91.47' 2-Story North: 126.81' 2-Story South: 86.47'	1-Story North: 104.05' 1-Story South: 93.58' 2-Story North: 99.05' 2-Story South: 88.58'
Initial Measuring Point ("IMP"):		12.6' NAVD	12.58' NAVD
Fill:	3 ft max	N/A	No more than 12"
Roof Height: Roof Pitch: One-Story: Two-Story:	1-Story < 3:12 Slope: 19' 1-Story > 3:12 Slope: 22' 2-Story < 3:12 Slope: 27' 2-Story > 3:12 Slope: 30'	1-Story < 3:12 Slope: 14' 4 5/8" 1-Story > 3:12 Slope: N/A 2-Story < 3:12 Slope: 22' 5 3/4" 2-Story > 3:12 Slope: N/A	1-Story < 3:12 Slope: 16' 5 1/8" 1-Story > 3:12 Slope: N/A 2-Story < 3:12 Slope: 23' 6 7/8" 2-Story > 3:12 Slope: 27' 5"
Exterior Wall Height: One-Story: Two-Story:	14 ft 22 ft	1-Story: 11' 5 5/8" 2-Story: 19' 7 1/8"	1-Story: 12' 8 5/8" 2-Story: 22'
Parking Spaces: (1 per bedroom, 1.5 max)	7 minimum; 10.5 maximum		9 spaces (2 in garage, 7 at site)
Driveway Setback:	8'		31'
Landscape Area:	50%	70%	74%
Elevation of Finish Floor:	12" above BFE	Main House: 13.54'	Main House: 13.56'
Elevation of LHSM: (Lowest Height Structural Member)	N/A	N/A	N/A
FEMA Flood Zone:	Zone "X" Minimal Flood Hazard	Same	Same

*Total Floor Area to include living space and non-living space.

Basic Info

PIN 35-38-42-001-102-00162-5	AIN 57225	Situs Address 214 SOUTH BEACH RD JUPITER ISLAND FL	Website Updated 10/15/25
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General Information

CHANGE MAILING ADDRESS		SIGN UP FOR PROPERTY FRAUD ALERT	
Property Owners GATE HOUSE SOUTH PROPERTIES LLC	Parcel ID 35-38-42-001-102-00162-5	Use Code/Property Class 0100 - 0100 Single Family	
Mailing Address 19 E 72ND ST #5D NEW YORK NY 10021	Account Number 57225	Neighborhood 135735 Jupiter Island - Interior	
Tax District JUPITER ISLAND	Property Address 214 SOUTH BEACH RD JUPITER ISLAND FL	Legal Acres 1.9	
	Legal Description JUPITER ISLAND, BEG S/LN LOT 102 & C/LN ...	Ag Use Size (Acre\Sq Ft) N/A	

Current Value

Year	Land Value	Improvement Value	Market Value	Value Not Taxed	Assessed Value	Total County Exemptions	County Taxable Value
2025	\$ 4,804,000	\$ 2,160,670	\$ 6,964,670	\$ 0	\$ 6,964,670	\$ 0	\$ 6,964,670

Market values shown on the website reflect market conditions as of January 1st, the statutory assessment date. We are prohibited by law from relying on sales that occur after the January 1 assessment date. Therefore, market values shown on the website do not reflect today's market conditions, but rather the market conditions last year. In addition, the statutes require the county Property Appraiser to deduct for typical costs of sale (which include expenses such as commissions, title insurance, appraisals, inspection fees, etc.) when arriving at market value for tax purposes. That is why the market value for tax purposes is different from what a property would sell for today.

Current Sale

Sale Date 6/1/22	Grantor (Seller) PHILLIPS PROPERTY COMPANY LLC	Doc Num 2963702
Sale Price \$ 11,000,000	Deed Type Warranty Deed	Book & Page <u>3317 0222</u>

Legal Description

JUPITER ISLAND, BEG S/LN LOT 102 & C/LN OF RD 707, W ALG S/LN 278.91', N 145' M/L, E TO C/LN & SELY TO POB (LESS R/W) & TRACT A AS IN DB 27/343 TR IN OR 174/246 IN LOT 103 W OF RD

The legal description is intended for general information only. The Property Appraiser assumes no responsibility for the uses or interpretations of the legal description.



**HONORABLE
RUTH PIETRUSZEWSKI, CFC**

MARTIN COUNTY TAX COLLECTOR
3485 SE WILLOUGHBY BLVD
STUART, FL 34994

Property Address 214 SOUTH BEACH RD
Legal Description JUPITER ISLAND, BEG S/LN LOT 102 & C/LN OF RD 707, W ALG S/LN 278.91', N 145' M/L, E TO C/LN & SELY
See Additional Legal on Tax Roll

REAL ESTATE

2024 MARTIN COUNTY
Notice of Ad Valorem Taxes and Non-Ad Valorem Assessments

GATE HOUSE SOUTH PROPERTIES LLC
19 E 72ND ST #5D
NEW YORK, NY 10021

PARCEL ID: 35-38-42-001-102-00162.50000
ALTERNATE ID: 57225
ESCROW CODE:



SCAN TO VIEW YOUR
BILL ONLINE!

If Paid By	Dec 31, 2024	Paid	\$105,104.06	01/08/2025
Please Pay	\$105,104.06			

Ad Valorem Assessments

Taxing Authority	Telephone	Millage	Assessed Value	Exemption	Taxable Value	Tax Amount
JUPITER ISLAND-AD VAL-OP	772-545-0100	2.8086	6,395,060	0	6,395,060	17,961.17
JUPITER ISLAND-EROSION	772-545-0100	0.9593	6,395,060	0	6,395,060	6,134.78
JUPITER ISL-DEBT SERVICE	772-545-0100	0.2273	6,395,060	0	6,395,060	1,453.60
SCHOOL-GENERAL FUND	772-219-1200 ext 30273	3.0770	6,395,060	0	6,395,060	19,677.60
SCHOOL CAPITAL OUTLAY	772-219-1200 ext 30273	1.5000	6,395,060	0	6,395,060	9,592.59
SCHOOL - DISCRETIONARY	772-219-1200 ext 30273	0.7480	6,395,060	0	6,395,060	4,783.50
SCHOOL ADDTNL VOTER MIL	772-219-1200 ext 30273	0.4250	6,395,060	0	6,395,060	2,717.90
CHILDRENS SERVICES ORDNCs	772-288-5758	0.3618	6,395,060	0	6,395,060	2,313.73
FL-INLAND NAVIGATION DIST	561-627-3386	0.0288	6,395,060	0	6,395,060	184.18
S. FLA WTR MGMT	561-686-8800	0.2301	6,395,060	0	6,395,060	1,471.50
COUNTY-GENERAL FUND-OP	772-463-2868	6.5776	6,395,060	0	6,395,060	42,064.15
MILLAGE CODE 4300	TOTAL MILLAGE	16.9435	TOTAL AD VALOREM TAXES		\$108,354.70	

Exemptions

Non Ad Valorem Assessments

Levying Authority	Telephone	Rate (\$ per unit)	Tax Amount
TOTAL NON AD VALOREM TAXES			\$0.00

TOTAL \$108,354.70

*SEE REVERSE SIDE FOR INSTRUCTIONS PLEASE DETACH AND RETURN BOTTOM PORTION WITH YOUR PAYMENT OR PAY CURRENT TAXES ONLINE AT [HTTP://MARTINTAXCOLLECTOR.COM](http://MARTINTAXCOLLECTOR.COM)

2024

Make checks payable to: Ruth Pietruszewski, Tax Collector

Mail payments to: 3485 SE Willoughby Blvd Stuart, FL 34994 (772) 288-5600

CANADIAN CHECKS MUST BE PAYABLE IN U.S. FUNDS & DRAWN ON A U.S. BANK **DO NOT SEND CASH**

PARCEL ID: 35-38-42-001-102-00162.50000

ALTERNATE ID: 57225

ESCROW CODE:

GATE HOUSE SOUTH PROPERTIES LLC
19 E 72ND ST #5D
NEW YORK, NY 10021

Please check one box. Current taxes are processed by the month they are postmarked. Delinquent taxes are processed by the date they are received.

Dec 31, 2024 \$105,104.06

Paid By WILLIAM S III ARTHUR T

Paid \$105,104.06 01/08/2025

TAXES BECOME DELINQUENT APRIL 1 - ADD 3% PLUS FEES

Notice: If taxes on your property are not paid in full, a tax certificate will be sold for the delinquent taxes.



* 1 + 5 7 2 2 5 + 2 0 2 4 *



Prepared by and return to:
Robert S. Kramer, Esq.
Kramer, Sopko & Copeland, P.A.
411 SE Osceola Street Suite 200
Stuart, FL 34994
772-288-0048
 File Number: 100261.01
 Will Call No.:

Parcel Identification No. 35-38-42-001-102-00162-5

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 1st day of June, 2022 between Phillips Property Company, L.L.C., a North Carolina limited liability company whose post office address is c/o Market Square Tower, 317 W. High Ave., 10th Floor, High Point, NC 27260 of the County of Guilford, State of North Carolina, grantor*, and Gate House South Properties, LLC, a Florida limited liability company whose post office address is 19 East 72nd Street, Apt. 5D, New York, NY 10021 of the County of New York, State of New York, grantee*.

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

Together with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To have and to hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021, covenants, restrictions, easements, reservations and limitations of record, if any.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

[Signature Page Follows]

Signed, sealed and delivered in our presence:

Phillips Property Company, L.L.C., a North Carolina limited liability company

By: S. Davis Phillips
S. Davis Phillips, Manager

Catherine J. White
Witness #1 Signature

Catherine J. White
Witness #1 Print Name

Alan Scheppman
Witness #2 Signature

Alan Scheppman
Witness #2 Print Name

State of North Carolina
County of Guilford

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 31 day of May, 2022 by S. Davis Phillips, Manager of Phillips Property Company, L.L.C., a North Carolina limited liability company, on behalf of the company, who is personally known to me or has produced a driver's license as identification.

[Notary Seal]

Cassie Hall
Notary Public

Printed Name: Cassie Hall

My Commission Expires: 3-13-2027

CASSIE HALL
Notary Public
Randolph County, NC
My Commission Expires 3-31

CCH
3-13-2027

EXHIBIT "A"**Legal Description**

Commencing at the Southeast corner of Lot 35, Block 115, Island Beach Revised Plat No. 2, Plat Book 2, Page 44, Public Records of Martin County, Florida; Thence run Easterly along the Easterly extension of the South line of said Lot 35 a distance of 32.31 feet to the centerline of State Road 707; thence measuring right to left an angle of 111 degrees 53' 01", run along the centerline of State Road 707 a distance of 177.58 feet to the Point of Beginning; Thence measuring left to right (right to left) an angle of 68°12'25", run a distance of 212.97 feet; Thence measuring left to right an angle of 90°04'51", run a distance of 165.58 feet more or less to the South line of Lot 102, Plat of Gomez Grant and Jupiter Island, Plat Book 1, Page 80, Public Records of Palm Beach (now Martin) County, Florida; Thence measuring left to right an angle of 176 degrees 58'00", run a distance of 121.25 feet; Thence measuring left to right an angle of 103° 51'00", run a distance of 52.25 feet; thence measuring left to right an angle of 235°34'30", run a distance of 39.57 feet; thence measuring left to right an angle of 115°30'00", run a distance of 276.63 feet to the centerline of State Road 707, thence measuring left to right an angle of 66°13'30", run along the centerline of State Road 707, a distance of 346.12 feet (367.66 feet to) the Point of Beginning, less and excepting the North 20 feet and Right of Way for State Road 707.

Together with Easement in common with others for access to the Atlantic Ocean, over and across the following described property:

Start at the Southeast corner of Lot 35, Block 115, The Island Beach Revised Plat #2, according to Plat thereof recorded in Plat Book 2, Page 44, Public Records of Martin County, Florida; thence run S89°23'21" E along the Easterly extension of the South line of said Lot 35 for a distance of 32.31 feet to a point in the centerline of Gomez Road; and thence run S21°05'30" E along said road centerline (State Road 707) for a distance of 134.35 feet to the Point of Beginning; thence run N83°56'11" E for a distance of 41.71 feet to a concrete monument; thence continue on said line and bearing for a distance of 550.74 feet to a concrete monument; thence continue on said line and bearing for a distance of 150 feet, more or less to the Atlantic Ocean; thence meander the shoreline of the Atlantic Ocean in a Southeasterly direction to the point of intersection with a line which lies 8 feet Southerly of, as measured at right angles, the first described line; thence run S83°56'11" W along a line parallel to and 8 feet Southerly of said first described line to the point of intersection with the said centerline on State Road 707; thence run Northwesterly along said centerline to the point and place of beginning.

LAW OFFICES OF
MARC R. GAYLORD, P.A.

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MARC R. GAYLORD, ESQ
JARED E. GAYLORD, ESQ.
FORD T. DWYER, ESQ.

October 15, 2025

VIA HAND DELIVERY

Catherine Harding
Town of Jupiter Island
P.O. Box 7
Hobe Sound, FL 33475

RE: Gate House South Properties, LLC, a Florida limited liability company
Development Review Board - Demolition and Redevelopment Application
Property Address: 214 South Beach Road, Hobe Sound, Florida 33455

Dear Mrs. Harding:

This office represents the interests of Gate House South Properties, LLC, a Florida limited liability company and the Williams family as it pertains to its application to the Development Review Board ("DRB") for the demolition and replacement of the existing main residence at 214 South Beach Road.

The Williams family purchased 214 South Beach Road on June 1, 2022. The property is located along the west side of South Beach Road, in the A-80 two-acre estate residential zoning district. The current three-story main residence on the property was constructed in approximately 1900 according to Martin County records. The existing floor area for the main residence is approximately 3,286.5 square feet. On November 7, 2024, my client received Impact Review Committee approval for redevelopment of the property.¹ Over the past year, my client has undertaken this renovation and redevelopment work. Unfortunately, when attempting to refurbish the existing residence, my client's contractor discovered the poor condition of the structure. After debate with project professionals, the Williams family decided it was best to demolish the existing residence and rebuild a new main residence. If this request is granted, my client will close their existing renovation permit for the main residence and proceed with a new demolition and redevelopment permit.

This redevelopment and demolition application are to be heard simultaneously. Due to spalling, wood destroying organisms, and the poor structural integrity of the existing main home, my client

¹ The previously approved structure was larger than the proposed structure.

wishes to demolish the main residence and remove the associated terrace, walkway, and mechanical pads for the main residence. The remaining structures, including the existing donkey house, detached bathroom, guest house, carriage house, and garage, along with associated pool, landscape, and hardscape, will not be removed as part of this demolition request. My client intended to begin the demolition and development activities during the Town's 2025 summer building season; however, due to delays, quorum issues, and reconstituting the IRC as the DRB, my client now requests the demolition phase to begin after November 1, 2025. My client's contractor, Sands Construction, estimates the demolition phase will take less than a week.

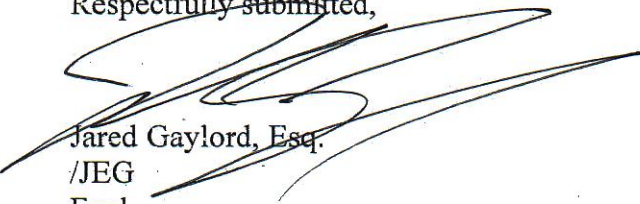
The existing floor area contained on the property totals **6,247.5 square feet**. The proposed floor area, after redevelopment is completed, will be **8,117 square feet**. This is 2,049.8 square feet less than the permitted floor area of **10,166.8 square feet**. The new home will be located in roughly the same location as the prior main residence. The new main residence will consist of a master suite, laundry, dining room, kitchen, living room, storage areas, upstairs bedrooms, and office space. The previously accessible third story will not be retained.

Tree protection fences will be utilized along the north, west, and east boundary lines to protect existing landscape buffers. The location of the property's dumpster, materials storage, construction parking, and temporary toilet will be accessible for construction crews, while being shielded from view through the use of the property's existing and dense streetscape buffer. The property's previously approved construction buffers will be utilized for this construction project.

The existing landscape buffers are characteristic of this area of Jupiter Island. The proposed landscape open space of 74% of the property's size, well exceeds the Town's required landscape open space of 50% of the property. The property's interior is not visible from South Beach Road or other vantage points. This is typical for other properties south of the intersection of Gomez Road and South Beach Road but is rarer for nearby properties north of this intersection. The location of the main residence to be demolished and rebuilt in the center of the property – far from both curb cuts – will render view of this construction work impossible from South Beach Road. Within ten days of demolition, the demolition area will be seeded or sodded in those areas where construction will not commence immediately afterwards.

The Williams family respectfully requests that the DRB approves this demolition and development application so that demolition can shortly thereafter. This will prepare the site for eventual redevelopment. My client intends that demolition and redevelopment will be consistent with other construction projects on Jupiter Island. If you have any questions or concerns regarding the foregoing, or any of the enclosed attachments, please do not hesitate to contact the undersigned.

Respectfully submitted,



Jared Gaylord, Esq.

/JEG

Encl.

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FORD T. DWYER, ESQ.

October 15, 2025

VIA HAND DELIVERY

Catherine Harding
Town of Jupiter Island
P.O. Box 7
Hobe Sound, FL 33455

RE: Gate House South Properties, LLC, a Florida limited liability company
Development Review Board - Demolition & Redevelopment Standards
Property Address: 214 South Beach Road, Hobe Sound, Florida 33455

Dear Mrs. Harding:

This office represents the interests of Gate House South Properties, LLC, a Florida limited liability company and the Williams family, as it pertains to its application to the Development Review Board for the demolition of the main residence and removal of the main residence's terrace, walkways, mechanical equipment and equipment pads, and associated hardscape and the redevelopment and replacement of the main residence.

The enclosed packet will show my clients' request satisfies the Standards for Impact Review of Demolition Applications as set forth in Article X, Division II, Section 2.03 because:

- A. The proposed demolition will not adversely affect the public interest.

The proposed demolition will not adversely affect neighboring properties or the public interest. The existing residence is located in the A-80 residential zoning district, on the west side of South Beach Road. Unfortunately, due to delays outside the owner's control, the demolition activities are intended to occur during November 2025.¹ Fortunately, the contractor, Sands Construction, anticipates the demolition activities should not take more than one week. Additionally, the location of the residence in the interior of the property will lessen impacts on neighbors and the general community. The demolition of the existing main house, terrace, walkways, mechanical

¹ During the Town's winter construction season.

equipment areas, and associated hardscape will prepare the site for the eventual redevelopment of the property with a new and more structurally sound residence. These redevelopment plans are submitted concurrently with this application for approval by the Development Review Board. The contractor will utilize tree protection fences to protect existing vegetation and construction buffers. The previously approved construction buffer will act as the demolition plan's construction buffer. Additionally, the location of the existing residence to be demolished is in the center of the property. This location, far from the property's two curb cuts, will render view of the demolition impossible from outside the property when coupled with existing landscape buffers. These factors ensure that the proposed demolition will not adversely affect the public interest.

- B. The proposed demolition will result in the complete removal of all evidence of the former structure or building.

All evidence of the existing main residence will be removed from the property. This includes the associated terrace, walkways, mechanical equipment, equipment pads, and associated hardscape.

However, the existing demolition will not include other structures on the property, including the guest house, detached garage, carriage house, donkey house, pool, and detached bathroom. Furthermore, existing hardscape not associated with the main residence will remain. The existing driveways will limit dirt or mud from exiting the property onto South Beach Road during the demolition and planned construction projects.

- C. If the demolition affects all of the buildings on the lot, all impermeable surfaces that were accessory to the demolished structures or buildings, including but not limited to driveways, terraces, courts, slabs, and foundations, will also be removed.

The demolition will not affect all the buildings on the lot. The demolition will only remove the existing main residence, terrace, walkways, mechanical equipment, mechanical pads, and hardscape affiliated with the main residence. After the demolition is complete, the Williams family intends to replace the demised residence with a new home, in accordance with the plans submitted herein.

- D. The landscape treatment along the front line will remain comparable to the character and quantity of the streetscape along lot frontage on the same public road for a distance of one thousand (1,000) feet in both directions, or will be planted such that it is comparable to the character and quantity of said streetscape if its existing condition is that it is not comparable in character or quantity.

The existing streetscape along the front lot line with South Beach Road is characteristic of the neighborhood just south of the "cannon" at the

intersection of Gomez and South Beach. The streetscape consists of a mixture of varied and tiered vegetation. The existing landscape buffer along the front lot South Beach Road is characteristic of this Jupiter Island neighborhood, which typically affords more depth and height than other zoning districts. This construction buffer was previously approved by the Impact Review Committee (“IRC”) on November 7, 2024 in my client’s initial IRC hearing. In the event the existing vegetation is damaged during the proposed limited demolition and eventual construction, then the landscape buffer will be supplemented. The buffers will be comparable to the quantity and character of surrounding landscaping in the A-80 District and the South Beach Road neighborhood.

- E. The building or structure proposed for demolition does not meet the standards for landmark designation set out in Article VIII, Section 1.02.

While the main residence was constructed in 1900, it does not and has not been designated by the Town for landmark designation, as set forth in the Town’s Land Development Regulations. The State of Florida’s Division of Historical Resources has no records of this property ever receiving federal or state funding to preserve the structures on it and, as such, determined that the property owner “is free to demolish or renovate their property within” existing local regulations.

- F. The demolition will not unnecessarily affect existing landscape buffers, and landscape buffers that are affected will be restored upon completion of the demolition.

The existing landscape buffers are mature, dense, and tall. Additionally, these construction buffers were previously approved by the IRC in November 2024 as part of the original redevelopment project. Due to a departure from a redesign project to a demolition and redevelopment project, a resubmittal was required. It is unlikely that the demolition will result in damage to buffer vegetation – in part, due to the use of tree protection fences to limit dust accumulating on landscaping. In the event the demolition results in degradation of the existing buffers, then the buffers will be supplemented to provide adequate screening consistent with the South Beach Road neighborhood.

- G. The demolition will be staged such that:

1. Noise will be minimized in terms of duration and volume.

The demolition contractor estimates no more than one week will be needed to remove the existing residence, terrace, walkways, mechanical equipment, equipment pads, and other hardscaping. Additional site clean-up work may take an additional one week after demolition. This timeframe includes site preparation work for the eventual construction.²

² The eventual construction of the replacement residence is not estimated in this timeframe.

2. Demolition equipment will be screened from view from neighboring properties and public rights-of-ways to the maximum feasible extent.

Demolition storage equipment, dumpsters, portable toilets, and parking will be located behind the property's existing buffers and far from the existing curb cuts to shield visibility of the demolition activities from view of South Beach Road or adjacent properties.

3. No traffic on public streets in the Town will be stopped during the period from November 1 to April 15.

Traffic will not be stopped from November 1 to May 1. Flagmen will be present as large debris trucks enter and leave the property during the demolition process.

4. Debris will be removed from the site in a manner that minimizes the number and length of additional trips on the public streets in the Town.

The demolition contractor will utilize large debris trucks to expedite the removal process of the existing garage and two portions of the driveway.

5. Dust will be contained to the maximum practicable extent.

The demolition contractor controls dust by sprinkling the structure with water during the removal process to control dust to the maximum practicable extent. Tree protection fences are also used to limit the accumulation of dust on landscape buffers.

6. Demolition activities will have minimal impact on adjacent infrastructure.

The demolition activities will have no more impact on the adjacent infrastructure than any other demolition project on Jupiter Island.

7. Buildings proposed for demolition will receive pest control services to control rodents before and after the demolition. (Item 7 added, Ord, No. 347, Sept. 16, 2014)

Pest control services will be utilized before and after demolition.

- H. All exposed soil will be stabilized with plant material within ten (10) days of completion of demolition.

Soil will not be exposed after the demolition process. All exposed soil will be stabilized with seed or grass material within ten (10) days of completion of the demolition, except in locations where construction will immediately follow.

As the enclosed application packet, including site plan, architectural plans, landscape plans and civil plans will demonstrate, my clients' request meets the Standards for Impact Review as set forth in Article X, Division II, Section 2.02 in that:

- A. The proposed development will not adversely affect the public interest.

The proposed development will not adversely affect the public interest. The proposed landscape buffer along South Beach Road will obscure views of the proposed residence from the right-of-way. Buffers along the northern and southern property boundaries will similarly shield the structure from adjacent properties. View of the residence from South Beach Road will be nonexistent, due to the property's landscaping and the distance between the construction area and the public right of way. The proposed structure will meet current building code requirements and will result in a safer structure in the event of a catastrophic storm event when compared to the existing residence on the property. The proposed redesign and enhancement of the landscaping will *further the public interest*.

- B. The proposed development is consistent with the surrounding neighborhood character.

While the existing landscape buffers are not poor, they can be improved. The proposed landscape and buffers will improve the existing streetscape and screen views of the new residence to improve privacy and screening. The proposed total floor area for the property, 8,117 square feet, is much less than the permitted floor area of 10,166.8 square feet. The proposed density of this site will likely be less than the surrounding neighborhood character.

The proposed vegetation, smaller sized development, and distance of the home from South Beach Road will ensure that the development is consistent with the surrounding neighborhood character.

- C. The visibility of the proposed development from public rights-of-way, adjacent properties, the beach, the ocean and the Intracoastal Waterway is minimized in a manner that is consistent with the surrounding neighborhood character.

The existing main house is not visible from South Beach Road due to the distance from the right-of-way, location of curb cuts, and the landscaping on the property. This redevelopment will not change the lack of visibility that currently exists. The proposed main house will be located in a very similar location to the existing main house. Additionally, the property will be substantially screened along the northern, western, and southern property boundaries.

The property is not located on the Intracoastal Waterway or the beach and will not be visible from those vantage points.

- D. The landscape treatment along the front lot line is comparable to the character and quantity of the streetscape along lot frontage on the same public road for a distance of one thousand (1,000) feet in both directions.

The existing landscape treatment along the front lot line is comparable to many neighboring properties in this neighborhood. However, the proposed landscape treatment will be improved when compared to the existing landscaping. The plantings along the streetscape will use additional vegetation to further screen the property from the right-of-way. The proposed buffer along South Beach Road will be similar to or better than the landscape treatment along the front lot line of properties within 1,000 feet in terms of palette, density, and screening.

- E. The proposed ingress and egress is functionally adequate with regard to vehicular and pedestrian safety, separation of automotive traffic, traffic flow and control, provision of services, servicing utilities, refuse collection, and access in case of fire, catastrophe or emergency.

The proposed development provides for adequate site triangles to allow safe ingress and egress to the property. The applicant submitted the project plans to the Town for Pre-Application Review for comments and suggestions. The Town has reviewed this property for access and has not raised any concerns.

- F. Proposed screens and buffers are sufficient to ensure compatibility of uses and buildings with adjacent properties.

The proposed landscape plan will ensure that the proposed development is properly shielded from the view of adjacent properties, will guarantee the compatibility of the uses for the proposed residence, and conforms to the Land Development Regulations. The proposed development will enhance the property and not result in negative impacts on adjacent properties, the neighborhood, or the Town of Jupiter Island.

- G. The location, design and character of outdoor lighting and sound will not adversely affect adjacent properties.

There is no proposed exterior lightning or sound equipment at this time. Any proposed exterior lighting will meet Town requirements.

- H. The proposed stormwater management system is sufficient to prevent runoff from adversely affecting adjacent properties.

As set forth in the Stormwater Calculations provided by Gruber Consulting Engineers, the volume of runoff to be retained in the proposed exfiltration trenches will be 74,904 cubic feet. This volume will be retained onsite in proposed exfiltration trenches. The existing site grading will be modified as needed to prevent surface water runoff from entering the surrounding properties or South Beach Road.

- I. The proposed development is designed and located so that all buildings are screened from view from adjacent properties and public roads such that the visual character of the proposed development from adjacent properties and public roads is predominantly natural, landscape plant material and land forms.

The current main house is not visible from South Beach Road due to the distances between the structure and the public right-of-way, its central location, and the indirect access provided by the property’s curb cuts. The proposed main house will remain similarly invisible from South Beach Road. Additionally, the existing main house’s old age and current condition require updating. The proposed residence will create a safer structure in the event of a hurricane. Additionally, the proposed landscaping will ensure that the predominant visual character of the lot will be natural, landscape plant material. The height of proposed landscape buffers and the distance from South Beach Road, will easily block views of the residence from passing traffic or neighbors.

My client intends that the demolition is completed in a manner consistent with the existing infrastructure of the Town and surrounding properties. If you have any questions or concerns regarding this demolition application, please do not hesitate to contact the undersigned.

Sincerely yours,



Jared Gaylord, Esq.
/JEG
Encl.



GRUBER CONSULTING ENGINEERS

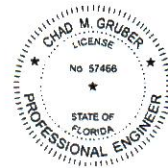
**Proposed Residence
214 South Beach Road
Jupiter Island, Florida**

Concurrency Management Calculations

April, 2024

Revised March, 2025

Revised September, 2025



Digitally signed
by Chad M Gruber
Date: 2025.09.10
10:12:53 -04'00'

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Chad M. Gruber, P.E.
Florida License No. 57466

INTRODUCTION

The proposed project is located at 214 South Beach Rd. in the Town of Jupiter Island. The property encompasses approximately 1.87 acres between South Beach Rd. and Hobe Sound. The project involves the construction of a new residence, proposed detached garage and renovation of associated hardscape and landscape.

The attached calculations have been prepared to address the sections of the Town of Jupiter Island's Land Development Regulations (LDR) relating to concurrency management. These sections appear in the LDR under Article XI, Section 1.01, items B-E. The calculations are supplemented with the conceptual site drainage & septic system plan prepared by this office. The plan demonstrates how sewage disposal and site grading will be accomplished for the proposed project.

A) SEWAGE DISPOSAL CALCULATIONS (per LDR Article XI, Section 1.01(B))

The scope of the proposed project includes the construction of a new residence. Calculation of estimated daily sewage flows for residential structures served by an onsite sewage treatment and disposal system are regulated by Chapter 381 of the Florida Statutes and Chapter 62-6 of the Florida Administrative Code (FAC). The following calculations have been derived from FAC Chapter 62-6.008.

1. Proposed Main House

a) Septic System Design Information

Proposed additional air-conditioned space:	4,329 sq.ft.
Proposed additional number of bedrooms:	3 bedrooms
Type of drainfield configuration:	Trench
Estimated soil loading rate:	0.8 gpd/sq.ft.

b) Estimated Daily Flow Calculations

The first 3,300 sq.ft. of air-conditioned space is equivalent to 4 bedrooms with each bedroom generating an estimated 100 gpd. The remaining 1,029 sq.ft. of air-conditioned space is converted to equivalent bedrooms using the following formula:

1 equiv. bedroom = 750 sq.ft. of remaining air-conditioned space
 $1,029 \text{ sq.ft.} / 750 \text{ sq.ft./equiv. bedroom} = 1.37 \text{ equiv. bedrooms}$
Use 2 equivalent bedrooms at 60 gpd/bedroom = 120 gpd

Estimated daily flow = 400 gpd + 120 gpd = 520 gpd

c) Proposed Main House Septic System Specifications

Minimum Main Trench Septic System Specifications	
Required Drainfield Area:	650 sq.ft.
Required Unobstructed Area:	975 sq.ft.
Min. Septic Tank Size:	1,350 gal.

2. Existing Accessory Buildings

a) Estimated Daily Flow Calculations

Existing Bath House:	582 sq.ft. (1 bedroom)
0 - 750 sq.ft.; 1 bedroom equivalent =	100 gpd
Existing Guest House:	966 sq.ft. (2 bedrooms)
751 - 1,200 sq.ft.; 2 bedroom equivalent =	200 gpd
Existing Carriage House:	556 sq.ft. (1 bedroom)
0 - 750 sq.ft.; 1 bedroom equivalent =	100 gpd

B) STORMWATER MANAGEMENT (per LDR Article XI, Section 1.01(C))

Per Article XI, Section 1.01(C) of the Town of Jupiter Island Land Development Regulations (LDR), the level of service standard for drainage is the detention of the 5 year – 1 day storm event. The following stormwater management calculations are derived from the South Florida Water Management District's (SFWMD) Environmental Resource Permit Information Manual Volume IV. The calculation of stormwater runoff is determined using a method developed by the United States Department of Agriculture (USDA) Soil Conservation Service (SCS). This method considers the soil type and storage, depth to water table and accumulated rainfall to determine the accumulated direct runoff.

1. Site Plan Characteristics

Total site area	=	81,456 sq.ft. (1.870 ac.)
Drainage basin area (excludes area east of S. Beach Rd. sidewalk)	=	78,953 sq.ft. (1.812 ac.)
Impervious plan area	=	24,156 sq.ft.
Remaining pervious surface area	=	54,797 sq.ft.

2. Rainfall and Soil Storage Data

Accumulated rainfall (P):	7.00 in. (see rainfall map, Appendix 1)
Soil type and condition:	coastal, sandy, compacted
Potential maximum retention (S_{max}):	8.18 in.

3. Estimated Runoff Volume

Determine the weighted soil storage amount by multiplying the potential maximum retention (S_{max}) by the percent of pervious surface area proposed:

$$S_{weighted} = \frac{(8.18in. \times 54,797 sq. ft.)}{78,953 sq. ft.} = 5.68 in.$$

The amount of accumulated direct runoff in inches can be determined from the following formula:

$$Q = \frac{(P - 0.2S_{weighted})^2}{(P + 0.8S_{weighted})} = \frac{(7.00in. - 0.2 \times 5.68in.)^2}{(7.00in. + 0.8 \times 5.68in.)} = 2.98 in.$$

Vol. of runoff to be retained = 2.98 in. x 78,953 sq.ft. x 1ft./12in. = 19,607 cu.ft.

Vol. of runoff to be retained in exfiltration trenches
(including 20% safety factor) = 23,528 cu.ft.

This volume will be retained onsite in the proposed exfiltration trenches. The existing site grading will be modified as needed to prevent surfacewater runoff from entering the surrounding properties.

4. Proposed Exfiltration Trench Sizing

The volume of stormwater runoff required to be retained in the proposed exfiltration trenches is 23,528 cu.ft. Per SFWMD Volume IV, Permit Information Manual, Figure F-4, the formula for determining the required length of exfiltration trench is given as:

$$L = \frac{V}{K(H_2W + 2H_2D_u - D_u^2 + 2H_2D_s) + (1.39 \times 10^{-4})WD_u}$$

Exfiltration Trench #1

L	=	Total Length of Trench	=	75	ft
W	=	Trench Width	=	12	ft
K	=	Hydraulic Conductivity	=	0.00121	cfs/sq.ft./ft. of head
H ₂	=	Depth to Water Table	=	6.00	ft
D _U	=	Un-Saturated Trench Depth	=	3.00	ft
D _S	=	Saturated Trench Depth	=	0.00	ft
V	=	Volume Treated	=	33,975	cu.ft.

Exfiltration Trench #2

L	=	Total Length of Trench	=	59	ft
W	=	Trench Width	=	18	ft
K	=	Hydraulic Conductivity	=	0.00136	cfs/sq.ft./ft. of head
H ₂	=	Depth to Water Table	=	6.00	ft
D _U	=	Un-Saturated Trench Depth	=	3.00	ft
D _S	=	Saturated Trench Depth	=	0.00	ft
V	=	Volume Treated	=	40,929	cu.ft.

Total Volume Retained in Proposed Exfiltration Trenches = 74,904 cu.ft.

C) WATER USE DEMAND ESTIMATES (per LDR Article XI, Section 1.01(D))

The typical residence in the Town of Jupiter Island will consume water for both irrigation and domestic use. The majority of the water consumed on a residential site will be used for irrigation. Irrigation demands can be reduced through the installation of native, drought tolerant plants and water saving irrigation technology.

1. Irrigation Use

The referenced property has the following characteristics:

Total site area	=	81,456 sq.ft. (1.870 ac.)
Drainage basin area	=	78,953 sq.ft. (1.812 ac.)
Impervious plan area	=	24,156 sq.ft.
Irrigated pervious surface area	=	22,949 sq.ft. (0.527 ac.)
Remaining pervious surface area	=	31,848 sq.ft.

The calculation for estimating irrigation water use has been provided by South Martin Regional Utility. The estimate assumes a yearly irrigation requirement of 32 in./yr.

$0.527 \text{ ac} \times 32 \text{ in./year} \times 1 \text{ year}/365 \text{ days} = 0.0462 \text{ ac-in./day}$ which can be converted to gallons per day by multiplying the result by 27,152 gal./ac-in. = 1,255 gpd (38,158 gal./month)

Total estimated average day irrigation use = 1,255 gal.

One ERC is equal to 350 gpd of irrigation water use.

Irrigation Project ERCs = $1,255 \text{ gpd} \times 1 \text{ ERC}/350 \text{ gpd} = 3.59 \text{ ERCs}$

2. Domestic Use

South Martin Regional Utility estimates domestic residential water use using methods established in Chapter 62-6 of the Florida Administrative Code. This is the same chapter used for the sizing of the proposed septic system in Section A of this report. The total estimated daily domestic water use calculated above was 920 gpd.

One ERC is equal to 250 gpd of domestic water use.

Domestic Project ERCs = $920 \text{ gpd} \times 1 \text{ ERC}/250 \text{ gpd} = 3.68 \text{ ERCs}$

3. Total Daily Water Use Demand Estimate and ERC Calculation

The estimated total irrigation and domestic water use for this project is 2,175 gpd.

Total Project ERCs = $3.59 \text{ ERCs} + 3.68 \text{ ERCs} = 7.27 \text{ ERCs}$

D) SOLID WASTE DISPOSAL ESTIMATES (per LDR Article XI, Section 1.01(E))

The 2006 Solid Waste Annual Report Data released by the Florida Department of Environmental Protection indicates that Martin County generated 10.77 lbs. of solid waste per person per day (landfill and recycled material combined).

LDR Article XI, Section 1.01(E) provides for a level of service of 9 lbs. of solid waste per person per day.

Avg. number of residents and guests expected: 14 people

Solid waste generated per LDR = 14 people x 9 lbs./person/day = 126 lbs./day

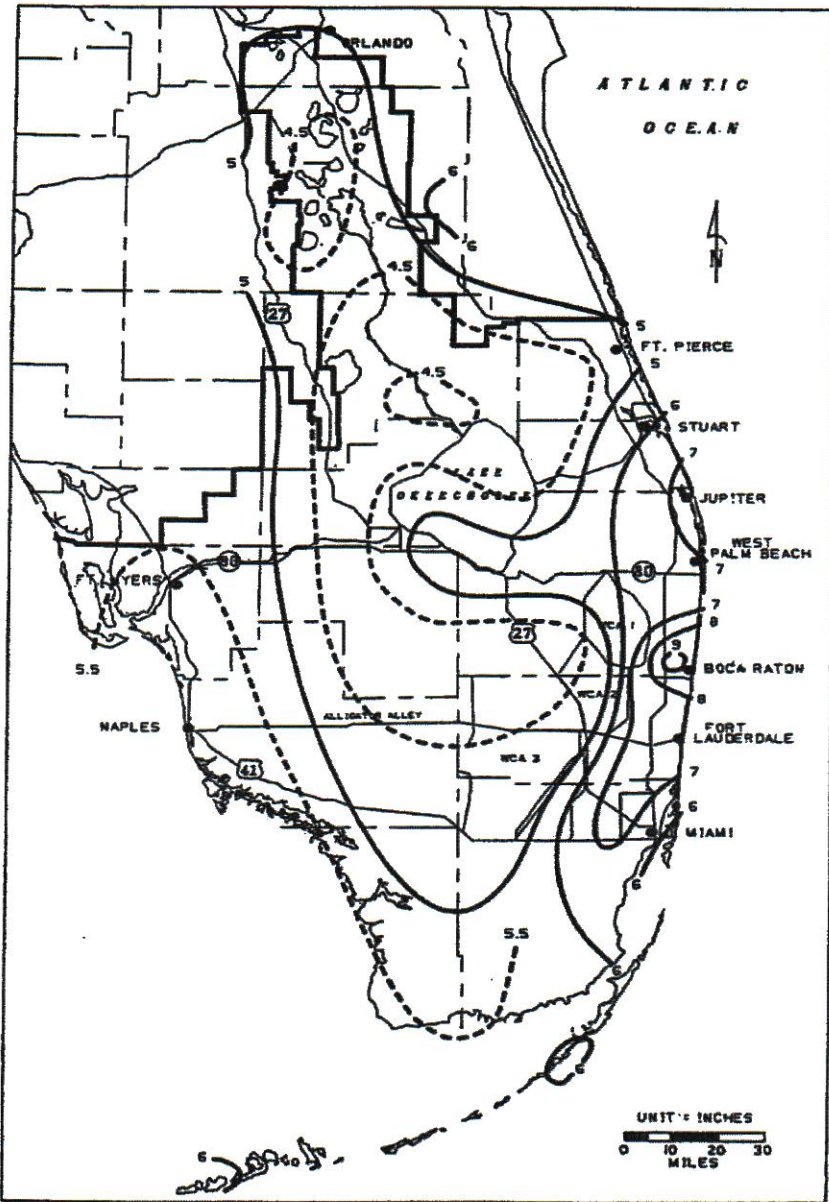


FIGURE C-3. 1-DAY RAINFALL: 5-YEAR RETURN PERIOD

C-5

Appendix I: from South Florida Water Management District (SFWMD) Environmental Resource Permit Information Manual Volume IV

From: Acosta, Ruben A. Ruben.Acosta@dos.fl.gov
Subject: RE: 214 SBR Gate House
Date: Oct 3, 2025 at 4:22:34 PM
To: Case, Eric K. Eric.Case@dos.fl.gov, **Jared Gaylord**
jared@marcgaylordlaw.com
Cc: Lucas, Kyra kyra.lucas@dos.fl.gov

Mr. Gaylord,

Eric Case forwarded me your email. Listing in the National Register does not limit what an owner may or may not do with their property, including using, maintaining, modifying, addition on to, or demolishing the property (see 36 CFR 60.2, <https://www.ecfr.gov/current/title-36/chapter-I/part-60/section-60.2>). Neither the federal or state government regulates the actions of the owner of a National Register listed property unless the owner is using federal or state funds as part of their activities. These may include things like federal historic preservation tax credits and federal or state grants. According to our records, the property has not received a historic preservation grant from the Division of Historical Resources, nor does the division hold a preservation easement or covenant on the property.

The property owner is free to demolish or renovate their property within whatever land use regulations exist at the local level (Palm Beach County or Town of Jupiter). If the property is demolished, we do request documentation of the demolition so we may update our records and remove the destroyed resource from the National Register.

Let me know if you have any additional questions.

Sincerely,

Ruben A. Acosta

Ruben A. Acosta

Bureau Chief | Deputy State Historic Preservation Officer | Bureau of
Historic Preservation | Division of Historical Resources | Florida
Department of State | [500 South Bronough Street | Tallahassee, FL
32399 | 850.245.6364 | \[Ruben.Acosta@dos.fl.gov\]\(mailto:Ruben.Acosta@dos.fl.gov\)](https://www.flheritage.com)
www.flheritage.com



From: Case, Eric K. <Eric.Case@dos.fl.gov>

Sent: Friday, October 3, 2025 3:54 PM
To: Jared Gaylord <jared@marcgaylordlaw.com>
Cc: Lucas, Kyra <Kyra.Lucas@dos.fl.gov>
Subject: RE: 214 SBR Gate House

Mr. Gaylord,

I am going to pass this along to my supervisor for his response.

Regards,

Eric K. Case, M.A., FCCM

Historic Preservation Grants Supervisor | Bureau of Historic Preservation
Division of Historical Resources | Florida Department of State | [500 South
Bronough Street | Tallahassee, Florida 32399-0250 | 850.245.6338 |
1.800.847.7278 | \[Eric.Case@DOS.fl.gov\]\(mailto:Eric.Case@DOS.fl.gov\) | \[dos.fl.gov/historical\]\(https://dos.fl.gov/historical\)](https://www.dos.fl.gov)



From: Jared Gaylord <jared@marcgaylordlaw.com>
Sent: Monday, September 29, 2025 1:36 PM
To: Case, Eric K. <Eric.Case@dos.fl.gov>
Cc: Lucas, Kyra <Kyra.Lucas@dos.fl.gov>
Subject: RE: 214 SBR Gate House

EMAIL RECEIVED FROM EXTERNAL SOURCE

The attachments/links in this message have been scanned by
Proofpoint.

Eric,

Just following up on this email to see if you could provide any guidance so I
can take this to the Town of Jupiter Island's Building Department.

Thanks,

Jared Gaylord

Attorney

jared@marcgaylordlaw.com

Marc R. Gaylord, P.A. & Seaspray Title, LLC

12000 SE Old Dixie Highway

Hobe Sound, FL 33455

772-545-7740 Ph

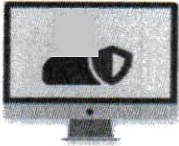
772-545-7782 Fax



We at the Law Offices of Marc R. Gaylord, P.A. and Seaspray Title, LLC are committed to preserving the financial privacy of our clients. In this regard, we strongly urge all clients to safeguard their financial information. You are specifically requested to NOT provide us with any personal or financial information, including phone numbers, in any email correspondence, unless it is a secure, encrypted email. In addition, you should never wire funds to this office, unless said wire is previously confirmed telephonically with an employee of this office. Should you receive any suspicious email correspondence that purports to be from this office, you are directed to contact this office immediately.

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WE DO NOT ACCEPT OR REQUEST
CHANGES TO WIRING INSTRUCTIONS VIA EMAIL OR FAX.
Always call to verify.



From: Jared Gaylord
Sent: Wednesday, September 24, 2025 5:52 PM
To: 'Case, Eric K.' <Eric.Case@dos.fl.gov>
Cc: Lucas, Kyra <Kyra.Lucas@dos.fl.gov>
Subject: RE: 214 SBR Gate House

Eric,

The Town is asking if you could provide in writing that, as far as the state of Florida and federal government is concerned, that the house may be demolished and/or heavily renovated.

It seems clear to me from the laws, regulations, and the National Register of Historic Places website that this is permissible since the property never received grants or funds to maintain the structures' condition; however, the Town is asking for some kind of confirmation from you (or anyone else with the authority to provide it).

If you could please confirm this, I would be most appreciative.

Thanks again and best regards,

Jared Gaylord

Attorney

jared@marcgaylordlaw.com

Marc R. Gaylord, P.A.
& Seaspray Title, LLC



WE DO NOT ACCEPT OR REQUEST
CHANGES TO WIRING INSTRUCTIONS VIA EMAIL OR FAX.
Always call to verify.



From: Case, Eric K. <Eric.Case@dos.fl.gov>
Sent: Thursday, September 11, 2025 9:07 AM
To: Jared Gaylord <jared@marcgaylordlaw.com>
Cc: Lucas, Kyra <Kyra.Lucas@dos.fl.gov>
Subject: RE: 214 SBR Gate House

Mr. Gaylord,

I have checked our historical records and there are no grants from the Division of Historical Resources for that property in the 40 year history of the program. Let me know if you have any other questions.

Regards,

Eric K. Case, M.A., FCCM

Historic Preservation Grants Supervisor/Bureau of Historic Preservation
Division of Historical Resources, Florida Department of State | 500 South
Bronough Street | Tallahassee, Florida 32399-0250 | [850.245.6338](tel:850.245.6338) |
[1.800.847.7278](tel:1.800.847.7278) | Eric.Case@DOS.fl.gov | dos.fl.gov/historical



From: Jared Gaylord <jared@marcgaylordlaw.com>
Sent: Tuesday, September 9, 2025 5:53 PM
To: Case, Eric K. <Eric.Case@dos.fl.gov>
Cc: Lucas, Kyra <Kyra.Lucas@dos.fl.gov>
Subject: 214 SBR Gate House

EMAIL RECEIVED FROM EXTERNAL SOURCE

The attachments/links in this message have been scanned by
Proofpoint.

Eric,

My name is Jared Gaylord and I am an attorney for Gate House South Properties LLC.

Your colleague, Dr. Kyra Lucas, referred me to you about my client's property, 214 South Beach Road on Jupiter Island. My client purchased the property in June of 2022 and has not received any federal funding or permitting for the property to my knowledge. I am not certain if any prior owner has, but I don't believe so since the home was registered in 2001 (<https://npgallery.nps.gov/NRHP/AssetDetail/41d75791-b7e2-4a91-9912-44d1685a139d>).

The property has not been registered as a locally historic home through the Town of Jupiter Island.

The Town has asked for me to confirm that the property owner or prior owner has not received funds or grants to maintain the structures on the site, hence me reaching out to Michelle Diedrich and Dr. Lucas. If you have any information on that aspect and could share it with me, I would greatly appreciate it.

Please let me know if you have any questions or concerns regarding this matter in the meantime.

Thanks again!

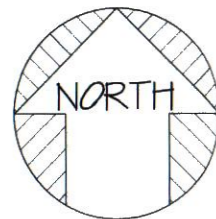
Jared Gaylord

Attorney

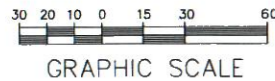
jared@marcgaylordlaw.com

Marc R. Gaylord, P.A.

GOOD BLESS AMERICA



SCALE : 1" = 30'
THIS IS THE INTENDED DISPLAY SCALE

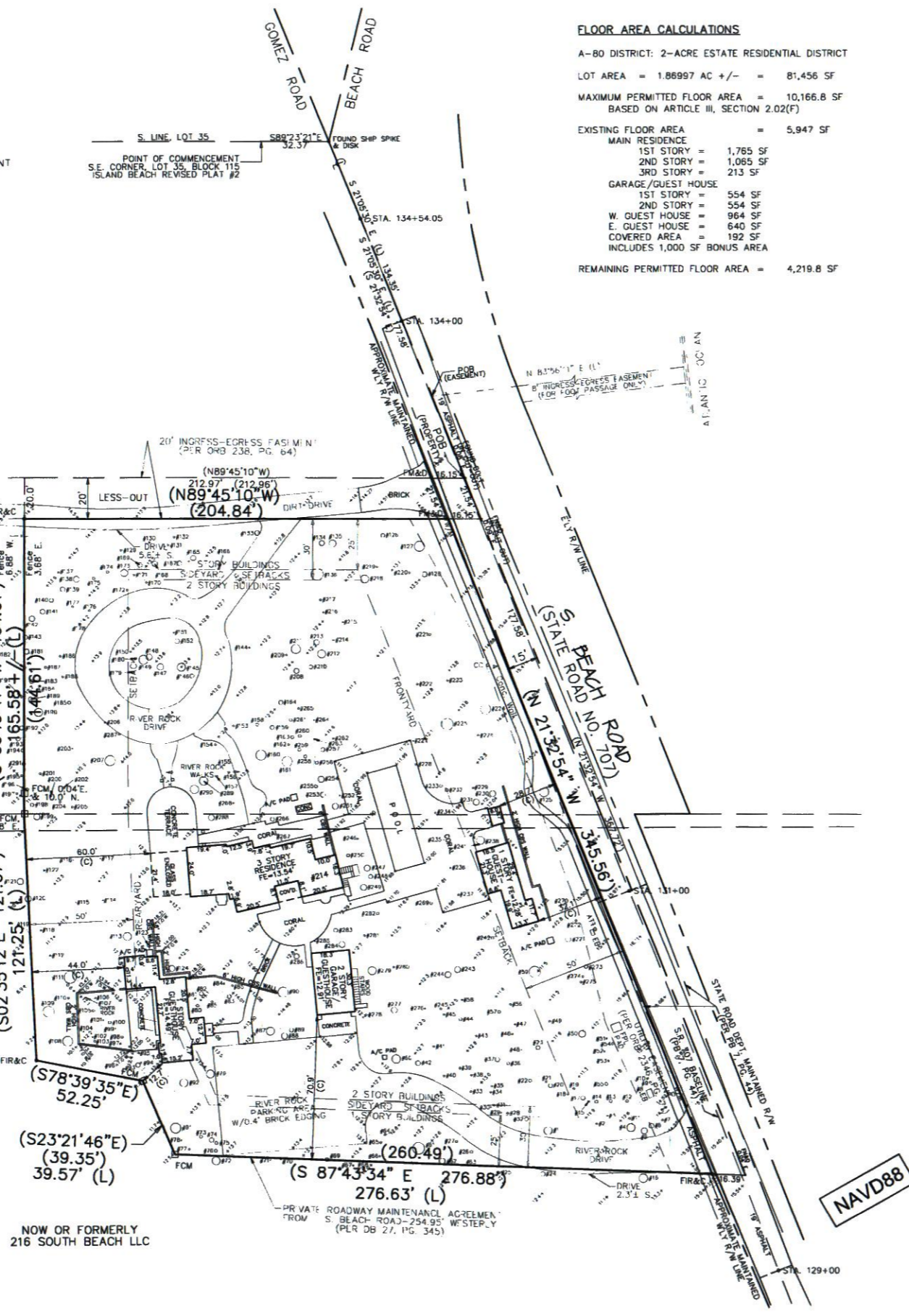


LEGEND

ATT	AT&T CLOSURE
CC	CABLE CLOSURE
(C)	CENTERLINE
DB	COMPUTED DEED BOOK
EB	ELECTRIC BOX
FE	FLOOR ELEVATION
FCM	FOUND CONCRETE MONUMENT (4" X 4")
FIR&C	FOUND 5/8" IRON ROD & PLS #2208 CAP
FM&D	FOUND WAG NAIL & LB #5879 DISK
FN&D	FOUND NAIL & PLS #2208 DISK
(L)	LEGAL
ORB	OFFICIAL RECORDS BOOK
PC	PAGE
PB	PLAT BOOK
POB	POINT OF BEGINNING
R/W	RIGHT-OF-WAY
W/M	WATER METER
∅	EXISTING ELEVATION
○	TREE & TAG NUMBER

NOW OR FORMERLY
TRISTRAM & RUTH COLKET

NOW OR FORMERLY
DAVID MCELROY (ESTATE)



FLOOR AREA CALCULATIONS

A-80 DISTRICT: 2-ACRE ESTATE RESIDENTIAL DISTRICT

LOT AREA = 1.86997 AC +/- = 81,456 SF

MAXIMUM PERMITTED FLOOR AREA = 10,166.8 SF
BASED ON ARTICLE III, SECTION 2.02(F)

EXISTING FLOOR AREA = 5,947 SF

MAIN RESIDENCE

- 1ST STORY = 1,765 SF
- 2ND STORY = 1,065 SF
- 3RD STORY = 213 SF

GARAGE/GUEST HOUSE

- 1ST STORY = 554 SF
- 2ND STORY = 554 SF

W. GUEST HOUSE = 964 SF

E. GUEST HOUSE = 640 SF

COVERED AREA = 192 SF

INCLUDES 1,000 SF BONUS AREA

REMAINING PERMITTED FLOOR AREA = 4,219.8 SF

LEGAL DESCRIPTION: (PER OFFICIAL RECORDS BOOK 1392, PAGE 79)

COMMENCING AT THE SOUTHEAST CORNER OF LOT 35, BLOCK 115, ISLAND BEACH REVISED PLAT NO. 2, PLAT BOOK 2, PAGE 44, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE RUN EASTERLY ALONG THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 35 A DISTANCE OF 32.31 FEET TO THE CENTERLINE OF STATE ROAD 707; THENCE MEASURING RIGHT TO LEFT AN ANGLE OF 111 DEGREES 53 MINUTES 01 SECONDS, RUN ALONG THE CENTERLINE OF STATE ROAD 707 A DISTANCE OF 177.58 FEET TO THE POINT OF BEGINNING; THENCE MEASURING LEFT TO RIGHT (RIGHT TO LEFT) AN ANGLE OF 68 DEGREES 12 MINUTES 25 SECONDS, RUN A DISTANCE OF 212.97 FEET; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 90 DEGREES 04 MINUTES 51 SECONDS, RUN A DISTANCE OF 165.59 FEET MORE OR LESS TO THE SOUTH LINE OF LOT 102, PLAT OF GOMEZ ROAD AND JUPITER ISLAND, PLAT BOOK 1, PAGE 80, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 176 DEGREES 58 MINUTES 00 SECONDS, RUN A DISTANCE OF 121.25 FEET; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 103 DEGREES 51 MINUTES 00 SECONDS, RUN A DISTANCE OF 52.25 FEET; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 235 DEGREES 34 MINUTES 30 SECONDS, RUN A DISTANCE OF 39.57 FEET; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 115 DEGREES 30 MINUTES 00 SECONDS, RUN A DISTANCE OF 276.63 FEET TO THE CENTERLINE OF STATE ROAD 707; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 66 DEGREES 13 MINUTES AND 30 SECONDS, RUN ALONG THE CENTERLINE OF STATE ROAD 707, A DISTANCE OF 346.12 FEET (367.66 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPTING THE NORTH 20 FEET AND RIGHT OF WAY FOR STATE ROAD NO. 707.

TOGETHER WITH AN EASEMENT IN COMMON WITH OTHERS FOR ACCESS TO THE ATLANTIC OCEAN, OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

START AT THE SOUTHEAST CORNER OF LOT 35, BLOCK 115, THE ISLAND BEACH REVISED PLAT #2, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 44, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE RUN S 89°23'21" E ALONG THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 35 FOR A DISTANCE OF 32.31 FEET TO A POINT IN THE CENTERLINE OF GOMEZ ROAD; AND THENCE RUN S 21°05'30" E ALONG SAID ROAD CENTERLINE (STATE ROAD 707) FOR A DISTANCE OF 134.35' TO THE POINT OF BEGINNING; THENCE RUN N 83°56'11" E FOR A DISTANCE OF 41.71 FEET TO A CONCRETE MONUMENT; THENCE CONTINUE ON SAID LINE AND BEARING FOR A DISTANCE OF 50.74 FEET TO A CONCRETE MONUMENT; THENCE CONTINUE ON SAID LINE AND BEARING FOR A DISTANCE OF 150 FEET MORE OR LESS, TO THE ATLANTIC OCEAN; THENCE MEANDER THE SHORLINE OF THE ATLANTIC OCEAN IN A SOUTHEASTERLY DIRECTION TO THE POINT OF INTERSECTION WITH A LINE WHICH LIES 8 FEET SOUTHERLY OF, AS MEASURED AT RIGHT ANGLES, THE FIRST DESCRIBED LINE; THENCE RUN S 83°56'11" W ALONG A LINE PARALLEL TO AND 8 FEET SOUTHERLY OF SAID FIRST DESCRIBED LINE TO THE POINT OF INTERSECTION WITH THE SAID CENTERLINE ON STATE ROAD 707; THENCE RUN NORTHWESTERLY ALONG SAID CENTERLINE TO THE POINT AND PLACE OF BEGINNING. SUBJECT TO RIGHT-OF-WAY OF SAID STATE ROAD 707. THIS EASEMENT SHALL BE LIMITED TO FOOT PASSAGE ONLY.

SURVEYOR'S NOTES:

- NOT VALID WITHOUT ALL SHEETS AND THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- BEARINGS SHOWN HEREON ARE GRID BASED ON PLAT OF COASTAL CONSTRUCTION CONTROL LINE, RECORDED JULY 9, 1985, IN PLAT BOOK 9, PAGE 99; LYING BETWEEN DNR RANGE MONUMENTS "R-99" & "R-100".
- ELEVATIONS SHOWN HEREON REFERENCE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) AND ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BENCHMARK USED: 'YATES NO 2 1934', ELEVATION = 12.06' (NAVD88).
- BEARINGS, ANGLES, AND DIMENSIONS SHOWN THUSLY () DENOTE FIELD MEASURED QUANTITIES.
- THIS SURVEY PREPARED WITHOUT BENEFIT OF TITLE AND MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAYS AND OTHER ENCUMBRANCES WHICH MIGHT BE REVEALED IN A SEARCH OF TITLE TO THE SUBJECT LAND.
- THE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY NAMED IN CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON, WITHOUT THE EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.
- THERE HAS BEEN NO ATTEMPT TO LOCATE ANY SUBSURFACE IMPROVEMENTS, FOOTERS, FOOTINGS AND/OR UTILITIES ON THIS PROPERTY.
- SUBJECT PROPERTY LIES IN FLOOD ZONE "X" (MINIMAL FLOOD HAZARD) PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE MAP #12085C0336H, DATED FEBRUARY 19, 2020. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
- LOT AREA = 81,456 SQUARE FEET (1.86997 ACRES) MORE OR LESS.

R/W NOTE:

R/W FOR STATE ROAD NO. 707 IS RECORDED IN PLAT BOOK 7, PAGE 44, ENTITLED MAINTENANCE MAP, WHICH GIVES VARIOUS DIMENSIONS FROM A BASELINE TO THE LIMITS OF THE MAINTAINED R/W. HOWEVER, IN THE AREA OF SUBJECT PROPERTY, THE BASELINE DOES NOT APPEAR TO COINCIDE WITH EXISTING CONDITIONS, WHICH IS THE REASON FOR THE NOTE ON SKETCH WHICH LABELS LINE "APPROXIMATE MAINTAINED R/W LINE".

CERTIFICATION VALID TO:

- GATE HOUSE SOUTH PROPERTIES, LLC

CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

R. L. VAUGHT & ASSOCIATES, INC.
LICENSED BUSINESS NO. 5879

DATE OF LAST FIELD WORK:
April 18, 2024

By: *[Signature]*
P. Michael Zarrella
Professional Surveyor and Mapper No. 6736
State of Florida

REVISIONS	BY
04/17/24 - UP-DATE SURVEY - FB 82/28 OR #B04963	RLV
06/04/24 - UP-DATE SURVEY - FB 82/28 OR #B02981	RLV
11/26/24 - TOPO SURVEY - FB 130/53 OR #B02190	RLV
01/17/24 - UP-DATE SURVEY - FB 193/01 OR #B01017	RLV
05/17/24 - UP-DATE SURVEY - FB 239/38 OR #B17278	PMZ
09/21/24 - TOPO SURVEY & TREE LOCATIONS FB. DC. OR #B18025	PMZ
04/14/23 - FLOOR AREA CALC. FB. 233/79 OR #B18067	PMZ
04/18/24 - UPDATE SURVEY - FB. DC OR #B18061	RLV

BOUNDARY & TOPOGRAPHIC SURVEY

214 S. BEACH ROAD
HOBE SOUND, FLORIDA 33455
TOWN OF JUPITER ISLAND

RL VAUGHT & ASSOCIATES, INC.
SURVEYORS, MAPPERS & PLANNERS
LICENSED SURVEY BUSINESS NUMBER 5879
9075 SE BRIDGE ROAD; HOBE SOUND 33455
MAIL: P.O. BOX 160 HOBE SOUND, FL 33475
PHONE: 772-546-8086 FAX: 772-546-8087
EMAIL: vaught@ellisouth.net

DRAWN	RLV
CHECKED	RLV, SR.
SCALE	AS SHOWN
DATE	MARCH 30, 1992
FIELD BOOK	82/28
ORDER NO.	803368
SHEET OF SHEETS	1 2
FILE NUMBER	PB3368-22J

PON: 35-38-42-001-102-00162-5

IMPACT REVIEW SUBMITTAL

for

214 SOUTH BEACH ROAD GATE HOUSE PROJECT

214 SOUTH BEACH ROAD
JUPITER ISLAND, FL.
COUNTY



SUBMITTED ON 9/15/2025

THE
WILLIAMS
RESIDENCE
214 SOUTH BEACH ROAD
JUPITER ISLAND, FL.
COUNTY

D. STANLEY DIXON
ARCHITECT

2300 PEACHTREE ROAD, SUITE C-101 ATLANTA, GA 30309
404-574-1439



PROJECT # 23-502
DRAWN MD CHECKED DSD

IRC SUBMITTAL
SEPTEMBER 12, 2025

RELEASES

COVER SHEET

A0.00

NOT RELEASED FOR CONSTRUCTION

ZONING ANALYSIS TABLE FOR 214 SOUTH BEACH ROAD

ZONING DISTRICT: **A-80 2-ACRE ESTATE RESIDENTIAL DISTRICT**

	REQUIRED / PERMITTED	EXISTING	PROPOSED
LOT AREA:	2 ACRES	1.86997 ACRES	1.86997 ACRES
LOT WIDTH:	200 FT. MINIMUM	345.56 FT.	345.56 FT.
LIVING SPACE/FLOOR AREA:	A-80 DISTRICT	MAIN HOUSE	MAIN HOUSE
	LOT AREA - 1.86997 ACRES = 81,456 SF	FLOOR AREA	FLOOR AREA
	PERMITTED FLOOR AREA FOR A-80 DISTRICT	AREAS PER ARTICLE IV, SEC. 2.01 (C)	AREAS PER ARTICLE IV, SEC. 2.01 (C)
	1. 17.25% OF FIRST ACRE = 7,514.1 SF	1ST FLOOR - 1,765 SF	1ST FLOOR - 600 SF
	2. 7% OF REMAINING LOT AREA = 2,652.7 SF	2ND FLOOR - 1,065 SF	2ND FLOOR - 313 SF
		3RD FLOOR - NON-LIVING SPACE - N/A	2ND FLOOR - 1,354 SF
	TOTAL - 10,166.8 SF	TOTAL - 2,830 SF	TOTAL - 913 SF
	ACCESSORY STRUCTURE #1 (EXISTING, ORIGINAL)	CARRIAGE HOUSE	CARRIAGE HOUSE
		1ST FLOOR - 554 SF	1ST FLOOR - 64 SF
		2ND FLOOR - 554 SF	2ND FLOOR - 12 SF
	TOTAL - 1,108 SF	TOTAL - 76 SF	
ACCESSORY STRUCTURE #2 (EXISTING, ORIGINAL)	GUEST HOUSE	GUEST HOUSE	
	TOTAL - 964 SF	TOTAL - N/A	
ACCESSORY STRUCTURE #3 (EXISTING, ORIGINAL)	POOL HOUSE + CABANA	POOL HOUSE + CABANA	
	TOTAL - 640 SF	TOTAL - N/A	
NON-LIVING SPACE	MAIN HOUSE 3RD FLR.	GARAGE	
	TOTAL - 211 SF	TOTAL - N/A	
	TOTAL FLOOR AREA	TOTAL SEC. 2.01(C) AREA	
	5,753 SF	989 SF COUNTED @ 50%	
		7,731 SF	
	10,166.8 SF	6,247.5 SF	
		5,753 SF + 494.5 SF	
		7,731 SF + 386 SF	
FAR (FLOOR AREA RATIO):		.077	.10
FRONT YARD SETBACK:	50 FT.	61'-8 3/8"	27'-7 1/2"
REAR YARD SETBACK:	50 FT.	9'-8 3/4"	24'-8 1/2"
SIDE YARD SETBACK:			
ONE-STORY:	ONE-STORY: 20 FT.	NORTH: 131.81' SOUTH: 91.47'	NORTH: 104.05' SOUTH: 93.58'
TWO-STORY:	TWO-STORY: 25 FT.	NORTH: 126.81' SOUTH: 86.47'	NORTH: 99.05' SOUTH: 88.58'
INITIAL MEASURING POINT:	PER PROJECT (SEE SHEET A0.02)	12.6' NAVD	12.58' NAVD
FILL:	3 FT. MAXIMUM	N/A	MAX FILL 12"
ROOF HEIGHT:			
ONE-STORY SLOPED:			
≤ 3:12 SLOPE	19 FT.	14'-4 3/8"	16-5 1/8"
> 3:12 SLOPE	22 FT.	N/A	N/A
TWO-STORY SLOPED:			
≤ 3:12 SLOPE	27 FT.	22'-5 1/4"	23'-6 1/8"
> 3:12 SLOPE	30 FT.	N/A	27'-5"
EXTERIOR WALL HEIGHT:			
ONE-STORY:	14 FT.	11'-5 3/8"	12'-8 3/8" HIGHEST
TWO-STORY:	22 FT.	19'-7 1/8"	22'-0" HIGHEST
PARKING SPACES (1 PER BDRM):	7 MINIMUM (FOR PROPOSED DESIGN)		7 SITE + 2 GARAGE
DRIVEWAY SETBACK:	8 FT.		31 FT.
LANDSCAPE AREA:	50%	70%	74%
ELEVATION OF LHSM:	N/A	N/A	N/A
FEMA FLOOD ZONE:	ZONE "X" (MINIMAL FLOOD HAZARD)	N/A	N/A
ELEVATION OF FINISH FLOOR:	12" ABOVE BASE FLOOD ELEVATION (BFE)	MAIN HOUSE: +13.54'	MAIN HOUSE: +13.56'

T A B L E O F C O N T E N T S

SHEET NUMBER	SHEET TITLE
ARCHITECTURE	
A0.00	COVER SHEET
A0.01	PROJECT INFORMATION
A0.02	ZONING DIAGRAMS
A1.01	SITE DIAGRAM - EXISTING
A1.02	PROPOSED SITE DIAGRAM
A1.11	EXISTING 1ST & 2ND FLOOR PLANS
A1.12	EXISTING 3RD FLOOR PLAN & ROOF PLAN
A1.21	MAIN HOUSE 1ST FLOOR PLAN
A1.22	MAIN HOUSE 2ND FLOOR PLAN
A1.23	MAIN HOUSE ROOF PLAN
A2.11	EXISTING ELEVATIONS
A2.12	EXISTING ELEVATIONS
A2.21	PROPOSED ELEVATIONS
A2.22	PROPOSED ELEVATIONS
A3.01	ARCHITECTURAL RENDERINGS
LANDSCAPE ARCHITECTURE	
LP-0.00	COVER
LP-0.10	TREE PROTECTION PLAN
LP-0.11	TREE DISPOSITION CHART
LP-0.20	CONSTRUCTION STAGING PLAN
LP-1.00	HARDSCAPE SITE PLAN
LP-4.00	PLANTING PLAN
LP-4.10	PLANTING PLAN
LP-4.11	PLANTING PLAN
LP-4.20	LANDSCAPE ELEVATIONS
LP-4.21	LANDSCAPE ELEVATIONS
CIVIL ENGINEERING	
C-1	
C-2	
C-3	
C-4	
PROPERTY SURVEY	
PB3368-22J	BOUNDARY & TOPOGRAPHIC SURVEY

V I C I N I T Y M A P



P R O J E C T I N F O R M A T I O N

SCOPE OF WORK:
A DESIGN FOR A NEW PRINCIPAL STRUCTURE TO REPLACE A PREVIOUSLY APPROVED DESIGN FOR A RENOVATION/EXPANSION OF THE EXISTING STRUCTURE. THE REPLACEMENT DESIGN WAS NECESSARY AFTER THE EXISTING STRUCTURE WAS DEEMED STRUCTURALLY UNSAVABLE, REQUIRING A NEW STRUCTURE TO BE BUILT IN ITS PLACE. THE PROPOSED PRINCIPAL STRUCTURE WILL BE DESIGNED TO REPLICATE THE HISTORIC ARCHITECTURAL CHARACTER OF THE EXISTING STRUCTURE.

OCCUPANCY CLASSIFICATION:
A-80, 2-ACRE ESTATE RESIDENTIAL DISTRICT

PROJECT NAME:
WILLIAMS RESIDENCE - 214 SOUTH BEACH ROAD

PROJECT OWNER & ADDRESS:
ARTHUR AND CATHERINE WILLIAMS
214 S. BEACH ROAD
HOBE SOUND, FL 33455

GENERAL CONTRACTOR:
SANDS CONSTRUCTION COMPANY, INC
11850 SE SHELL AVE

HOBE SOUND, FL 33455
772-546-2111
CONTACT: ERIC SCHMITZ

ARCHITECT:
D. STANLEY DIXON, ARCHITECT
2300 PEACHTREE ROAD, SUITE C-101
ATLANTA, GEORGIA 30309
404-574-1430
CONTACT: MCLEAN JENKINS

LANDSCAPE ARCHITECT:
HOWARD DESIGN STUDIO
1201 PEACHTREE ST. NE, SUITE 1925
ATLANTA, GA 30361
404-876-7051
CONTACT: COLLIN BENTLEY

CIVIL ENGINEER:
GRUBER CONSULTING ENGINEERS, INC
2475 MERCER AVE., SUITE 305
WEST PALM BEACH, FL 33411
561-312-2041
CONTACT: CHAD GRUBER

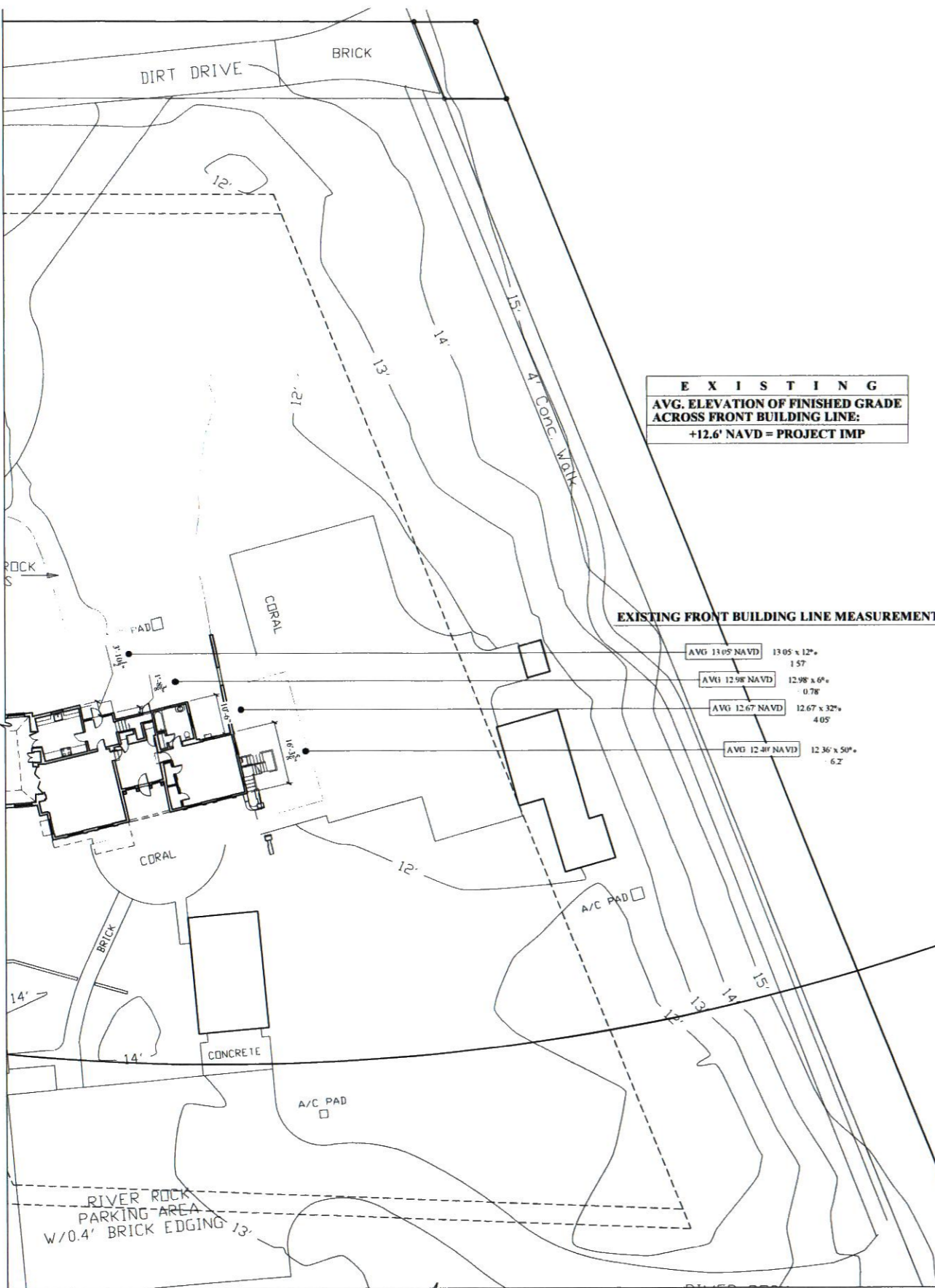
THE WILLIAMS RESIDENCE
 214 SOUTH BEACH ROAD
 JUPITER ISLAND, FL
 COUNTY

D. STANLEY DIXON
 ARCHITECT
 2300 PEACHTREE ROAD, SUITE C-101 ATLANTA, GA 30309
 404-574-1430

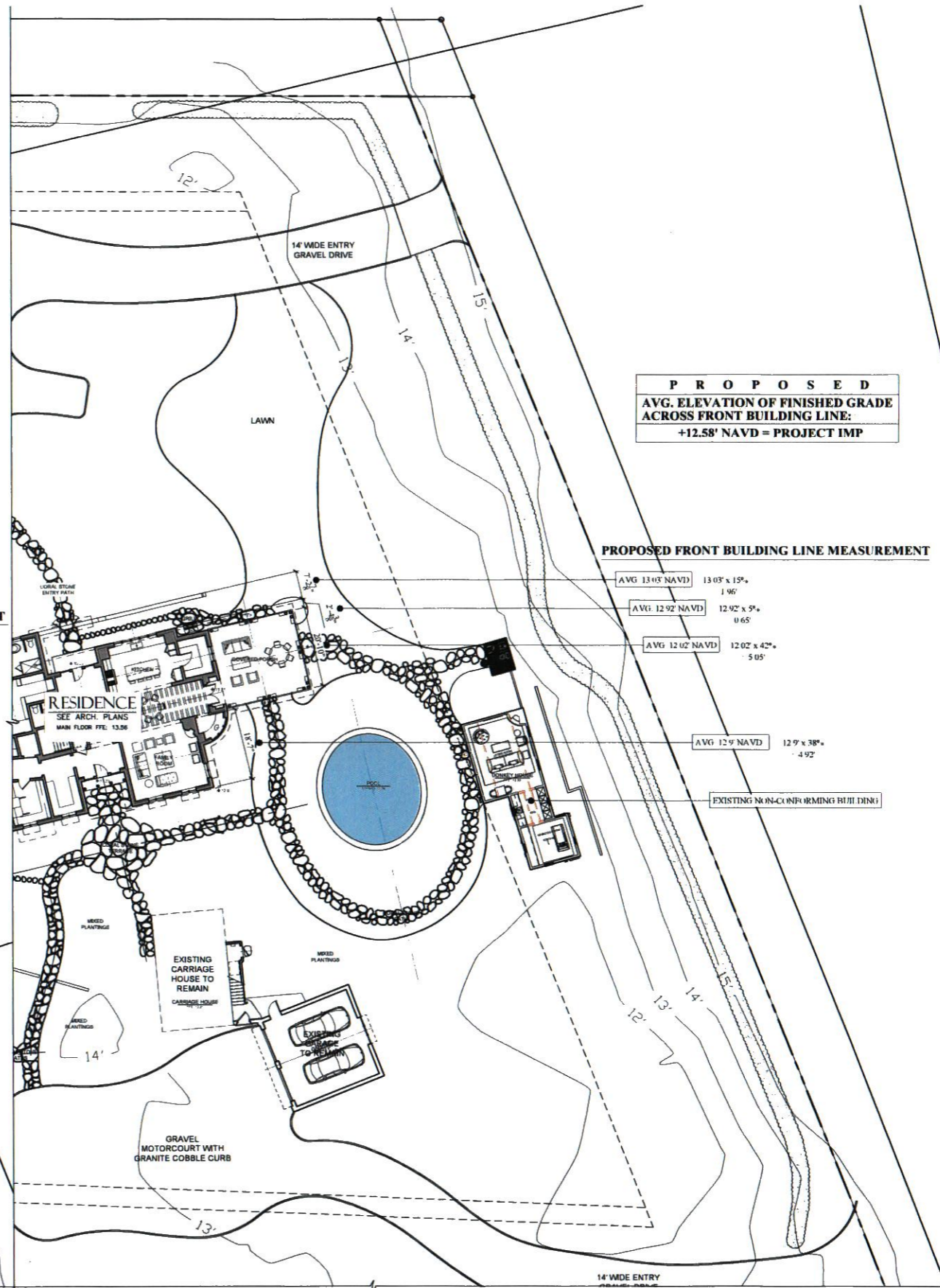


PROJECT # 23-502	
DRAWN BY	CHECKED BY
IRC SUBMITTAL SEPTEMBER 12, 2025	
RELEASES	
PROJECT INFORMATION	
A0.01	

NOT RELEASED FOR CONSTRUCTION



1 INITIAL MEASURING POINT DIAGRAM : EXISTING
SCALE 1/16" = 1'-0"



2 INITIAL MEASURING POINT DIAGRAM : PROPOSED
SCALE 1/16" = 1'-0"

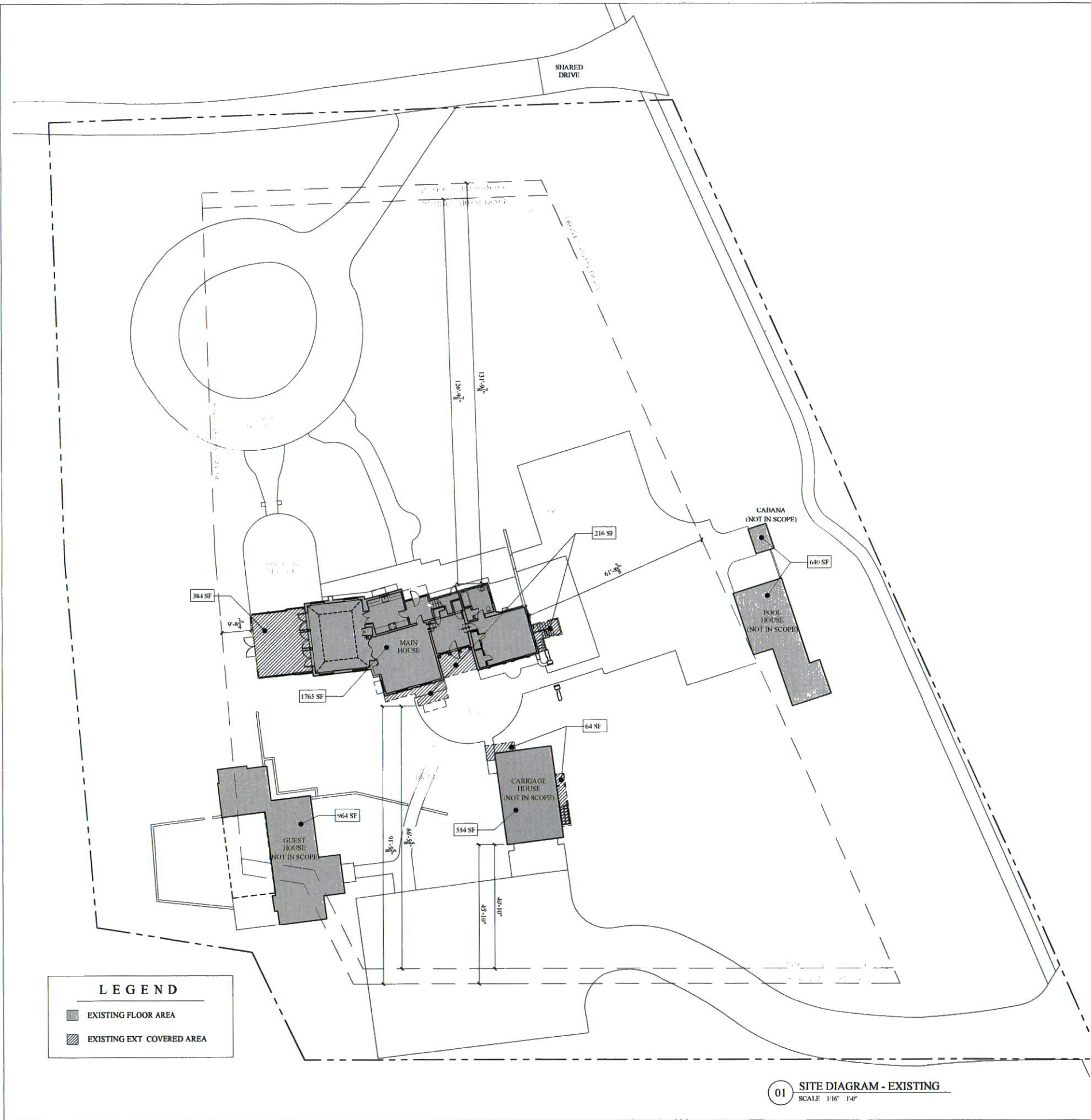
THE
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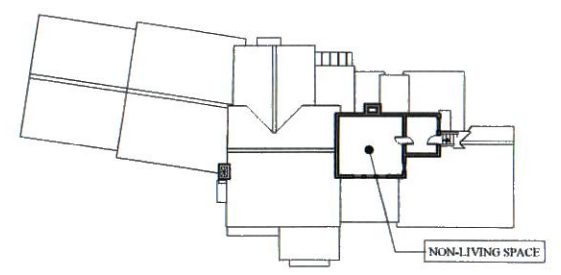


PROJECT # 23-502	
DRAWN MJ	CHECKED DSD
IRC SUBMITTAL SEPTEMBER 12, 2025	
RELEASES	
ZONING DIAGRAMS	
A0.02	

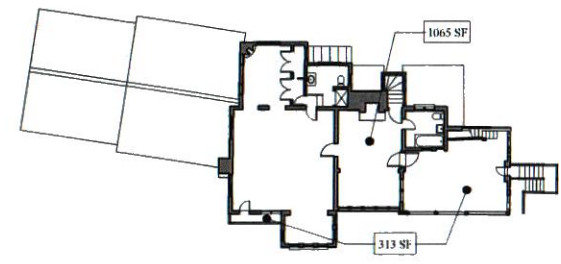
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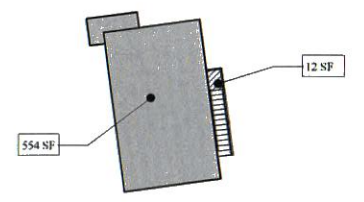
01 SITE DIAGRAM - EXISTING
SCALE 1/16" = 1'-0"



02 MAIN HOUSE EXISTING THIRD FLOOR PLAN
SCALE 1/16" = 1'-0"



03 MAIN HOUSE EXISTING SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"



04 CARRIAGE HOUSE EXISTING SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"

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PROJECT # 23-502	
DRAWN BY	CHECKED DSD
IRC SUBMITTAL SEPTEMBER 12, 2025	
RELEASES	
SITE DIAGRAM - EXISTING A1.01	

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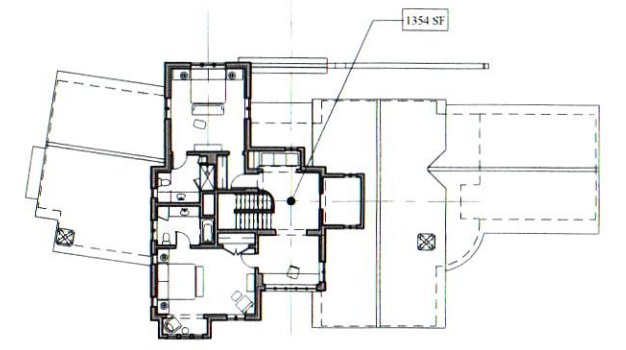


PROJECT # 23-502
 DRAWN MJ CHECKED DSD

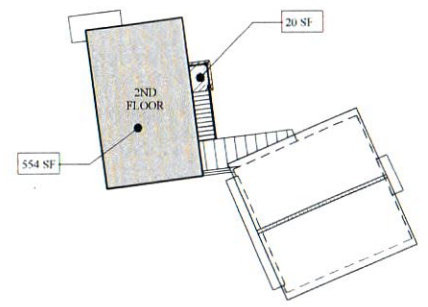
IRC SUBMITTAL
 SEPTEMBER 12, 2025

RELEASES

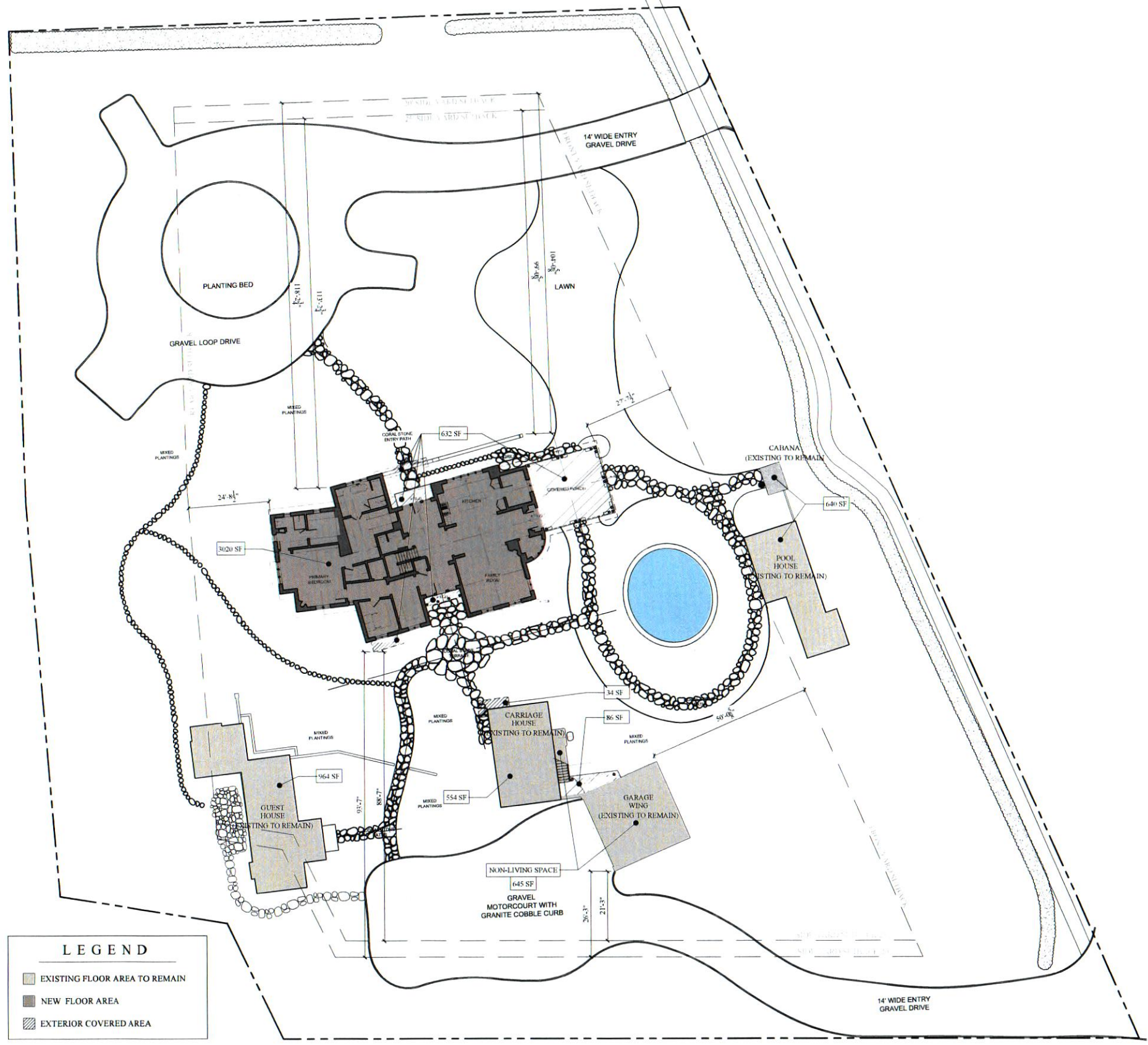
PROPOSED SITE
 DIAGRAM
 A1.02



2 MAIN HOUSE 2ND FLOOR PLAN
 SCALE 1/16" = 1'-0"



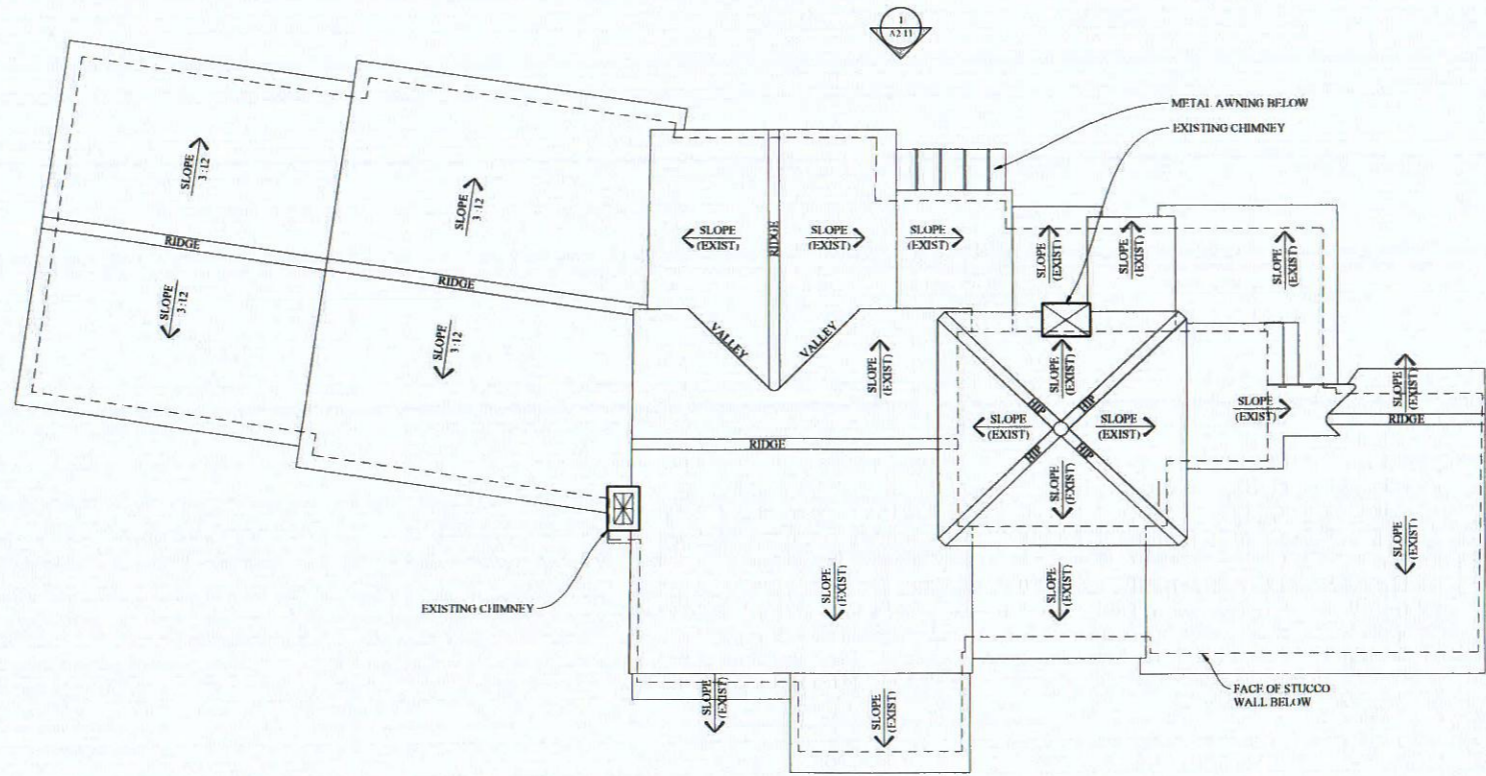
4 CARRIAGE HOUSE 2ND FLOOR PLAN
 SCALE 1/16" = 1'-0"



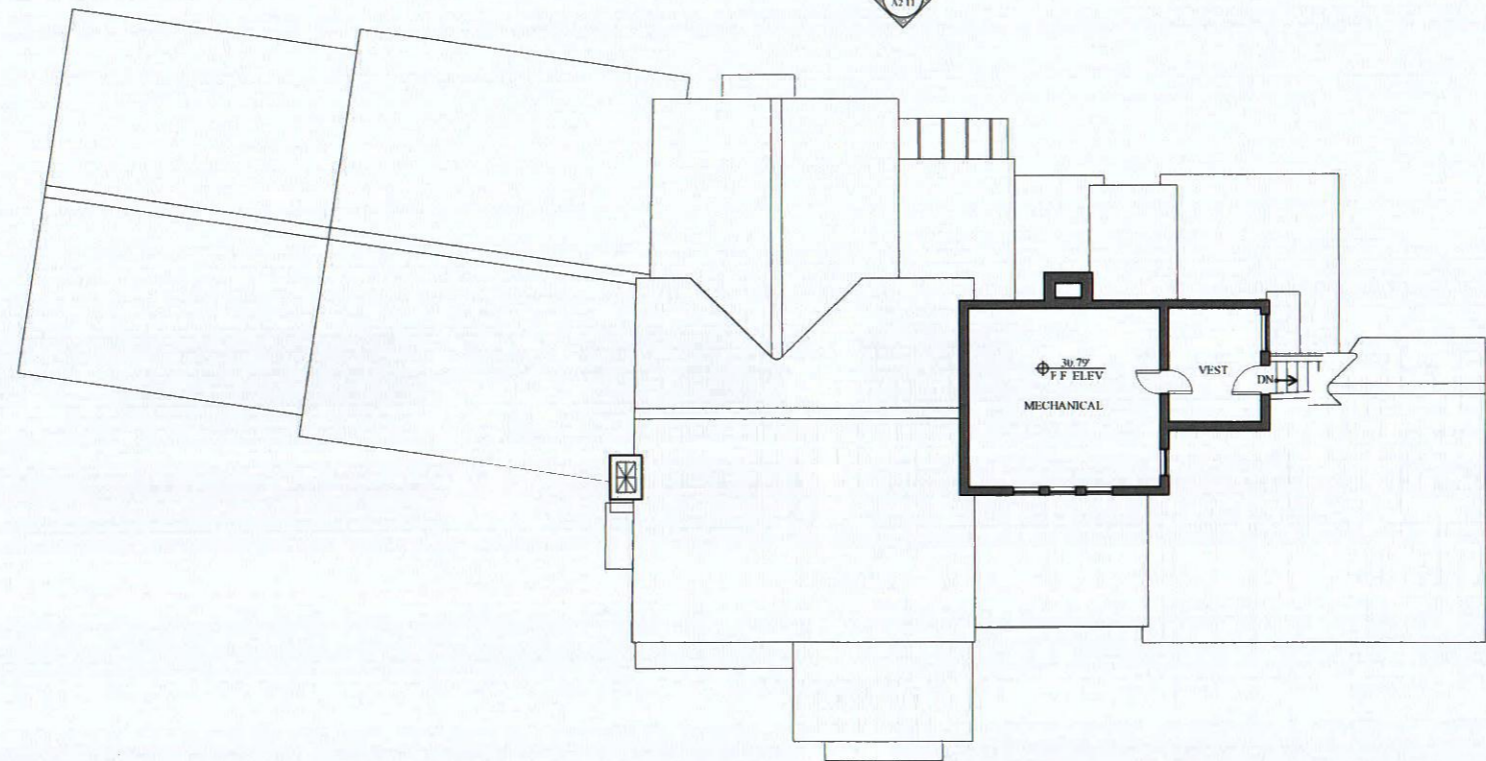
1 PROPOSED SITE DIAGRAM
 SCALE 1/16" = 1'-0"

LEGEND

- EXISTING FLOOR AREA TO REMAIN
- NEW FLOOR AREA
- EXTERIOR COVERED AREA



02 EXISTING ROOF PLAN
SCALE: 3/16" = 1'-0"



01 MAIN HOUSE EXISTING THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

THE
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404-574-1410



PROJECT # 23-502	
DRAWN MD	CHECKED DSD
IRC SUBMITTAL SEPTEMBER 12, 2025	
RELEASES	
EXISTING 3RD FLOOR PLAN & ROOF PLAN A1.12	

NOT RELEASED FOR CONSTRUCTION

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PROJECT #: 23-502
 DRAWN MJ CHECKED DSD

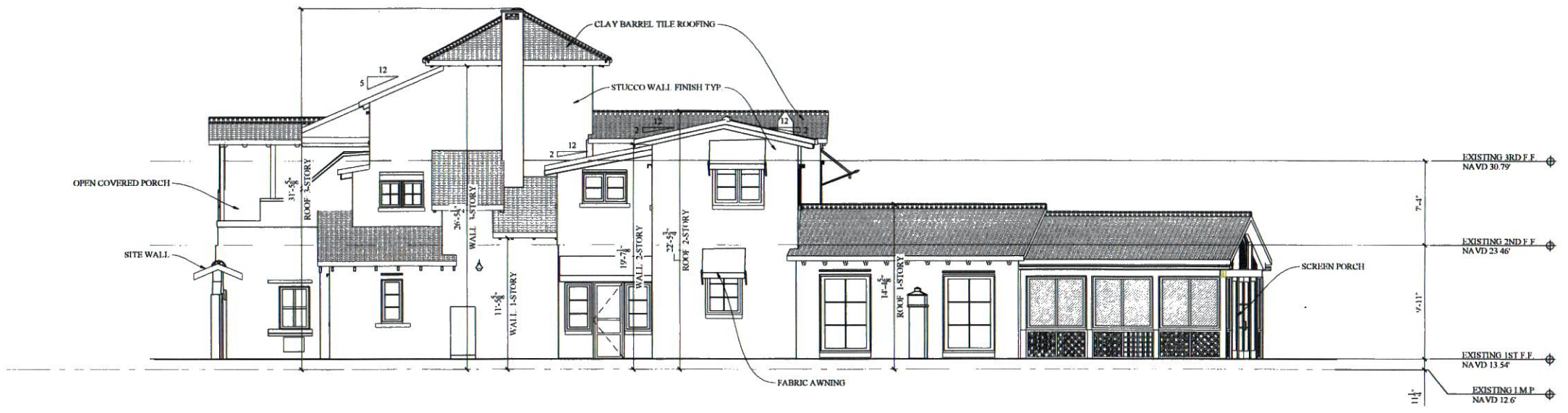
IRC SUBMITTAL
 SEPTEMBER 12, 2025

RELEASES

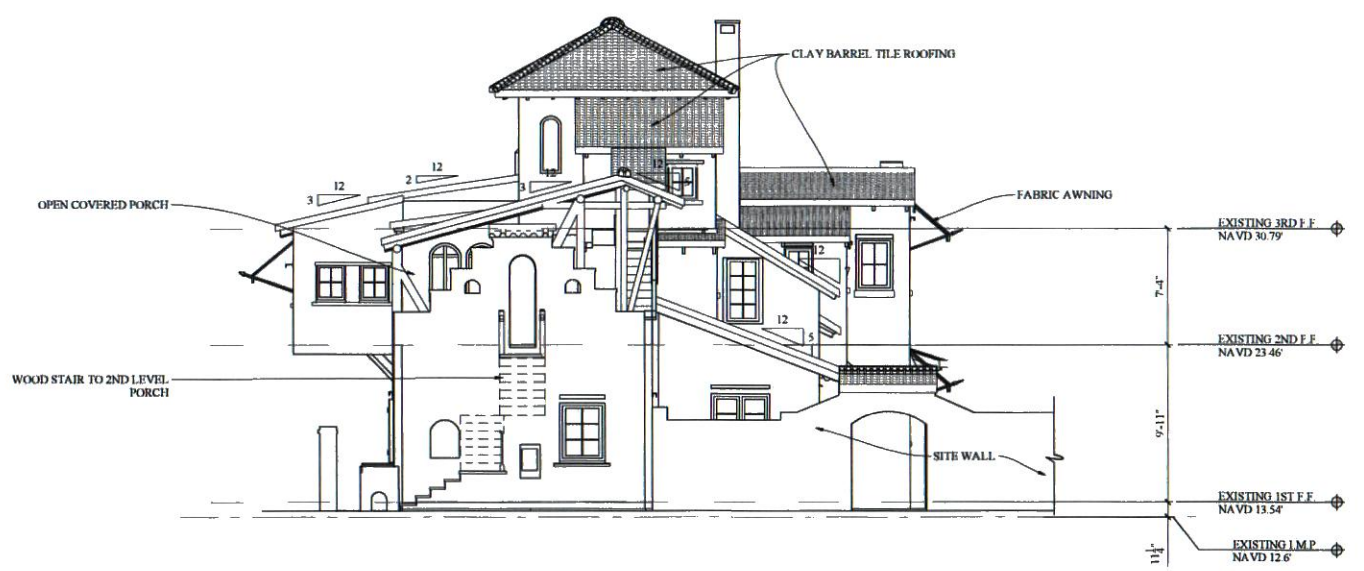
EXISTING ELEVATIONS

A2.11

NOT RELEASED FOR CONSTRUCTION



1 EXISTING NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 EXISTING EAST ELEVATION
 SCALE: 3/16" = 1'-0"

ALL ROOF AND WALL HEIGHTS MEASURED
 FROM PROJECT'S INITIAL MEASURING POINT:
 +12.6 NAVD = EXISTING IMP

THE
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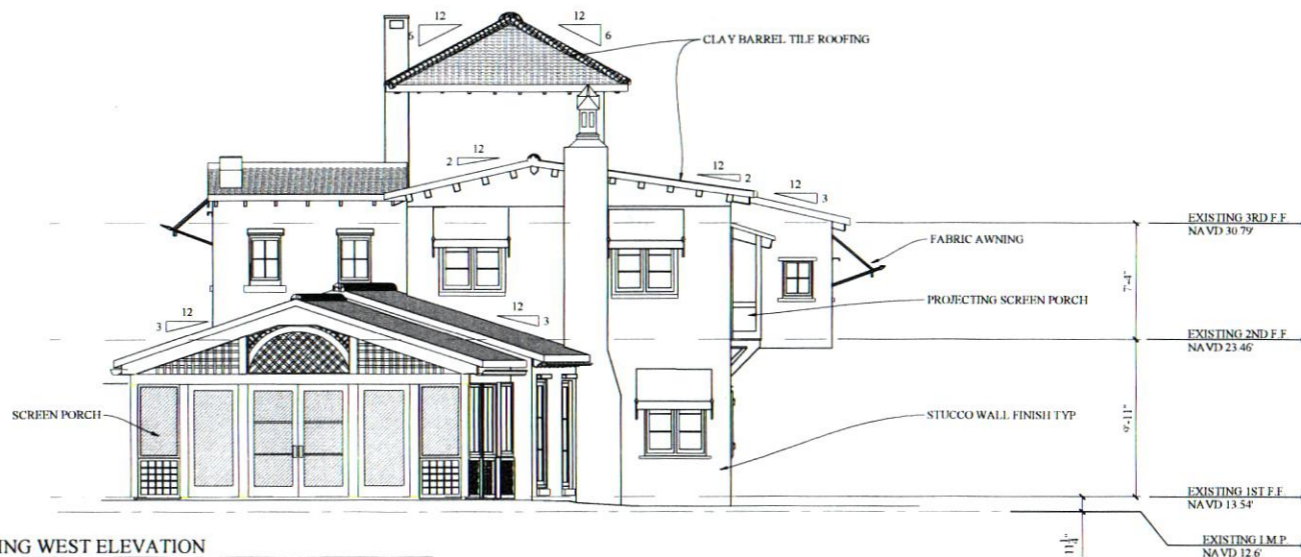
PROJECT # 23-502
DRAWN MJ CHECKED DSD
IRC SUBMITTAL
SEPTEMBER 12, 2025

RELEASES

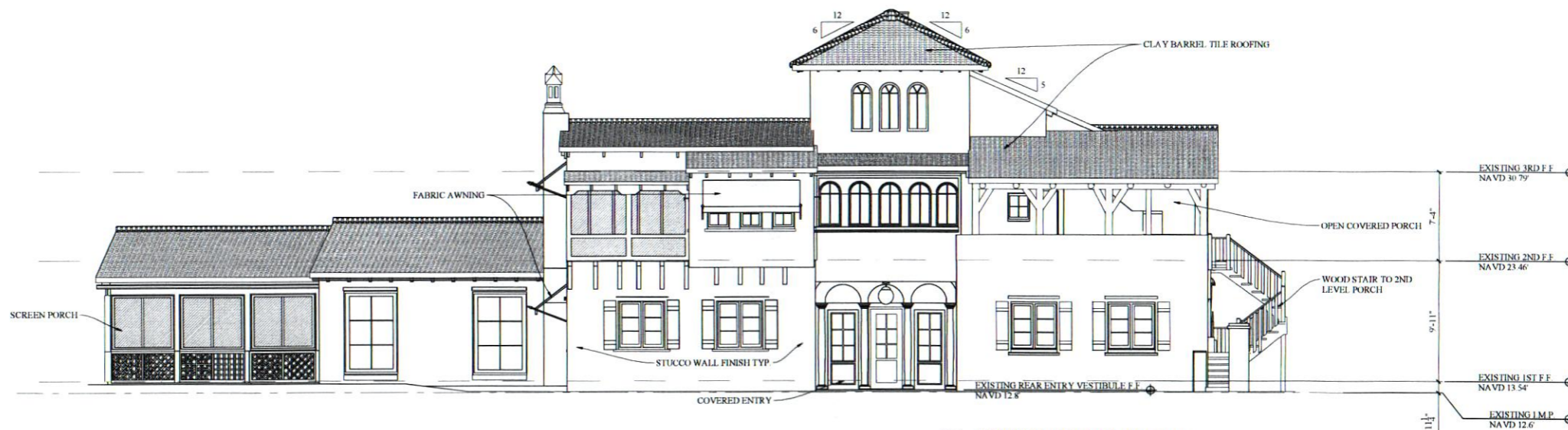
EXISTING ELEVATIONS

A2.12

NOT RELEASED FOR CONSTRUCTION

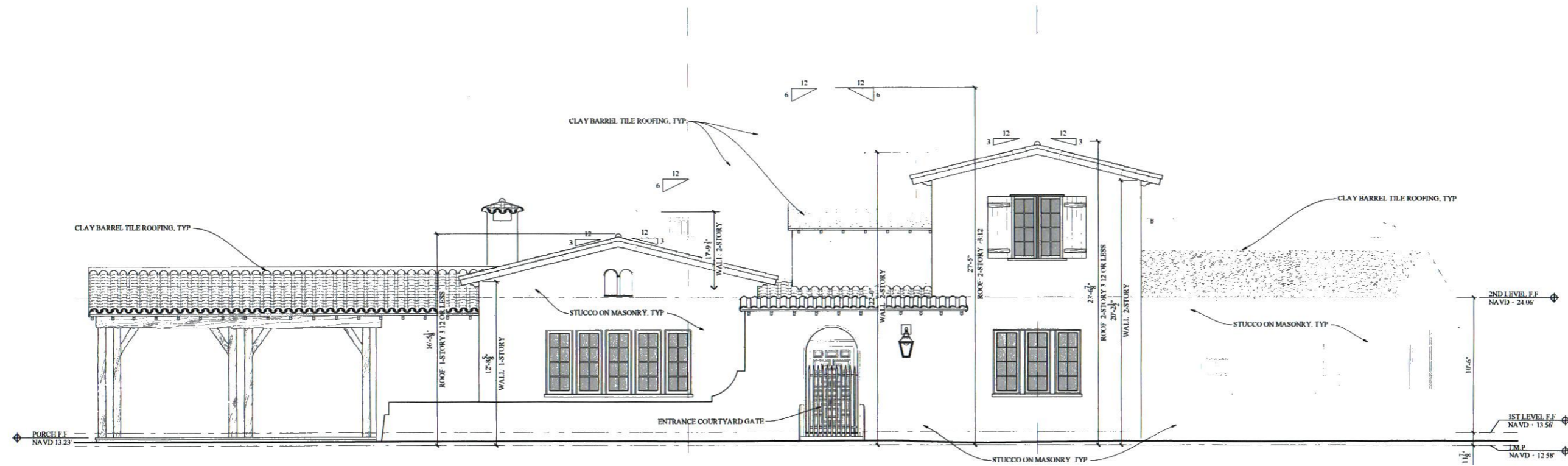


1 EXISTING WEST ELEVATION
SCALE 3/16" = 1'-0"



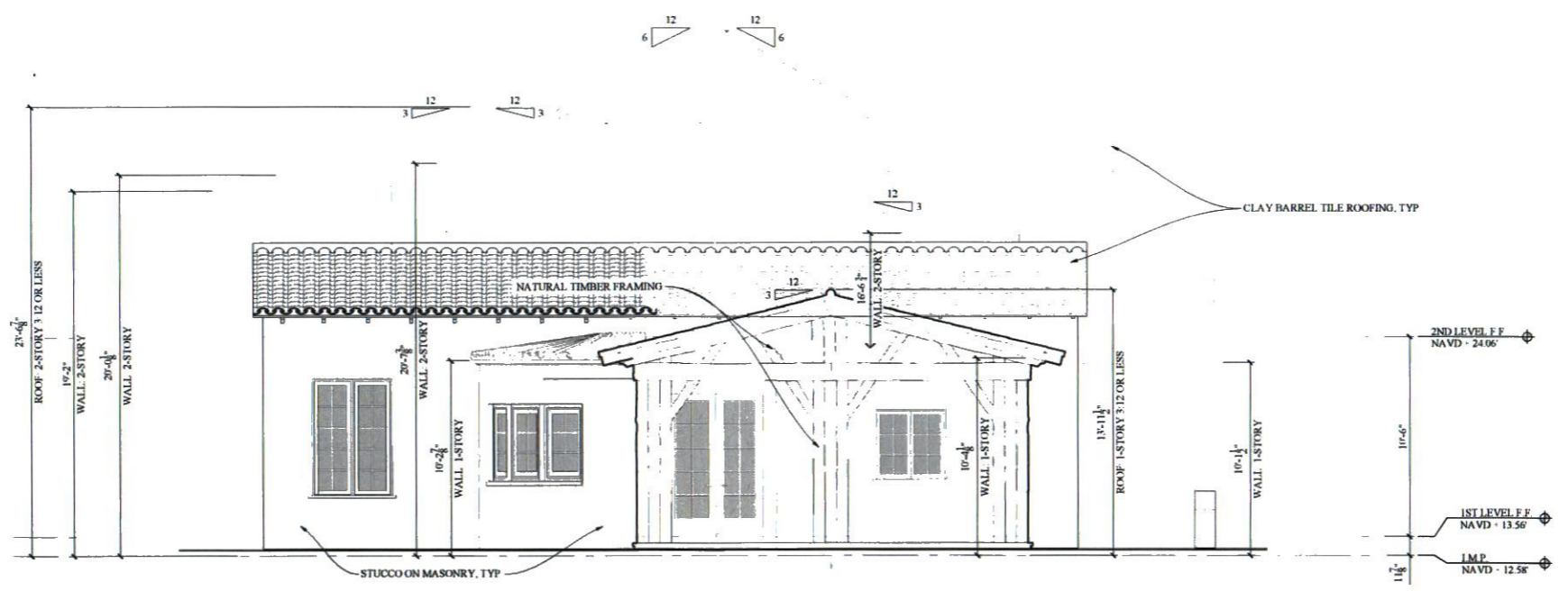
2 EXISTING SOUTH ELEVATION
SCALE 3/16" = 1'-0"

ALL ROOF AND WALL HEIGHTS MEASURED
FROM PROJECT'S INITIAL MEASURING POINT:
+12.6 NAVD = EXISTING IMP



1 NORTH ELEVATION
SCALE 1/4" = 1'-0"

ALL ROOF AND WALL HEIGHTS MEASURED FROM PROJECT'S INITIAL MEASURING POINT:
+12.58' NAVD = PROJECT IMP



2 EAST ELEVATION
SCALE 1/4" = 1'-0"

THE
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404-574-1430



PROJECT # 23-502	
DRAWN: MJ	CHECKED: DSD
IRC SUBMITTAL SEPTEMBER 12, 2025	
RELEASES	
PROPOSED ELEVATIONS	
A2.21	

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PROJECT # 23-502
 DRAWN MU CHECKED DSD

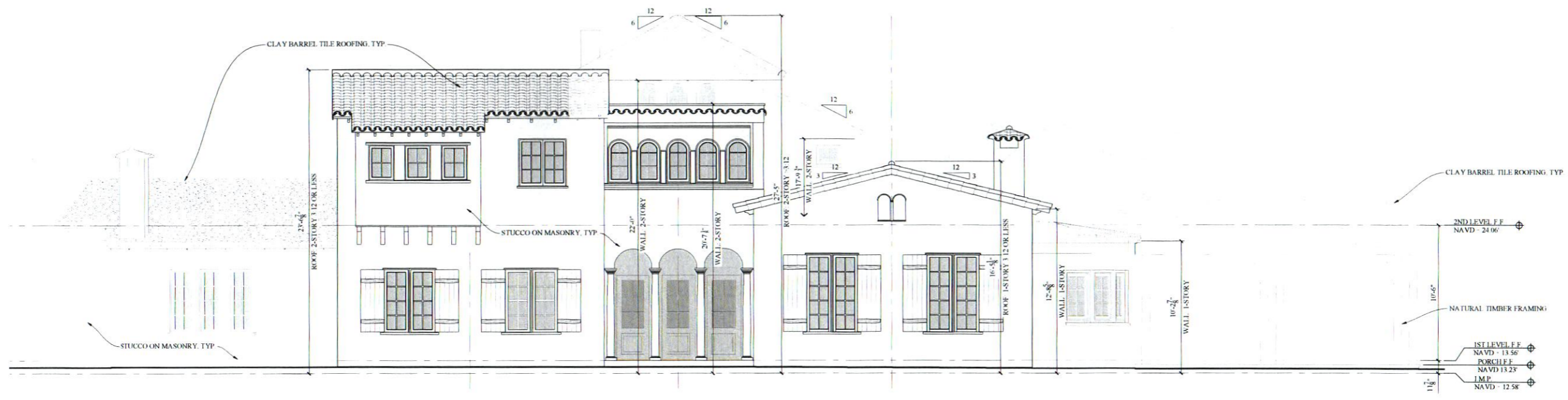
IRC SUBMITTAL
 SEPTEMBER 12, 2025

RELEASES

PROPOSED ELEVATIONS

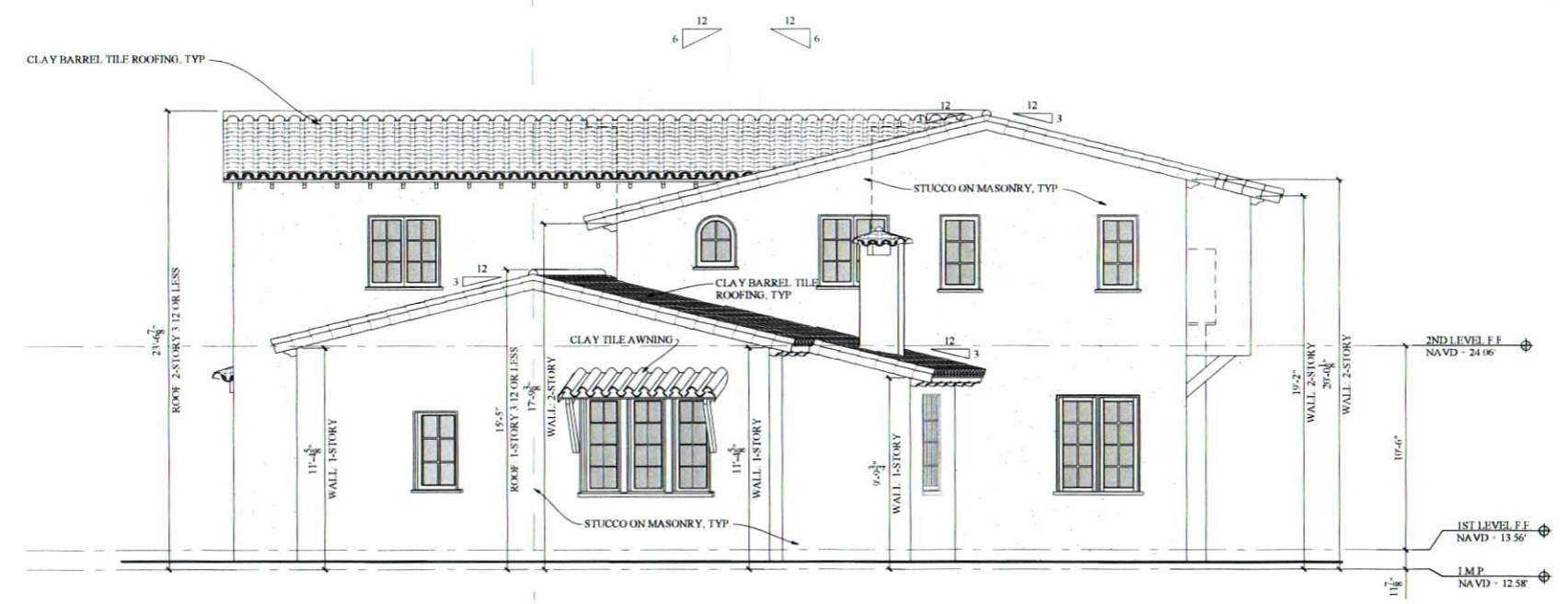
A2.22

NOT RELEASED FOR CONSTRUCTION



1 SOUTH ELEVATION
 SCALE 1/4" = 1'-0"

ALL ROOF AND WALL HEIGHTS MEASURED
 FROM PROJECT'S INITIAL MEASURING POINT:
 +12.58' NAVD = PROJECT IMP



2 WEST ELEVATION
 SCALE 1/4" = 1'-0"



NORTH PERSPECTIVE



SOUTH PERSPECTIVE

THE
**WILLIAMS
 RESIDENCE**
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 JUPITER ISLAND, FL.
 COUNTY

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 ARCHITECT

2300 PEACHTREE ROAD, SUITE C-101 ATLANTA, GA 30309
 404-574-1430



PROJECT # 25-502

DRAWN MJ CHECKED DSD

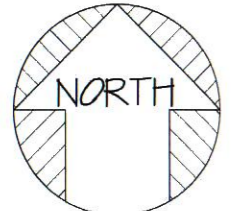
IRC SUBMITTAL
 SEPTEMBER 12, 2025

RELEASES

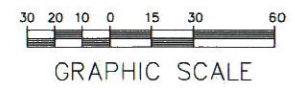
ARCHITECTURAL
 RENDERINGS
 A3.01

NOT RELEASED FOR CONSTRUCTION

GOD BLESS AMERICA



SCALE : 1" = 30'
THIS IS THE INTENDED DISPLAY SCALE



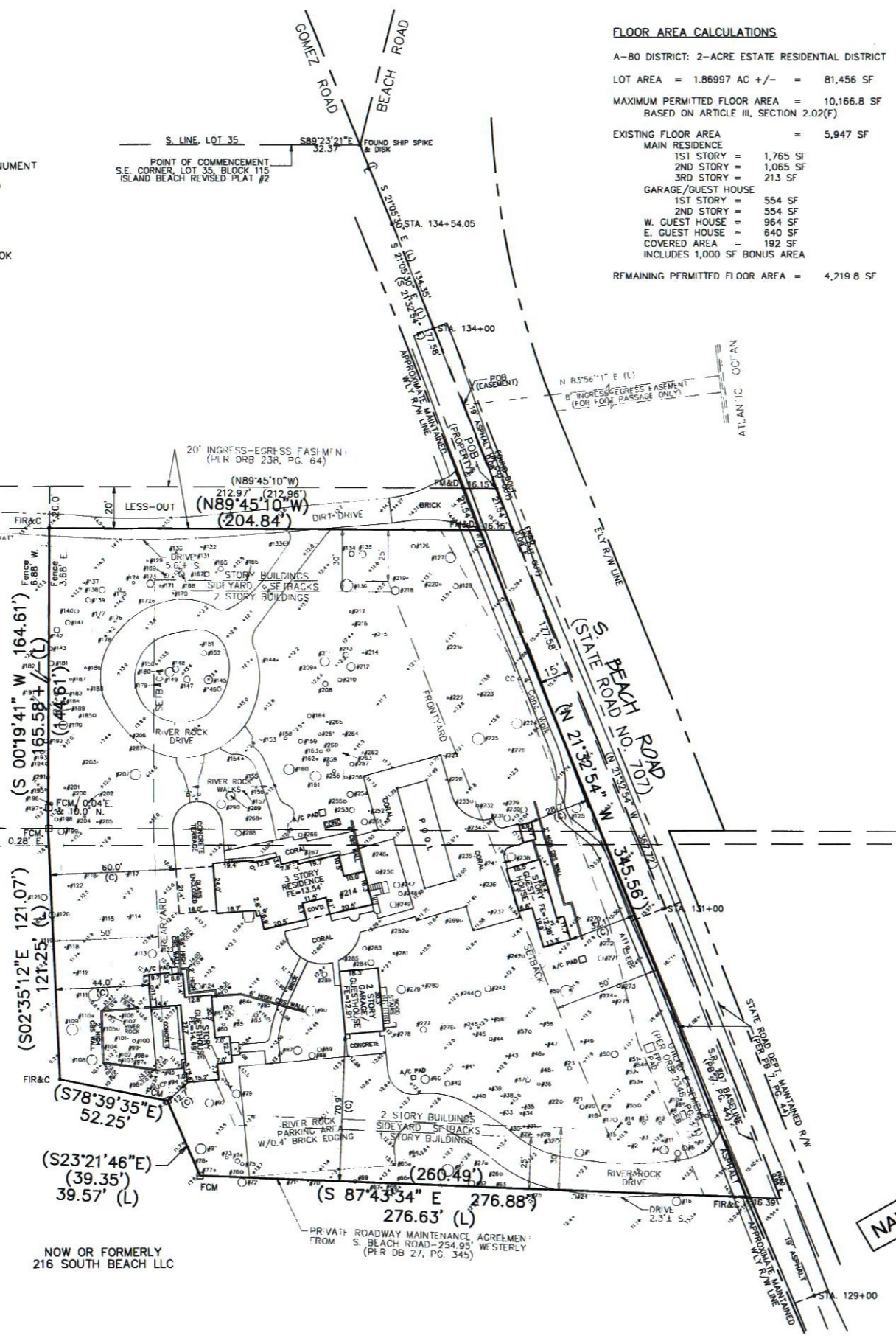
- LEGEND**
- ATT AT&T CLOSURE
 - CC CABLE CLOSURE
 - (C) CENTERLINE
 - DB COMPUTED DEED BOOK
 - EB ELECTRIC BOX
 - FE FLOOR ELEVATION
 - FCM FOUND CONCRETE MONUMENT (4" X 4")
 - FIR&C FOUND 5/8" IRON ROD & PLS #2208 CAP
 - FM&D FOUND MAG NAIL & LB #5879 DISK
 - FN&D FOUND NAIL & PLS #2208 DISK
 - (L) LEGAL
 - ORB OFFICIAL RECORDS BOOK
 - PC PAGE
 - PB PLAT BOOK
 - POB POINT OF BEGINNING
 - R/W RIGHT-OF-WAY
 - W/M WATER METER
 - EXISTING ELEVATION
 - TR & TAG NUMBER

NOW OR FORMERLY
TRISTRAM & RUTH COLKET

NOW OR FORMERLY
DAVID MCELROY (ESTATE)

NOW OR FORMERLY
216 SOUTH BEACH LLC

- BUILDING SETBACKS**
- PER ZONE A-80, 2 ACRE ESTATE RESIDENTIAL DISTRICT:
- FRONTYARD SETBACK - 50'
 - SIDEYARD SETBACKS - 25' (1 STORY BUILDINGS)
30' (2 STORY BUILDINGS)
 - REARYARD SETBACK - 50'



FLOOR AREA CALCULATIONS

A-80 DISTRICT: 2-ACRE ESTATE RESIDENTIAL DISTRICT

LOT AREA = 1.86997 AC +/- = 81,456 SF

MAXIMUM PERMITTED FLOOR AREA = 10,166.8 SF
BASED ON ARTICLE III, SECTION 2.02(F)

EXISTING FLOOR AREA = 5,947 SF

MAIN RESIDENCE

- 1ST STORY = 1,765 SF
- 2ND STORY = 1,065 SF
- 3RD STORY = 213 SF

GARAGE/GUEST HOUSE

- 1ST STORY = 554 SF
- 2ND STORY = 554 SF

W. GUEST HOUSE = 964 SF

E. GUEST HOUSE = 640 SF

COVERED AREA = 192 SF

INCLUDES 1,000 SF BONUS AREA

REMAINING PERMITTED FLOOR AREA = 4,219.8 SF

LEGAL DESCRIPTION: (PER OFFICIAL RECORDS BOOK 1392, PAGE 79)

COMMENCING AT THE SOUTHEAST CORNER OF LOT 35, BLOCK 115, ISLAND BEACH REVISED PLAT NO. 2, PLAT BOOK 2, PAGE 44, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE RUN EASTERLY ALONG THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 35 A DISTANCE OF 32.31 FEET TO THE CENTERLINE OF STATE ROAD 707; THENCE MEASURING RIGHT TO LEFT AN ANGLE OF 111 DEGREES 53 MINUTES 01 SECONDS, RUN ALONG THE CENTERLINE OF STATE ROAD 707 A DISTANCE OF 177.58 FEET TO THE POINT OF BEGINNING; THENCE MEASURING LEFT TO RIGHT (RIGHT TO LEFT) AN ANGLE OF 68 DEGREES 12 MINUTES 25 SECONDS, RUN A DISTANCE OF 212.97 FEET; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 90 DEGREES 04 MINUTES 51 SECONDS, RUN A DISTANCE OF 165.58 FEET MORE OR LESS TO THE SOUTH LINE OF LOT 102, PLAT OF GOMEZ GRANT AND JUPITER ISLAND, PLAT BOOK 1, PAGE 80, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 176 DEGREES 58 MINUTES 00 SECONDS, RUN A DISTANCE OF 121.25 FEET; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 103 DEGREES 51 MINUTES 00 SECONDS, RUN A DISTANCE OF 52.25 FEET; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 235 DEGREES 34 MINUTES 30 SECONDS, RUN A DISTANCE OF 39.57 FEET; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 115 DEGREES 30 MINUTES 00 SECONDS, RUN A DISTANCE OF 276.63 FEET TO THE CENTERLINE OF STATE ROAD 707; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 66 DEGREES 13 MINUTES AND 30 SECONDS, RUN ALONG THE CENTERLINE OF STATE ROAD 707 A DISTANCE OF 346.12 FEET (367.86 FEET TO) THE POINT OF BEGINNING, LESS AND EXCEPTING THE NORTH 20 FEET AND RIGHT OF WAY FOR STATE ROAD NO. 707.

TOGETHER WITH AN EASEMENT IN COMMON WITH OTHERS FOR ACCESS TO THE ATLANTIC OCEAN, OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

START AT THE SOUTHEAST CORNER OF LOT 35, BLOCK 115, THE ISLAND BEACH REVISED PLAT #2, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 44, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE RUN S 89°23'21" E ALONG THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 35 FOR A DISTANCE OF 32.31 FEET TO A POINT IN THE CENTERLINE OF GOMEZ ROAD; AND THENCE RUN S 21°05'30" E ALONG SAID ROAD CENTERLINE (STATE ROAD 707) FOR A DISTANCE OF 134.35' TO THE POINT OF BEGINNING; THENCE RUN N 83°56'11" E FOR A DISTANCE OF 41.71 FEET TO A CONCRETE MONUMENT ON SAID LINE AND BEARING FOR A DISTANCE OF 550.74 FEET TO A CONCRETE MONUMENT; THENCE CONTINUE ON SAID LINE AND BEARING FOR A DISTANCE OF 150 FEET MORE OR LESS, TO THE ATLANTIC OCEAN; THENCE MEANDER THE SHORLINE OF THE ATLANTIC OCEAN IN A SOUTHEASTERLY DIRECTION TO THE POINT OF INTERSECTION WITH A LINE WHICH LIES 8 FEET SOUTHERLY OF, AS MEASURED AT RIGHT ANGLES, THE FIRST DESCRIBED LINE; THENCE RUN S 83°56'11" W ALONG A LINE PARALLEL TO AND 8 FEET SOUTHERLY OF SAID FIRST DESCRIBED LINE TO THE POINT OF INTERSECTION WITH THE SAID CENTERLINE ON STATE ROAD 707; THENCE RUN NORTHWESTERLY ALONG SAID CENTERLINE TO THE POINT AND PLACE OF BEGINNING, SUBJECT TO RIGHT-OF-WAY OF SAID STATE ROAD 707. THIS EASEMENT SHALL BE LIMITED TO FOOT PASSAGE ONLY.

SURVEYOR'S NOTES:

1. NOT VALID WITHOUT ALL SHEETS AND THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. BEARINGS SHOWN HEREON ARE GRID BASED ON PLAT OF COASTAL CONSTRUCTION CONTROL LINE, RECORDED JULY 9, 1985, IN PLAT BOOK 9, PAGE 99, LYING BETWEEN DNR RANGE MONUMENTS "R-99" & "R-100".
3. ELEVATIONS SHOWN HEREON REFERENCE NORTH AMERICAN VERTICAL DATUM 1988 (NAV88) AND ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BENCHMARK USED: 'YATES NO 2 1934', ELEVATION = 12.06' (NAV88).
4. BEARINGS, ANGLES, AND DIMENSIONS SHOWN THUSLY () DENOTE FIELD MEASURED QUANTITIES.
5. THIS SURVEY PREPARED WITHOUT BENEFIT OF TITLE AND MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAYS AND OTHER ENCUMBRANCES WHICH MIGHT BE REVEALED IN A SEARCH OF TITLE TO THE SUBJECT LAND.
6. THE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY NAMED IN CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON, WITHOUT THE EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.
7. THERE HAS BEEN NO ATTEMPT TO LOCATE ANY SUBSURFACE IMPROVEMENTS, FOOTERS, FOOTINGS AND/OR UTILITIES ON THIS PROPERTY.
8. SUBJECT PROPERTY LIES IN FLOOD ZONE "X" (MINIMAL FLOOD HAZARD) PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE MAP #12085C0336H, DATED FEBRUARY 19, 2020. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
9. LOT AREA = 81,456 SQUARE FEET (1.86997 ACRES) MORE OR LESS.

R/W NOTE:

R/W FOR STATE ROAD NO. 707 IS RECORDED IN PLAT BOOK 7, PAGE 44, ENTITLED MAINTENANCE MAP, WHICH GIVES VARIOUS DIMENSIONS FROM A BASELINE TO THE LIMITS OF THE MAINTAINED R/W. HOWEVER, IN THE AREA OF SUBJECT PROPERTY, THE BASELINE DOES NOT APPEAR TO COINCIDE WITH EXISTING CONDITIONS, WHICH IS THE REASON FOR THE NOTE ON SKETCH WHICH LABELS LINE "APPROXIMATE MAINTAINED R/W LINE".

CERTIFICATION VALID TO:

1. GATE HOUSE SOUTH PROPERTIES, LLC

CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

R. L. VAUGHT & ASSOCIATES, INC.
LICENSED BUSINESS NO. 5879

DATE OF LAST
FIELD WORK:
April 18, 2024

By: *[Signature]*
P. Michael Zarella
Professional Surveyor and Mapper No. 6736
State of Florida

REVISIONS	BY
04/17/24 - UP-DATE SURVEY - FB 82/28 OR #804863	RLV
06/04/23 - UP-DATE SURVEY - FB 82/28 OR #805981	RLV
11/16/22 - UP-DATE SURVEY - FB 130/53 OR #806190	RLV
01/13/22 - UP-DATE SURVEY - FB 183/41 OR #811017	RLV
05/11/22 - UP-DATE SURVEY - FB 238/38 OR #817796	PWZ
09/21/22 - TOPO SURVEY & TREE LOCATIONS FB: DC OR #82205	PWZ
04/17/23 - FLOOR AREA CALC - FB: 233/79 OR #818887	PWZ
04/18/24 - UPDATE SURVEY - FB: DC OR #89981	RLV III

BOUNDARY & TOPOGRAPHIC SURVEY

214 S. BEACH ROAD
HOBE SOUND, FLORIDA 33455
TOWN OF JUPITER ISLAND

R. L. VAUGHT & ASSOCIATES, INC.
SURVEYORS, MAPPERS & PLANNERS
LICENSED SURVEY BUSINESS NUMBER 5879
9075 SE BRIDGE ROAD; HOBE SOUND 33455
MAIL: P.O. BOX 160 HOBE SOUND, FL 33475
PHONE: 772-546-8086 FAX: 772-546-8087
EMAIL: vaught@bellsouth.net

DRAWN	RLV
CHECKED	RLV, SR.
SCALE	AS SHOWN
DATE	MARCH 30, 1992
FIELD BOOK	82/28
ORDER NO.	803368
SHEET OF SHEETS	1 2
FILE NUMBER	PB3368-22J

IMPACT REVIEW SUBMITTAL

for

214 SOUTH BEACH ROAD GATE HOUSE PROJECT

214 SOUTH BEACH ROAD
JUPITER ISLAND, FL.
COUNTY



SUBMITTED ON 9/15/2025

THE
WILLIAMS
RESIDENCE
214 SOUTH BEACH ROAD
JUPITER ISLAND, FL.
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D. STANLEY DIXON
ARCHITECT

2300 PEACHTREE ROAD, SUITE C-101 ATLANTA, GA 30309
404-574-1430



PROJECT # 23-502	
DRAWN: MJ	CHECKED: DSD
IRC SUBMITTAL SEPTEMBER 12, 2025	
RELEASES	
COVER SHEET	
A0.00	

NOT RELEASED FOR CONSTRUCTION

ZONING ANALYSIS TABLE FOR 214 SOUTH BEACH ROAD

ZONING DISTRICT				A-80 2-ACRE ESTATE RESIDENTIAL DISTRICT			
	REQUIRED / PERMITTED	EXISTING		PROPOSED			
LOT AREA:	2 ACRES	1.86997 ACRES		1.86997 ACRES			
LOT WIDTH:	200 FT. MINIMUM	345.56 FT.		345.56 FT.			
LIVING SPACE/FLOOR AREA:	A-80 DISTRICT	MAIN HOUSE		MAIN HOUSE			
	LOT AREA = 1.86997 ACRES = 81,456 SF	FLOOR AREA		FLOOR AREA		AREAS PER ARTICLE IV. SEC. 2.01 (C)	AREAS PER ARTICLE IV. SEC. 2.01 (C)
	PERMITTED FLOOR AREA FOR A-80 DISTRICT	1ST FLOOR = 1,765 SF	1ST FLOOR = 600 SF	1ST FLOOR = 3,020 SF	1ST FLOOR = 632 SF		
	1. 17.25% OF FIRST ACRE = 7,514.1 SF	2ND FLOOR = 1,065 SF	2ND FLOOR = 313 SF	2ND FLOOR = 1,354 SF	2ND FLOOR = N/A		
	2. 7% OF REMAINING LOT AREA = + 2,652.7 SF	3RD FLOOR = NON-LIVING SPACE	3RD FLOOR = N/A				
	TOTAL = 10,166.8 SF	TOTAL = 2,830 SF	TOTAL = 913 SF	TOTAL = 4,374 SF	TOTAL = 632 SF		
	ACCESSORY STRUCTURE #1 (EXISTING, ORIGINAL)	CARRIAGE HOUSE		CARRIAGE HOUSE			
		1ST FLOOR = 554 SF	1ST FLOOR = 64 SF	1ST FLOOR = 554 SF	1ST FLOOR = 120 SF		
		2ND FLOOR = 554 SF	2ND FLOOR = 12 SF	2ND FLOOR = 554 SF	2ND FLOOR = 20 SF		
		TOTAL = 1108 SF	TOTAL = 76 SF	TOTAL = 1108 SF (25%)	TOTAL = 140 SF		
ACCESSORY STRUCTURE #2 (EXISTING, ORIGINAL)	GUEST HOUSE		GUEST HOUSE				
	TOTAL = 964 SF	TOTAL = N/A	TOTAL = 964 SF	TOTAL = N/A			
ACCESSORY STRUCTURE #3 (EXISTING, ORIGINAL)	POOL HOUSE + CABANA		POOL HOUSE + CABANA				
	TOTAL = 640 SF	TOTAL = N/A	TOTAL = 640 SF	TOTAL = N/A			
NON-LIVING SPACE	MAIN HOUSE 3RD FLR.		GARAGE				
	TOTAL = 211 SF	TOTAL = N/A	TOTAL = 645 SF	TOTAL = N/A			
		TOTAL FLOOR AREA	TOTAL SEC. 2.01(C) AREA	TOTAL FLOOR AREA	TOTAL SEC. 2.01(C) AREA		
		5,753 SF	989 SF COUNTED @ 50%	7,731 SF	772 SF COUNTED @ 50%		
	10,166.8 SF	6,247.5 SF		8,117 SF			
		5,753 SF + 494.5 SF		7,731 SF + 386 SF			
FAR (FLOOR AREA RATIO):		.077		.10			
FRONT YARD SETBACK:	50 FT.	61'-8 3/8"		27'-7 1/2"			
REAR YARD SETBACK:	50 FT.	9'-8 3/4"		24'-8 1/2"			
SIDE YARD SETBACK:	ONE-STORY: 20 FT.	NORTH: 131.81'		NORTH: 104.05'			
		SOUTH: 91.47'		SOUTH: 93.58'			
	TWO-STORY: 25 FT.	NORTH: 126.81'		NORTH: 99.05'			
		SOUTH: 86.47'		SOUTH: 88.58'			
INITIAL MEASURING POINT:	PER PROJECT (SEE SHEET A0.02)	12.6' NAVD		12.58' NAVD			
FILL:	3 FT. MAXIMUM	N/A		MAX FILL 12"			
ROOF HEIGHT:	ONE-STORY SLOPED:						
	≤ 3:12 SLOPE	19 FT.	14'-4 5/8"		16'-5 1/8"		
	> 3:12 SLOPE	22 FT.	N/A		N/A		
	TWO-STORY SLOPED:						
≤ 3:12 SLOPE	27 FT.	22'-5 3/4"		23'-6 7/8"			
> 3:12 SLOPE	30 FT.	N/A		27'-5"			
EXTERIOR WALL HEIGHT:	ONE-STORY:						
	14 FT.	11'-5 3/8"		12'-8 5/8" HIGHEST			
TWO-STORY:							
	22 FT.	19'-7 1/4"		22'-0" HIGHEST			
PARKING SPACES (1 PER BDRM):	7 MINIMUM (FOR PROPOSED DESIGN)			7 SITE + 2 GARAGE			
DRIVEWAY SETBACK:	8 FT.			31 FT.			
LANDSCAPE AREA:	50%	70%		74%			
ELEVATION OF LHSM:	N/A	N/A		N/A			
FEMA FLOOD ZONE:	ZONE "X" (MINIMAL FLOOD HAZARD)	N/A		N/A			
ELEVATION OF FINISH FLOOR:	12" ABOVE BASE FLOOD ELEVATION (BFE)	MAIN HOUSE: +13.54'		MAIN HOUSE: +13.56'			

T A B L E O F C O N T E N T S

SHEET NUMBER	SHEET TITLE
ARCHITECTURE	
A0.00	COVER SHEET
A0.01	PROJECT INFORMATION
A0.02	ZONING DIAGRAMS
A1.01	SITE DIAGRAM - EXISTING
A1.02	PROPOSED SITE DIAGRAM
A1.11	EXISTING 1ST & 2ND FLOOR PLANS
A1.12	EXISTING 3RD FLOOR PLAN & ROOF PLAN
A1.21	MAIN HOUSE 1ST FLOOR PLAN
A1.22	MAIN HOUSE 2ND FLOOR PLAN
A1.23	MAIN HOUSE ROOF PLAN
A2.11	EXISTING ELEVATIONS
A2.12	EXISTING ELEVATIONS
A2.21	PROPOSED ELEVATIONS
A2.22	PROPOSED ELEVATIONS
A3.01	ARCHITECTURAL RENDERINGS
LANDSCAPE ARCHITECTURE	
LP-0.00	COVER
LP-0.10	TREE PROTECTION PLAN
LP-0.11	TREE DISPOSITION CHART
LP-0.20	CONSTRUCTION STAGING PLAN
LP-1.00	HARDSCAPE SITE PLAN
LP-4.00	PLANTING PLAN
LP-4.10	PLANTING PLAN
LP-4.11	PLANTING PLAN
LP-4.21	LANDSCAPE ELEVATIONS
LP-4.21	LANDSCAPE ELEVATIONS
CIVIL ENGINEERING	
C-1	
C-2	
C-3	
C-4	
PROPERTY SURVEY	
PB3368-22J	BOUNDARY & TOPOGRAPHIC SURVEY

V I C I N I T Y M A P



PROJECT INFORMATION

SCOPE OF WORK:
 A DESIGN FOR A NEW PRINCIPAL STRUCTURE TO REPLACE A PREVIOUSLY APPROVED DESIGN FOR A RENOVATION/EXPANSION OF THE EXISTING STRUCTURE. THE REPLACEMENT DESIGN WAS NECESSARY AFTER THE EXISTING STRUCTURE WAS DEEMED STRUCTURALLY UNSAVABLE. REQUIRING A NEW STRUCTURE TO BE BUILT IN ITS PLACE. THE PROPOSED PRINCIPAL STRUCTURE WILL BE DESIGNED TO REPLICATE THE HISTORIC ARCHITECTURAL CHARACTER OF THE EXISTING STRUCTURE.

OCCUPANCY CLASSIFICATION:
 A-80, 2-ACRE ESTATE RESIDENTIAL DISTRICT

PROJECT NAME:
 WILLIAMS RESIDENCE - 214 SOUTH BEACH ROAD

PROJECT OWNER & ADDRESS:
 ARTHUR AND CATHERINE WILLIAMS
 214 S. BEACH ROAD
 HOBE SOUND, FL 33455

GENERAL CONTRACTOR:
 SANDS CONSTRUCTION COMPANY, INC.
 11850 SE SHELL AVE.

HOBE SOUND, FL 33455
 772-546-2111
 CONTACT: ERIC SCHMITZ

ARCHITECT:
 D. STANLEY DIXON, ARCHITECT
 2306 PEACHTREE ROAD, SUITE C-101
 ATLANTA, GEORGIA 30309
 404-574-1430
 CONTACT: MCLEAN JENKINS

LANDSCAPE ARCHITECT:
 HOWARD DESIGN STUDIO
 1201 PEACHTREE ST. NE, SUITE 1925
 ATLANTA, GA 30361
 404-876-7051
 CONTACT: COLLIN BENTLEY

CIVIL ENGINEER:
 GRUBER CONSULTING ENGINEERS, INC.
 2475 MERCER AVE., SUITE 305
 WEST PALM BEACH, FL 33401
 561-312-2041
 CONTACT: CHAD GRUBER

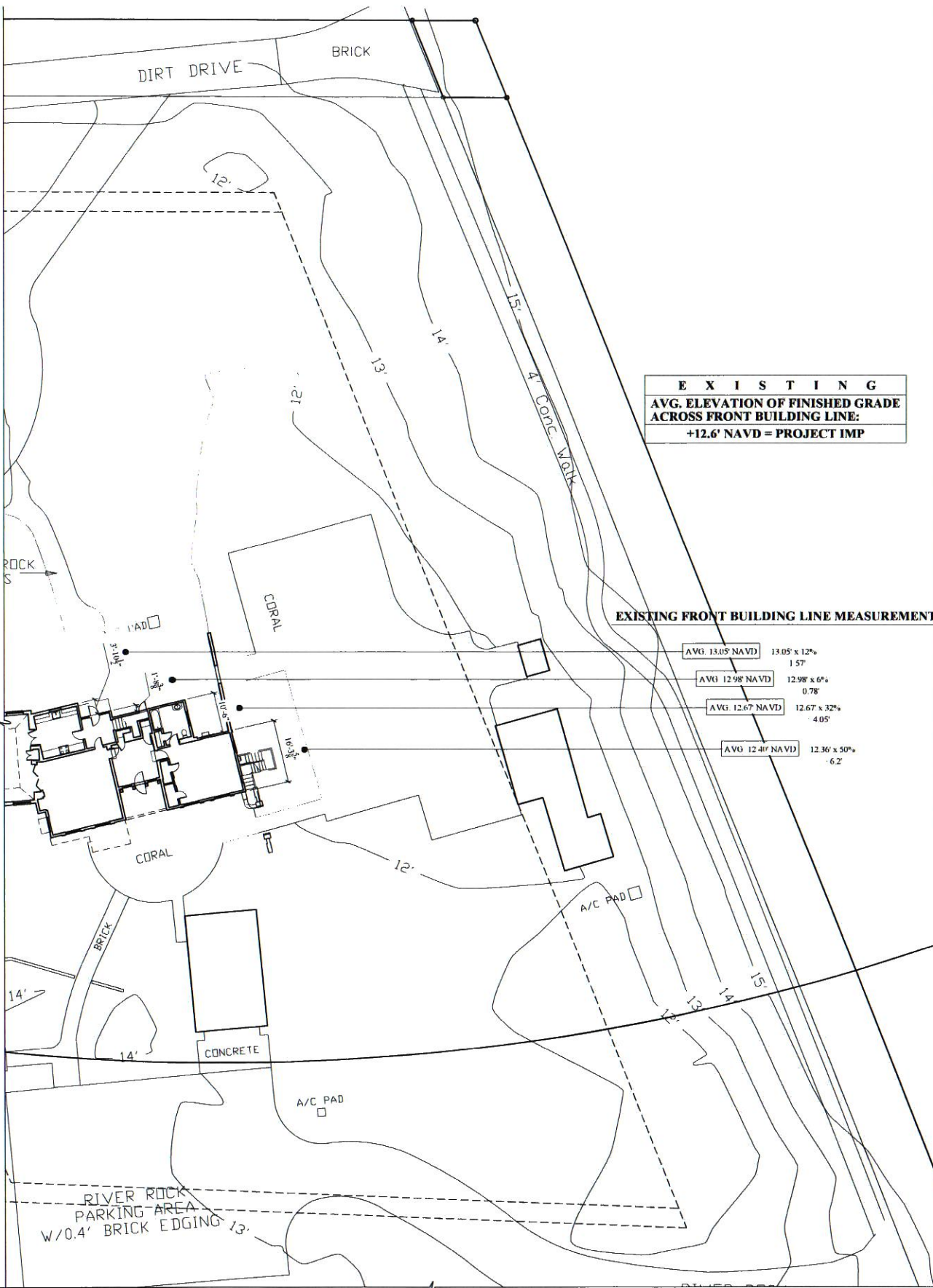
THE
**WILLIAMS
 RESIDENCE**
 214 SOUTH BEACH ROAD
 JUPITER ISLAND, FL.
 COUNTY

D. STANLEY DIXON
 ARCHITECT
 2306 PEACHTREE ROAD, SUITE C-101 ATLANTA, GA 30309
 404-574-1430



PROJECT # 23-502	
DRAWN BY	CHECKED BY
IRC SUBMITTAL SEPTEMBER 12, 2025	
RELEASES	
PROJECT INFORMATION	
A0.01	

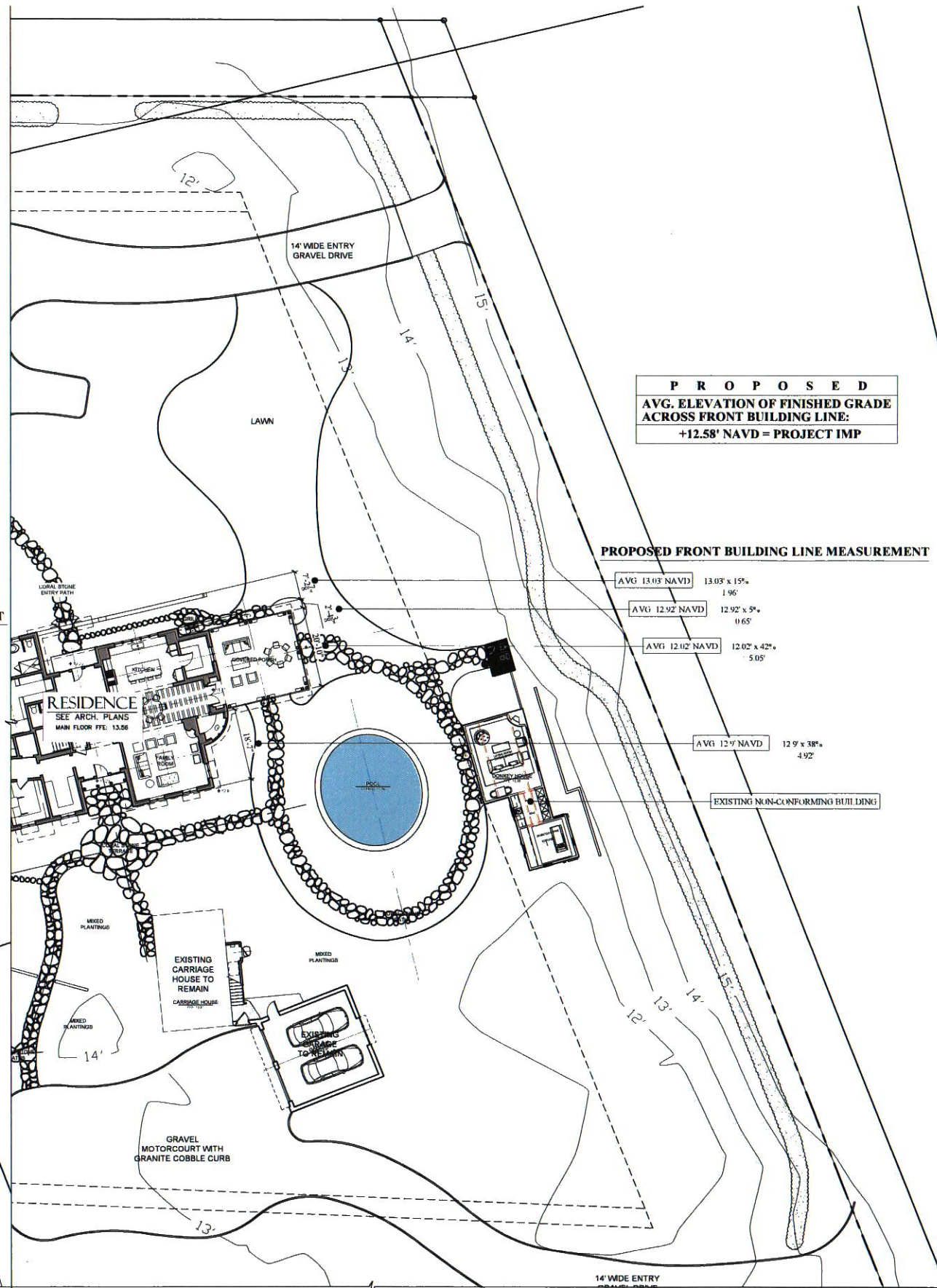
NOT RELEASED FOR CONSTRUCTION



EXISTING
AVG. ELEVATION OF FINISHED GRADE
ACROSS FRONT BUILDING LINE:
 +12.6' NAVD = PROJECT IMP

EXISTING FRONT BUILDING LINE MEASUREMENT

AVG. 13.05' NAVD	13.05' x 12" 1.57'
AVG. 12.98' NAVD	12.98' x 6" 0.78'
AVG. 12.67' NAVD	12.67' x 32" 4.05'
AVG. 12.41' NAVD	12.36' x 50" 6.2'



PROPOSED
AVG. ELEVATION OF FINISHED GRADE
ACROSS FRONT BUILDING LINE:
 +12.58' NAVD = PROJECT IMP

PROPOSED FRONT BUILDING LINE MEASUREMENT

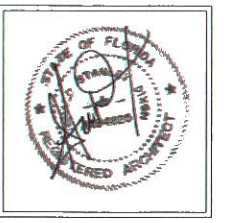
AVG. 13.03' NAVD	13.03' x 15" 1.96'
AVG. 12.92' NAVD	12.92' x 5" 0.65'
AVG. 12.62' NAVD	12.62' x 42" 5.05'
AVG. 12.9' NAVD	12.9' x 38" 4.92'

1 INITIAL MEASURING POINT DIAGRAM : EXISTING
 SCALE 1/16" = 1'-0"

2 INITIAL MEASURING POINT DIAGRAM : PROPOSED
 SCALE 1/16" = 1'-0"

THE
WILLIAMS
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 214 SOUTH BEACH ROAD
 JUPITER ISLAND, FL.
 COUNTY

D. STANLEY DIXON
 ARCHITECT
 3300 PEAECREE ROAD, SUITE C-101 ATLANTA, GA 30309
 404-574-1430

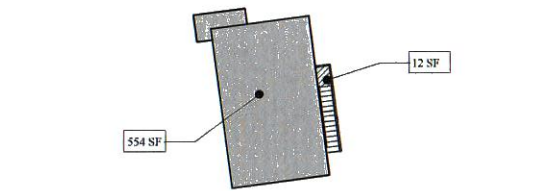
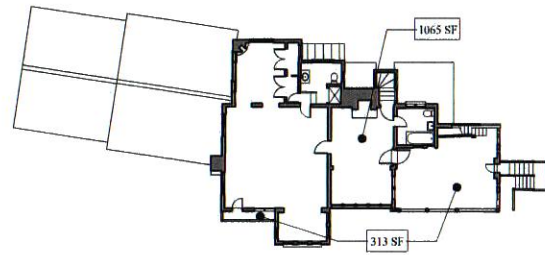
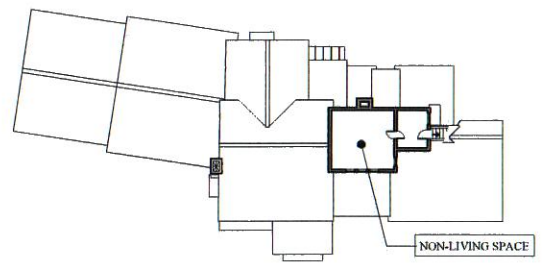
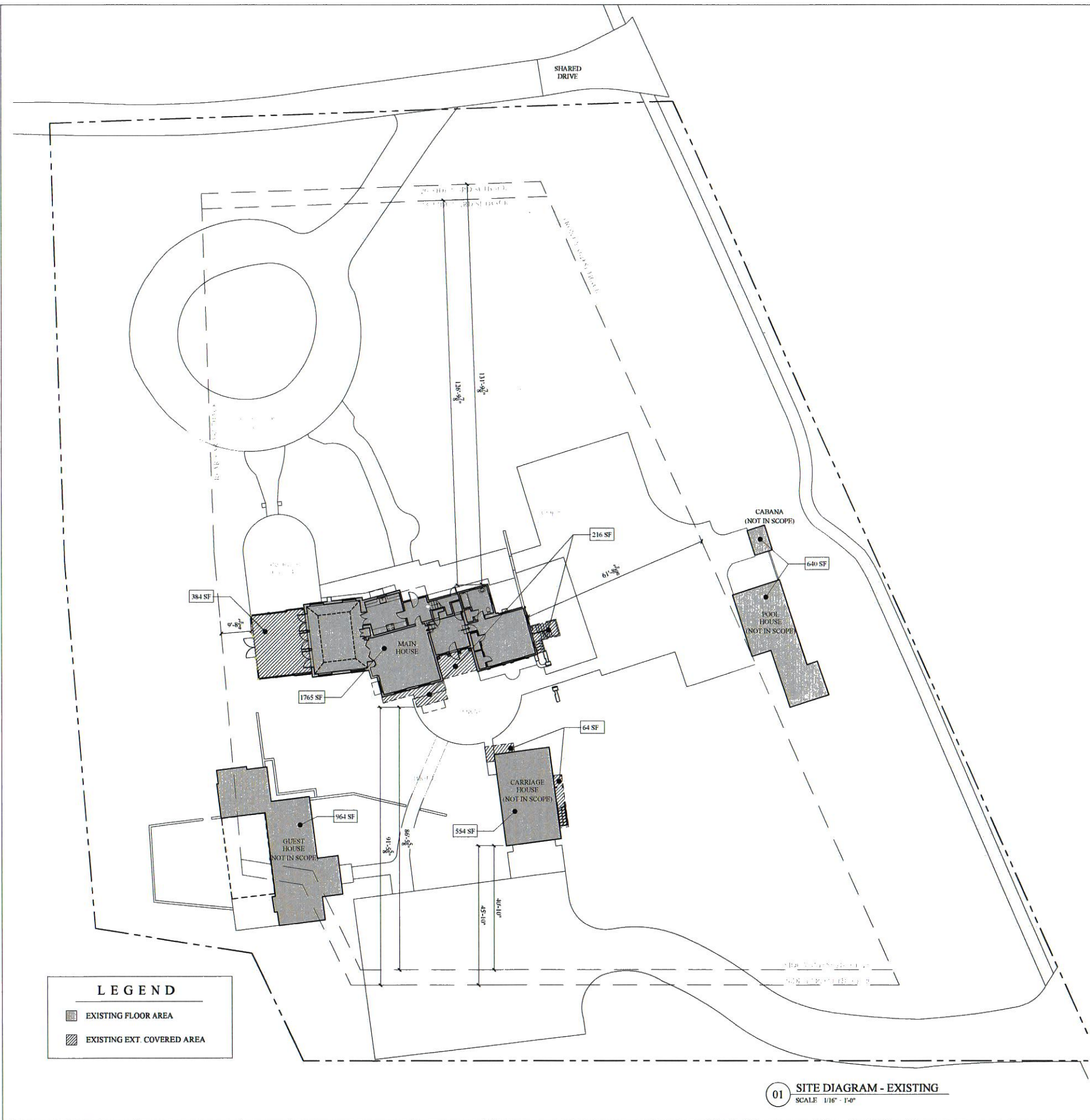


PROJECT # 23-502
 DRAWN MJ CHECKED DSD
 IRC SUBMITTAL
 SEPTEMBER 12, 2025

RELEASES	

ZONING DIAGRAMS
 A0.02

NOT RELEASED FOR CONSTRUCTION



THE
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 JUPITER ISLAND, FL.
 COUNTY

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 404-574-1430



PROJECT # 23-502	
DRAWN MJ	CHECKED DSD
IRC SUBMITTAL SEPTEMBER 12, 2025	
RELEASES	
SITE DIAGRAM - EXISTING A1.01	

NOT RELEASED FOR CONSTRUCTION

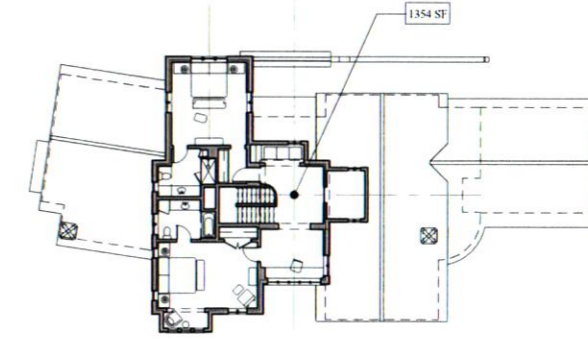


PROJECT # 23-502
 DRAWN MJ CHECKED DSD

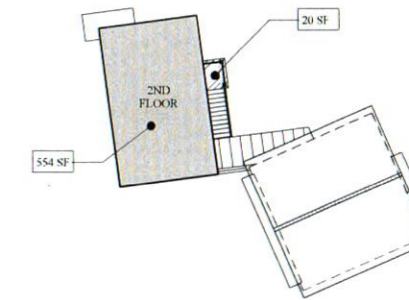
IRC SUBMITTAL
 SEPTEMBER 12, 2025

RELEASES

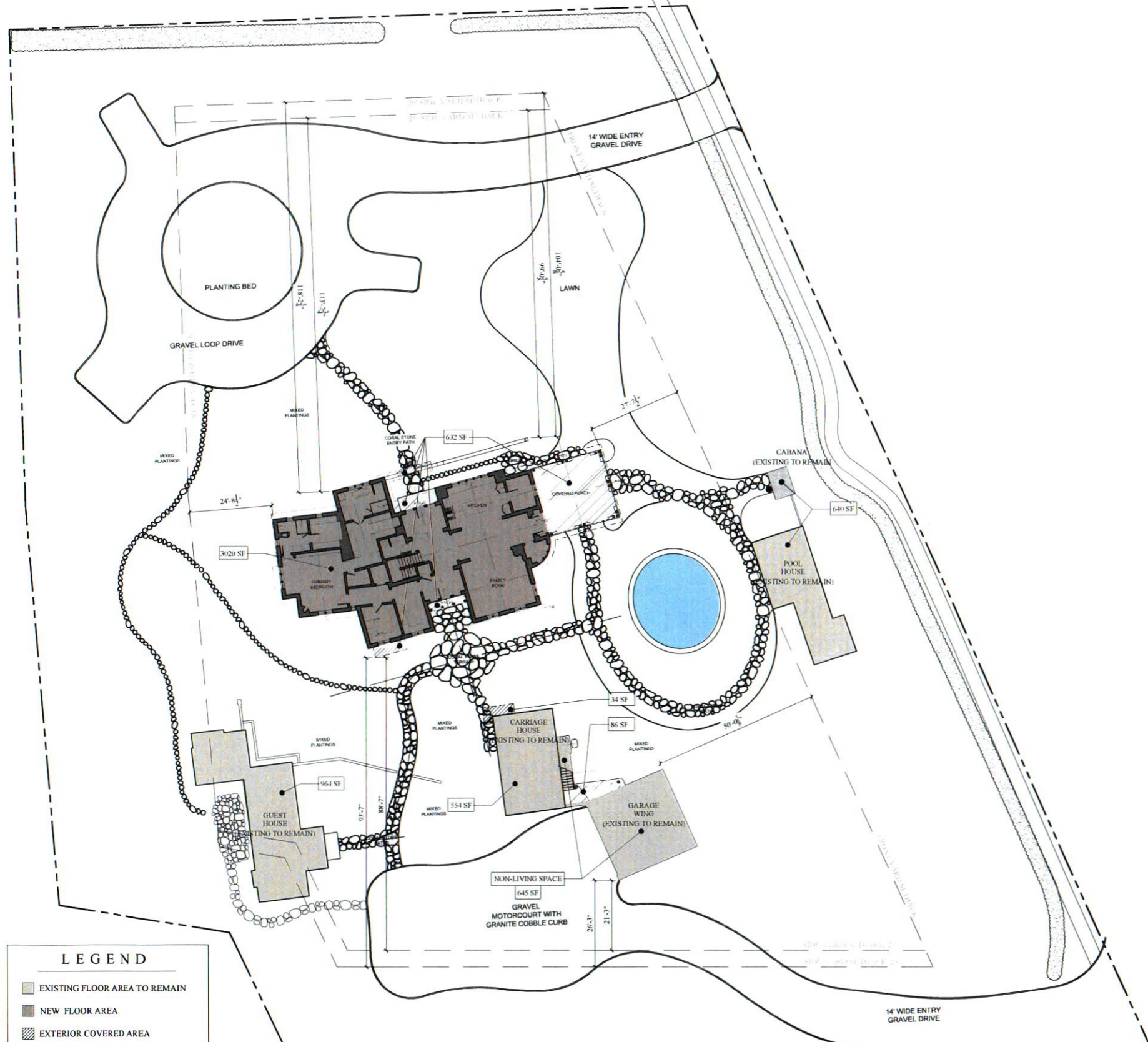
PROPOSED SITE
 DIAGRAM
 A1.02



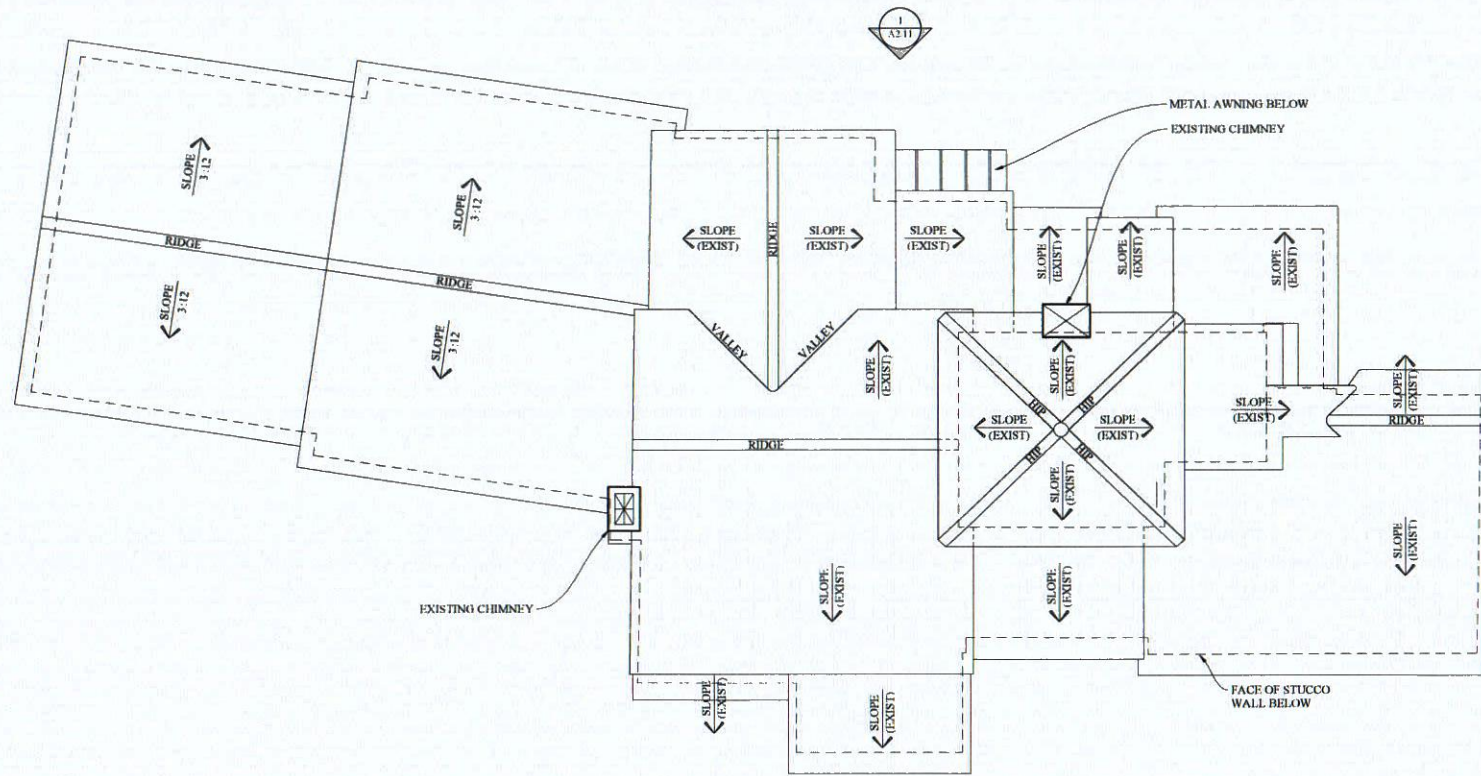
2 MAIN HOUSE 2ND FLOOR PLAN
 SCALE: 1/16" = 1'-0"



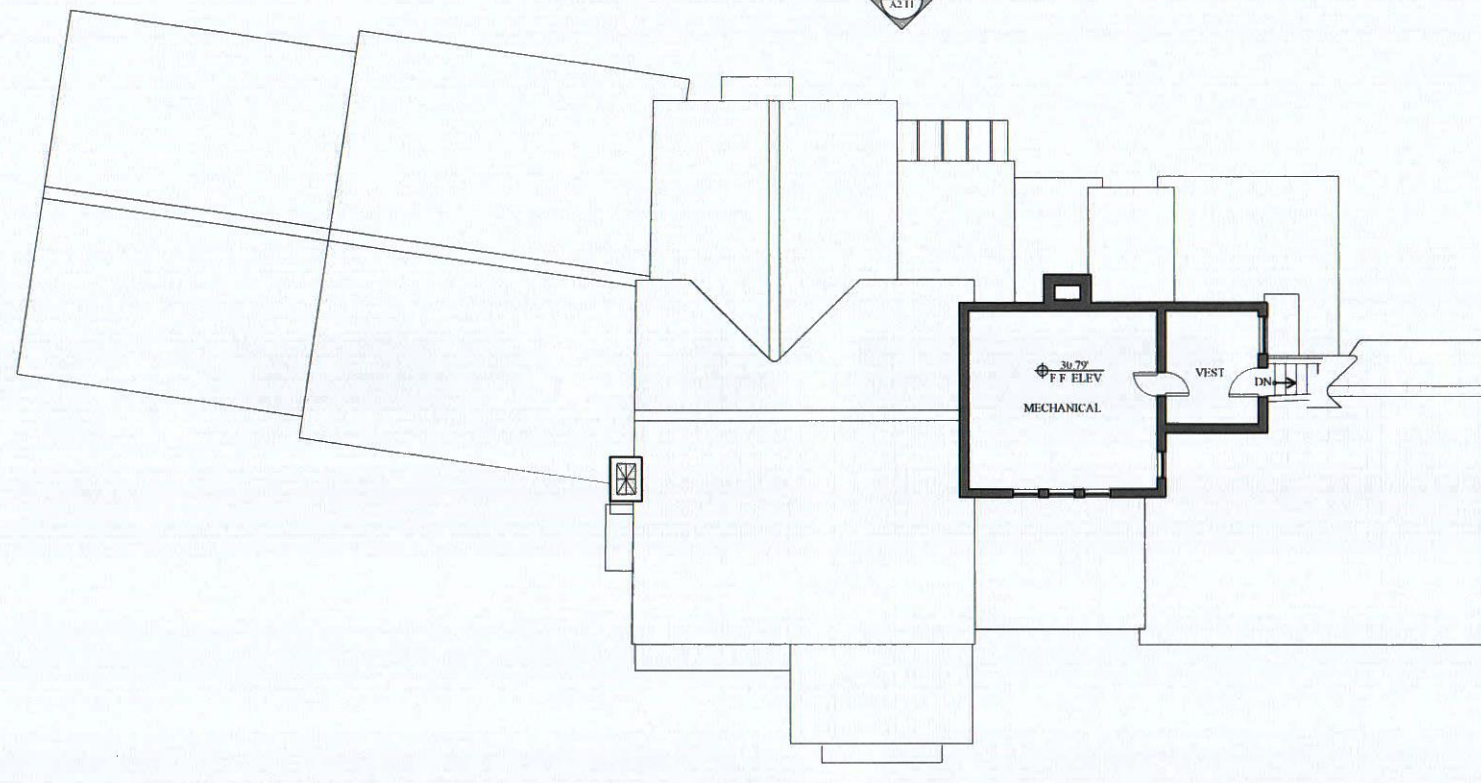
4 CARRIAGE HOUSE 2ND FLOOR PLAN
 SCALE: 1/16" = 1'-0"



1 PROPOSED SITE DIAGRAM
 SCALE: 1/16" = 1'-0"



02 EXISTING ROOF PLAN
SCALE: 3/16" = 1'-0"



01 MAIN HOUSE EXISTING THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

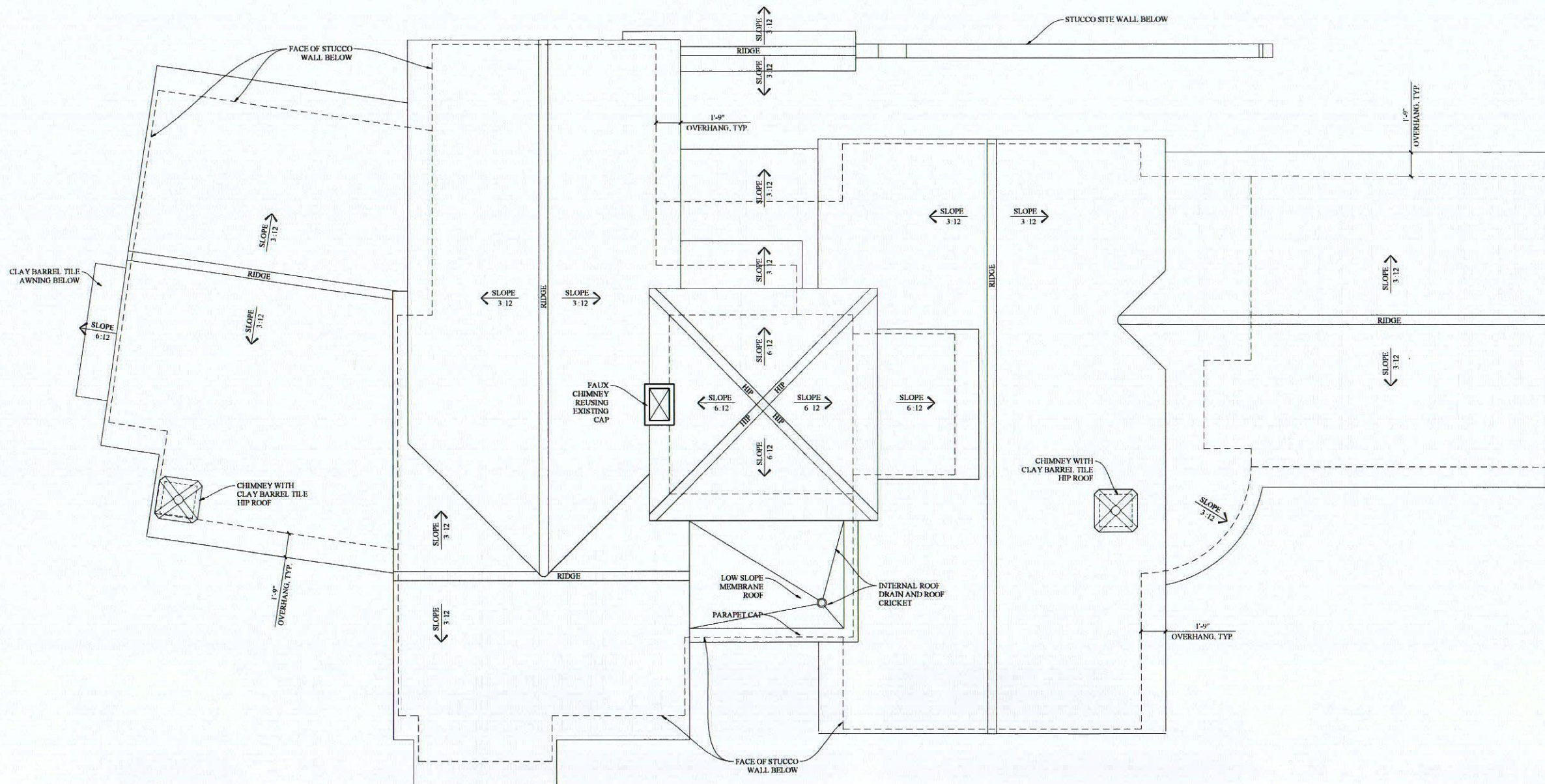
THE
WILLIAMS
RESIDENCE
214 SOUTH BEACH ROAD
JUPITER ISLAND, FL.
COUNTY

D. STANLEY DIXON
ARCHITECT
2300 PEACHTREE ROAD, SUITE C-101 ATLANTA, GA 30309
404-574-1430



PROJECT #	23-502
DRAWN BY	MU
CHECKED BY	DSD
IRC SUBMITTAL	SEPTEMBER 12, 2025
RELEASES	
EXISTING 3RD FLOOR PLAN & ROOF PLAN	A1.12

NOT RELEASED FOR CONSTRUCTION



1 ROOF PLAN(2)
SCALE 1/4" = 1'-0"

THE
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JUPITER ISLAND, FL.
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D. STANLEY DIXON
ARCHITECT
2100 PEACHTREE ROAD, SUITE C-101 ATLANTA, GA 30309
404-574-1430



PROJECT # 23-502	
DRAWN MU	CHECKED DSD
IRC SUBMITTAL SEPTEMBER 12, 2025	
RELEASES	
MAIN HOUSE ROOF PLAN	
A1.23	

NOT RELEASED FOR CONSTRUCTION

THE
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214 SOUTH BEACH ROAD
JUPITER ISLAND, FL.
COUNTY

D. S T A N L E Y D I X O N
A R C H I T E C T

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404-574-1430



PROJECT #: 23-502

DRAWN MJ CHECKED DSD

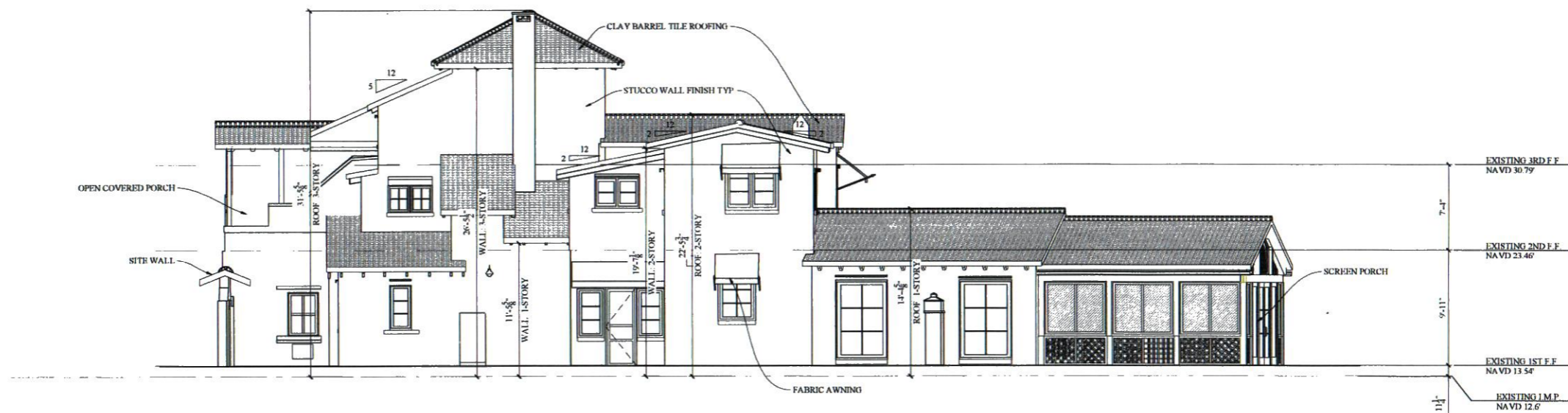
IRC SUBMITTAL
SEPTEMBER 12, 2025

RELEASES

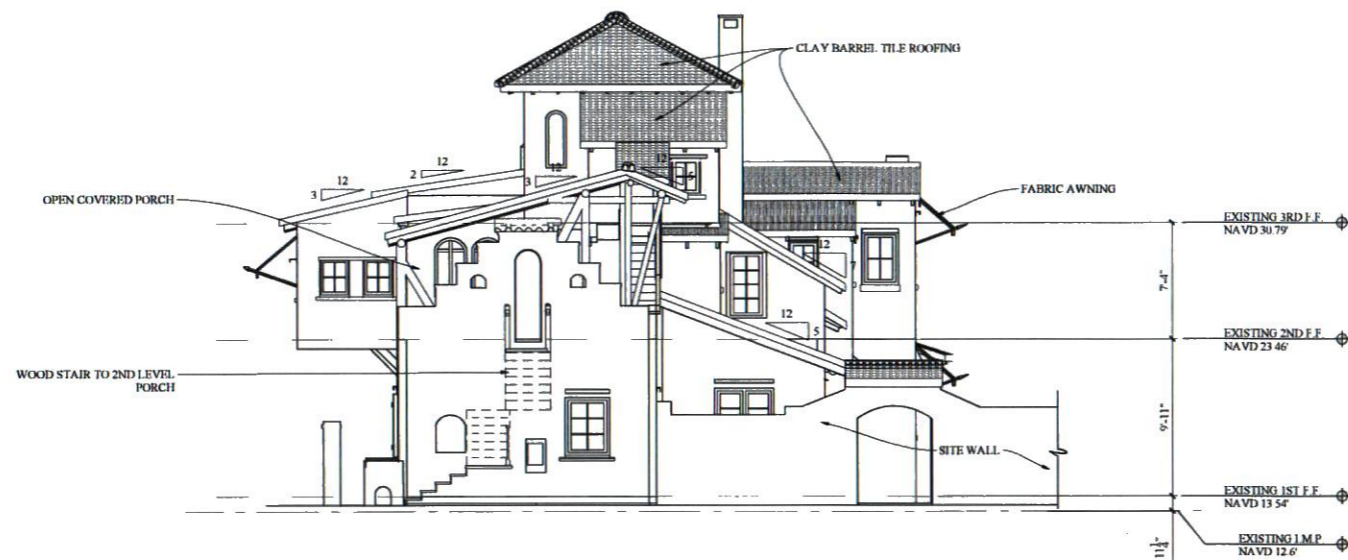
EXISTING ELEVATIONS

A2.11

NOT RELEASED FOR CONSTRUCTION



1 EXISTING NORTH ELEVATION
SCALE: 3/16" = 1'-0"



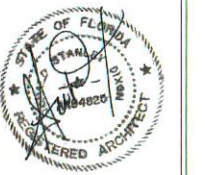
2 EXISTING EAST ELEVATION
SCALE: 3/16" = 1'-0"

ALL ROOF AND WALL HEIGHTS MEASURED
FROM PROJECT'S INITIAL MEASURING POINT
+12.6 NAVD = EXISTING IMP

THE
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 JUPITER ISLAND, FL.
 COUNTY

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PROJECT # 22-502
 DRAWN MJ CHECKED DSD

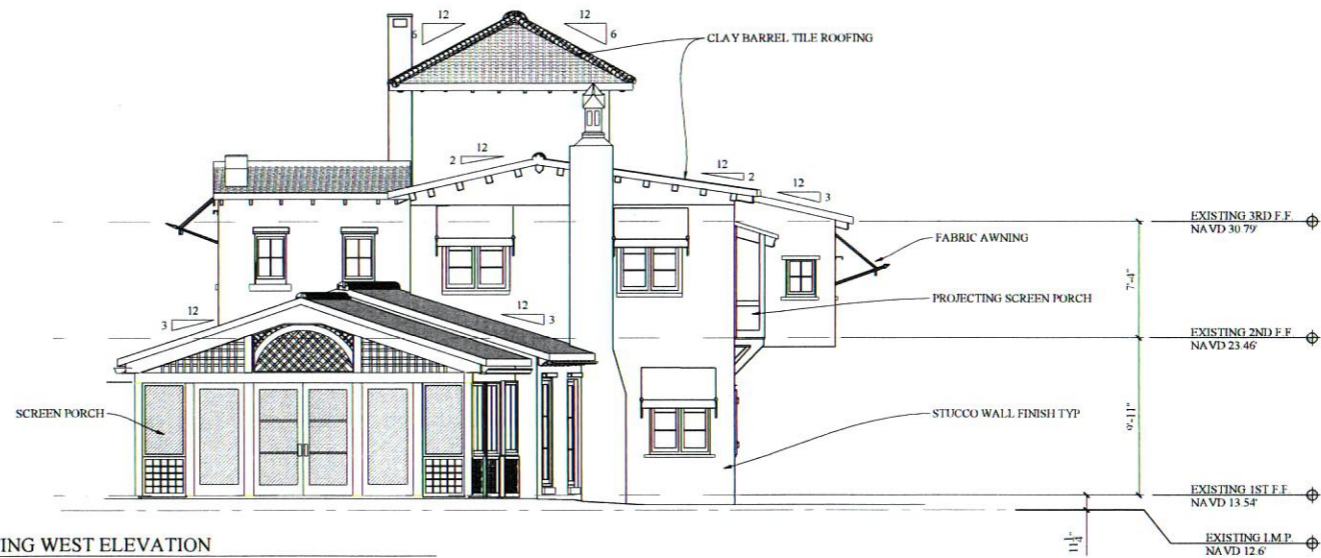
IRC SUBMITTAL
 SEPTEMBER 12, 2025

RELEASES

EXISTING ELEVATIONS

A2.12

NOT RELEASED FOR CONSTRUCTION

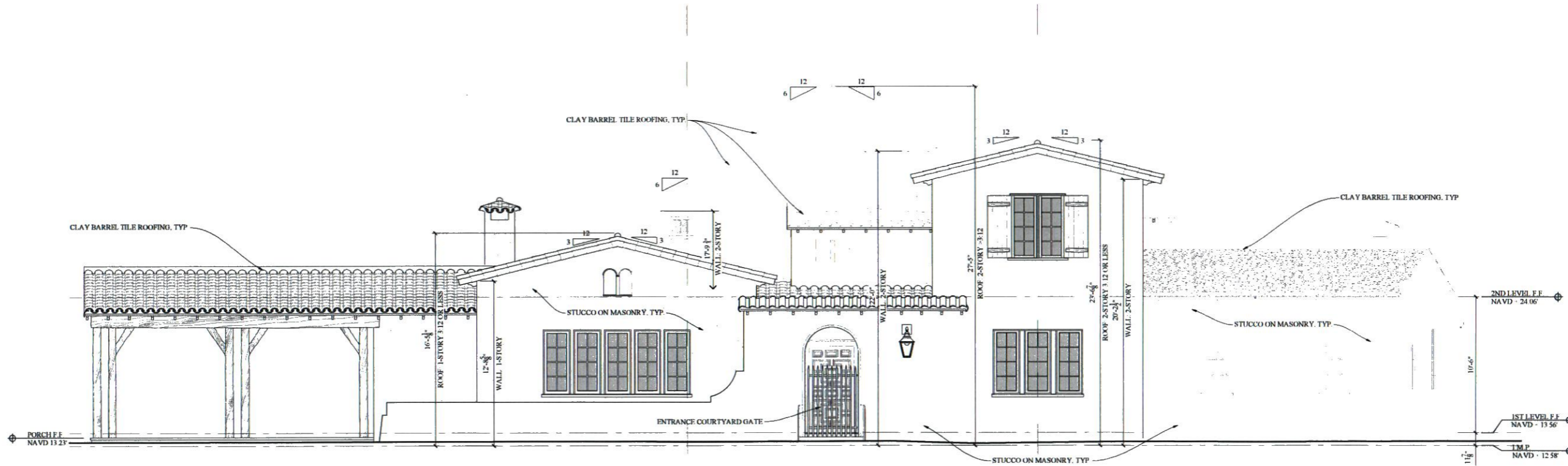


1 EXISTING WEST ELEVATION
 SCALE: 3/16" = 1'-0"



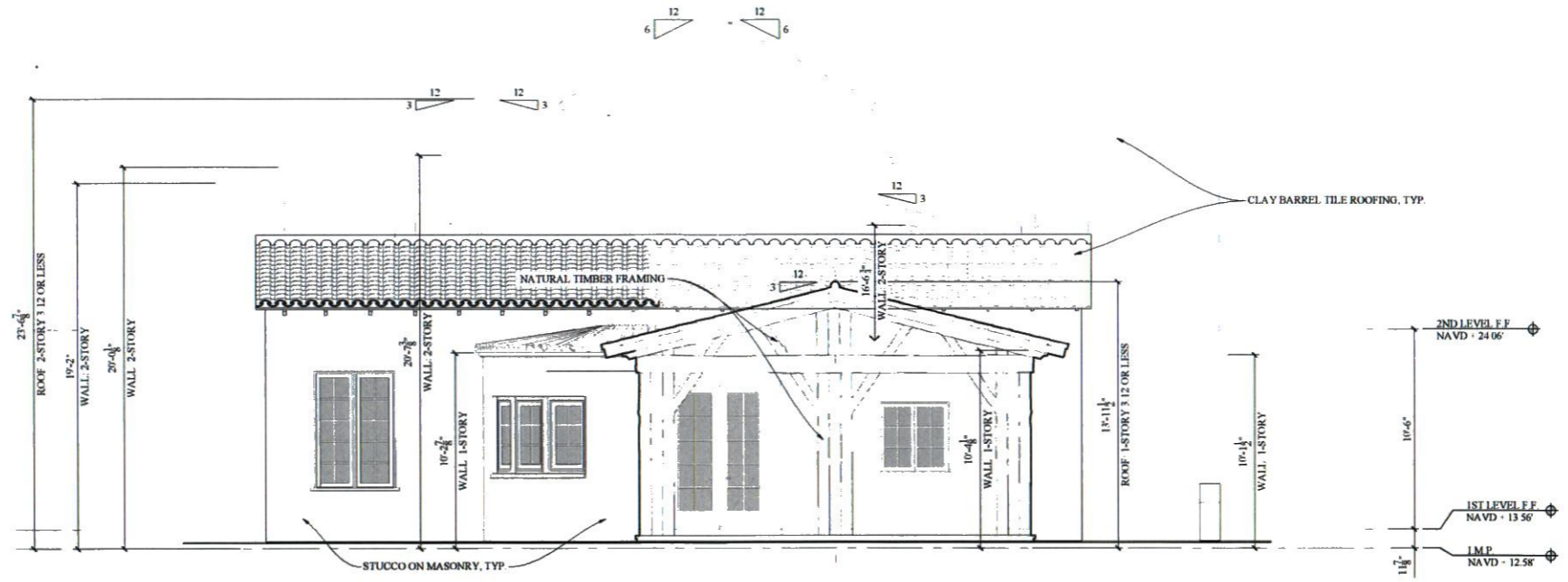
2 EXISTING SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

ALL ROOF AND WALL HEIGHTS MEASURED
 FROM PROJECT'S INITIAL MEASURING POINT:
 +12.6 NAVD = EXISTING IMP



1 NORTH ELEVATION
SCALE 1/4" = 1'-0"

ALL ROOF AND WALL HEIGHTS MEASURED FROM PROJECT'S INITIAL MEASURING POINT:
+12.58' NAVD = PROJECT IMP



2 EAST ELEVATION
SCALE 1/4" = 1'-0"

THE
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COUNTY

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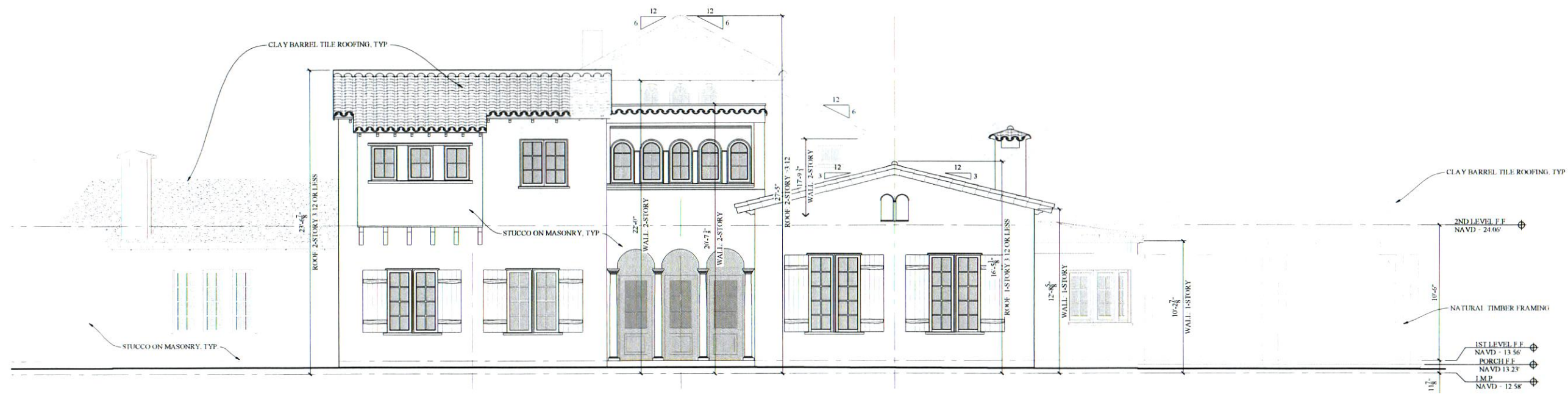
PROJECT # 23-502
DRAWN MJ CHECKED DSD

IRC SUBMITTAL
SEPTEMBER 12, 2025

RELEASES

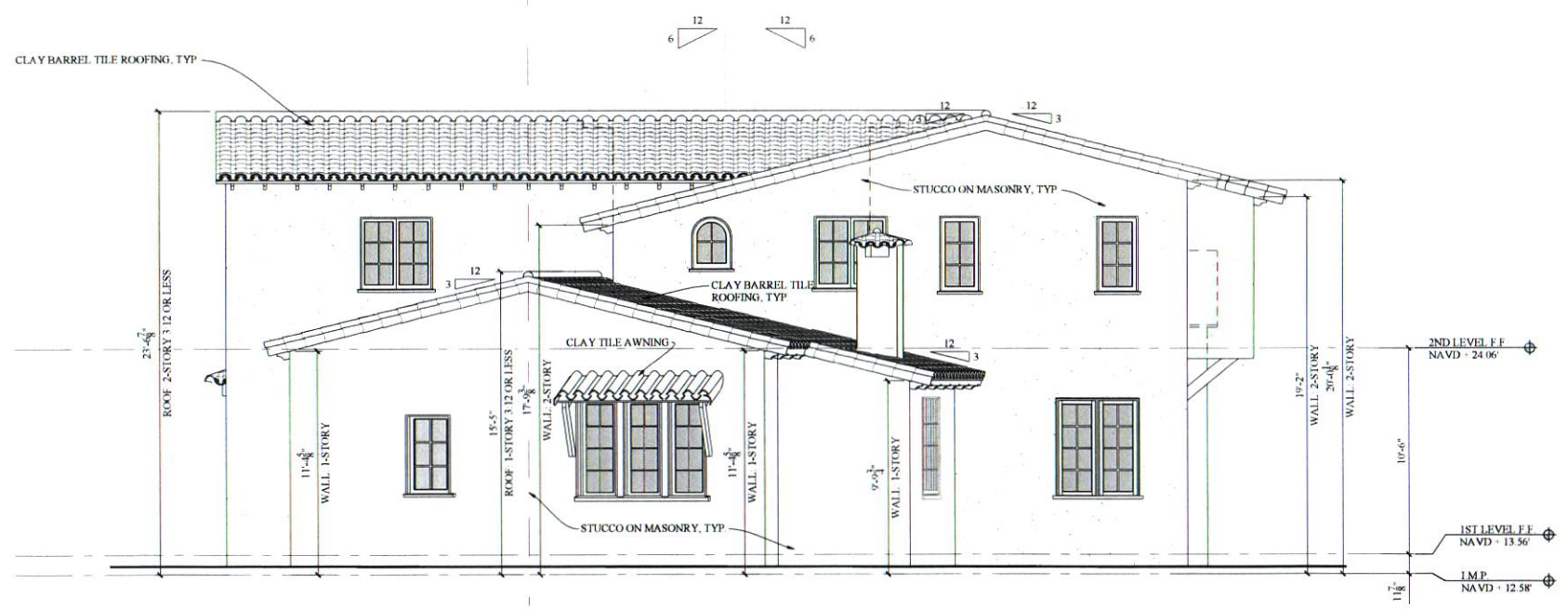
PROPOSED ELEVATIONS
A2.21

NOT RELEASED FOR CONSTRUCTION



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

ALL ROOF AND WALL HEIGHTS MEASURED FROM PROJECT'S INITIAL MEASURING POINT:
+12.58' NAVD = PROJECT IMP



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

THE
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2300 PEACHTREE ROAD, SUITE C-101 ATLANTA, GA 30309
404-574-1430



PROJECT - 23-502
DRAWN MJ CHECKED DSD

IRC SUBMITTAL
SEPTEMBER 12, 2025

RELEASES

PROPOSED ELEVATIONS

A2.22

NOT RELEASED FOR CONSTRUCTION



NORTH PERSPECTIVE



SOUTH PERSPECTIVE

THE
**WILLIAMS
 RESIDENCE**
 214 SOUTH BEACH ROAD
 JUPITER ISLAND, FL.
 COUNTY

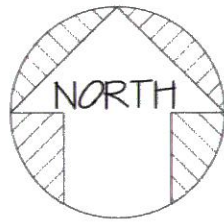
D. STANLEY DIXON
 ARCHITECT

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 404-574-1430



PROJECT # 24-502	
DRAWN MJ	CHECKED DSD
IRC SUBMITTAL SEPTEMBER 12, 2025	
RELEASES	
ARCHITECTURAL RENDERINGS A3.01	

NOT RELEASED FOR CONSTRUCTION



SCALE : 1" = 30'
THIS IS THE INTENDED DISPLAY SCALE



- LEGEND**
- ATT AT&T CLOSURE
 - CC CABLE CLOSURE
 - (C) CENTERLINE
 - DB DEED BOOK
 - EB ELECTRIC BOX
 - FE FLOOR ELEVATION
 - FCM FOUND CONCRETE MONUMENT (4" X 4")
 - FIR&C FOUND 5/8" IRON ROD & PLS #220B CAP
 - FM&D FOUND MAG NAIL & LB #5879 DISK
 - FN&D FOUND NAIL & PLS #220B DISK
 - (L) LEGAL OFFICIAL RECORDS BOOK PAGE
 - ORB PLAT BOOK
 - POB POINT OF BEGINNING
 - R/W RIGHT-OF-WAY
 - W/M WATER METER
 - EXISTING ELEVATION
 - TREE & TAG NUMBER

NOW OR FORMERLY
TRISTRAM & RUTH COLKET

NOW OR FORMERLY
DAVID MCELROY (ESTATE)

NOW OR FORMERLY
216 SOUTH BEACH LLC

- BUILDING SETBACKS**
- PER ZONE A-80, 2 ACRE ESTATE RESIDENTIAL DISTRICT:
- FRONTYARD SETBACK - 50'
 - SIDEYARD SETBACKS - 25' (1 STORY BUILDINGS)
30' (2 STORY BUILDINGS)
 - REARYARD SETBACK - 50'

S. LINE LOT 35
S89°23'21" E
580.27'

POINT OF COMMENCEMENT
S.E. CORNER LOT 35, BLOCK 115
ISLAND BEACH REVISED PLAT #2

20' INGRESS-EGRESS EASEMENT
(PER ORB 238, PG 64)

(N89°45'10" W)
212.97' (212.96')
(N89°45'10" W)
(204.84')

(S 00°19'41" W 164.61')
(S 00°19'41" W 164.61')
(S 00°19'41" W 164.61')

(S 02°35'12" E 121.07')
(S 02°35'12" E 121.07')
(S 02°35'12" E 121.07')

(S 78°39'35" E) 52.25'
(S 23°21'46" E) (39.35') 39.57' (L)

(S 87°43'34" E 276.88')
(S 87°43'34" E 276.88')
(S 87°43'34" E 276.88')

PRIVATE ROADWAY MAINTENANCE AGREEMENT
FROM S. BEACH ROAD - 254.95' WESTERLY
(PER DB 27, PG 345)

LEGAL DESCRIPTION: (PER OFFICIAL RECORDS BOOK 1392, PAGE 79)

COMMENCING AT THE SOUTHEAST CORNER OF LOT 35, BLOCK 115, ISLAND BEACH REVISED PLAT NO. 2, PLAT BOOK 2, PAGE 44, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE RUN EASTERLY ALONG THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 35 A DISTANCE OF 32.31 FEET TO THE CENTERLINE OF STATE ROAD 707; THENCE MEASURING RIGHT TO LEFT AN ANGLE OF 113 DEGREES 53 MINUTES 01 SECONDS, RUN ALONG THE CENTERLINE OF STATE ROAD 707 A DISTANCE OF 177.58 FEET TO THE POINT OF BEGINNING; THENCE MEASURING LEFT TO RIGHT (RIGHT TO LEFT) AN ANGLE OF 68 DEGREES 12 MINUTES 28 SECONDS, RUN A DISTANCE OF 212.97 FEET; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 90 DEGREES 04 MINUTES 51 SECONDS, RUN A DISTANCE OF 165.58 FEET MORE OR LESS TO THE SOUTH LINE OF LOT 102, PLAT OF GOMEZ GRANT AND JUPITER ISLAND, PLAT BOOK 1, PAGE 80, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 176 DEGREES 58 MINUTES 00 SECONDS, RUN A DISTANCE OF 121.25 FEET; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 103 DEGREES 51 MINUTES 00 SECONDS, RUN A DISTANCE OF 52.25 FEET; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 235 DEGREES 34 MINUTES 30 SECONDS, RUN A DISTANCE OF 39.57 FEET; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 115 DEGREES 30 MINUTES 00 SECONDS, RUN A DISTANCE OF 276.83 FEET TO THE CENTERLINE OF STATE ROAD 707; THENCE MEASURING LEFT TO RIGHT AN ANGLE OF 66 DEGREES 13 MINUTES AND 30 SECONDS, RUN ALONG THE CENTERLINE OF STATE ROAD 707, A DISTANCE OF 346.12 FEET (367.66 FEET TO) THE POINT OF BEGINNING, LESS AND EXCEPTING THE NORTH 20 FEET AND RIGHT OF WAY FOR STATE ROAD NO. 707.

TOGETHER WITH AN EASEMENT IN COMMON WITH OTHERS FOR ACCESS TO THE ATLANTIC OCEAN, OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

START AT THE SOUTHEAST CORNER OF LOT 35, BLOCK 115, THE ISLAND BEACH REVISED PLAT #2, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 44, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE RUN S 89°23'21" E ALONG THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 35 FOR A DISTANCE OF 32.31 FEET TO A POINT IN THE CENTERLINE OF GOMEZ ROAD; AND THENCE RUN S 21°05'30" E ALONG SAID ROAD CENTERLINE (STATE ROAD 707) FOR A DISTANCE OF 134.35' TO THE POINT OF BEGINNING; THENCE RUN N 83°56'11" E FOR A DISTANCE OF 41.71 FEET TO A CONCRETE MONUMENT; THENCE CONTINUE ON SAID LINE AND BEARING FOR A DISTANCE OF 55.0 FEET TO A CONCRETE MONUMENT; THENCE CONTINUE ON SAID LINE AND BEARING FOR A DISTANCE OF 150 FEET MORE OR LESS, TO THE ATLANTIC OCEAN; THENCE MEANDER THE SHORLINE OF THE ATLANTIC OCEAN IN A SOUTHEASTERLY DIRECTION TO THE POINT OF INTERSECTION WITH A LINE WHICH LIES 8 FEET SOUTHERLY OF, AS MEASURED AT RIGHT ANGLES, THE FIRST DESCRIBED LINE; THENCE RUN S 83°56'11" W ALONG A LINE PARALLEL TO AND 8 FEET SOUTHERLY OF SAID FIRST DESCRIBED LINE TO THE POINT OF INTERSECTION WITH THE CENTERLINE OF STATE ROAD 707; THENCE RUN NORTHWESTERLY ALONG SAID CENTERLINE TO THE POINT AND PLACE OF BEGINNING, SUBJECT TO RIGHT-OF-WAY OF SAID STATE ROAD 707 THIS EASEMENT SHALL BE LIMITED TO FOOT PASSAGE ONLY.

SURVEYOR'S NOTES:

- NOT VALID WITHOUT ALL SHEETS AND THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- BEARINGS SHOWN HEREON ARE GRID BASED ON PLAT OF COASTAL CONSTRUCTION CONTROL LINE, RECORDED JULY 9, 1985, IN PLAT BOOK 9, PAGE 99; LYING BETWEEN DNR RANGE MONUMENTS "R-99" & "R-100".
- ELEVATIONS SHOWN HEREON REFERENCE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) AND ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BENCHMARK USED: "YATES NO 2 1934", ELEVATION = 12.06' (NAVD88).
- BEARINGS, ANGLES, AND DIMENSIONS SHOWN THUSLY () DENOTE FIELD MEASURED QUANTITIES.
- THIS SURVEY PREPARED WITHOUT BENEFIT OF TITLE AND MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAYS AND OTHER ENCUMBRANCES WHICH MIGHT BE REVEALED IN A SEARCH OF TITLE TO THE SUBJECT LAND.
- THE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY NAMED IN CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON, WITHOUT THE EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.
- THERE HAS BEEN NO ATTEMPT TO LOCATE ANY SUBSURFACE IMPROVEMENTS, FOOTERS, FOOTINGS AND/OR UTILITIES ON THIS PROPERTY.
- SUBJECT PROPERTY LIES IN FLOOD ZONE "X" (MINIMAL FLOOD HAZARD) PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE MAP #12085C0336H, DATED FEBRUARY 19, 2020. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
- LOT AREA = 81,456 SQUARE FEET (1.86997 ACRES) MORE OR LESS

R/W NOTE:

R/W FOR STATE ROAD NO. 707 IS RECORDED IN PLAT BOOK 7, PAGE 44, ENTITLED MAINTENANCE MAP, WHICH GIVES VARIOUS DIMENSIONS FROM A BASELINE TO THE LIMITS OF THE MAINTAINED R/W; HOWEVER, IN THE AREA OF SUBJECT PROPERTY THE BASELINE DOES NOT APPEAR TO COINCIDE WITH EXISTING CONDITIONS, WHICH IS THE REASON FOR THE NOTE ON SKETCH WHICH LABELS LINE "APPROXIMATE MAINTAINED R/W LINE".

CERTIFICATION VALID TO:

- GATE HOUSE SOUTH PROPERTIES, LLC

CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

R. L. VAUGHT & ASSOCIATES, INC.
LICENSED BUSINESS NO. 5879

DATE OF LAST
FIELD WORK:

April 18, 2024

By: *[Signature]*
P. Miguel Zorrilla
Professional Surveyor and Mapper No. 6736
State of Florida

REVISIONS	BY
04/17/24 * UP-DATE SURVEY * FB 82/28 DR. #804883	RLV
06/04/24 * UP-DATE SURVEY * FB 82/28 DR. #805861	RLV
11/16/24 * TOPG SURVEY * FB 130/53 DR. #805190	RLV
01/13/25 * UP-DATE SURVEY * FB 133/49 DR. #811017	RLV
05/11/22 * UP-DATE SURVEY * FB 238/28 DR. #817786	PMZ
09/21/22 * TOPG SURVEY * FB LOCATIONS FB DC * DR. #818205	PMZ
08/18/24 * UPDATE SURVEY * FB DC DR. #819881	RLV II
05/07/24 * ADD PROPOSED POOL. DR. #820047	PMZ

BOUNDARY & TOPOGRAPHIC SURVEY
214 S. BEACH ROAD
HOBE SOUND, FLORIDA 33455
TOWN OF JUPITER ISLAND

RL VAUGHT & ASSOCIATES, INC.
SURVEYORS, MAPPERS & PLANNERS
LICENSED SURVEY BUSINESS NUMBER 5879
9075 SE BRIDGE ROAD, HOBE SOUND 33455
MAIL: P.O. BOX 160 HOBE SOUND, FL 33475
PHONE: 772-546-8086 FAX: 772-546-8087
EMAIL: vaught@bellsouth.net

DRAWN	RLV
CHECKED	RLV, SR
SCALE	AS SHOWN
DATE	MARCH 30, 1992
FIELD BOOK	82/28
ORDER NO.	803368
SHEET OF SHEETS	1 2
FILE NUMBER	PB3368-22J

FILE: .../SOUTH BEACH ROAD/214 SBR/214SBR_2022-09-21.DWG

Tree Number	Diameter	Species	Designation
1	48	FICUS	REMOVED
2	12	CABBAGE PALM	SAVE
3	6	UNKNOWN	SAVE
4	48	FICUS	SAVE
5	36	ROYAL PONCIANA	REMOVED
6	28	ROYAL PONCIANA	REMOVED
7	12	TRIANGLE PALM	SAVE
8	6	LIGUSTRUM LUCIDUM	SAVE
9	12	LIGUSTRUM LUCIDUM	SAVE
10	12	CABBAGE PALM	SAVE
11	12	CABBAGE PALM	SAVE
12	18	ROYAL PONCIANA	SAVE
13	18	ARECA PALM	SAVE
14	18	ARECA PALM	SAVE
15	12	CABBAGE PALM	SAVE
17	24	ARECA PALM	SAVE
18	12	ARECA PALM	SAVE
19	12	CABBAGE PALM	SAVE
20	24	UNKNOWN	SAVE
21	10	UNKNOWN	SAVE
22	18	UNKNOWN	SAVE
23	24	UNKNOWN	SAVE
26	18	UNKNOWN	SAVE
27	14	UNKNOWN	SAVE
28	12	CABBAGE PALM	SAVE
29	6	WHITE BIRD OF PARADISE	SAVE
30	6	WHITE BIRD OF PARADISE	SAVE
31	12	CABBAGE PALM	SAVE
32	24	UNKNOWN	SAVE
33	12	CABBAGE PALM	SAVE
34	10	UNKNOWN	SAVE
35	10	UNKNOWN	SAVE
36	18	UNKNOWN	SAVE
37	28	UNKNOWN	SAVE
38	10	UNKNOWN	SAVE
39	12	CABBAGE PALM	REMOVED
40	12	CABBAGE PALM	RELOCATED
41	12	CABBAGE PALM	REMOVED
42	30	FOXTAIL PALM	REMOVED
43	12	CABBAGE PALM	SAVE
44	20	UNKNOWN	SAVE
45	12	CABBAGE PALM	REMOVED
46	12	CABBAGE PALM	SAVE
47	8	CHINESE FAN PALM	SAVE
48	6	CHINESE FAN PALM	SAVE
49	12	CHINESE FAN PALM	SAVE
50	40	UNKNOWN	SAVE
51	6	CHINESE FAN PALM	SAVE
52	8	CHINESE FAN PALM	SAVE
53	8	CHINESE FAN PALM	SAVE
54	14	CHINESE FAN PALM	SAVE
55	18	CHINESE FAN PALM	SAVE
56	12	CABBAGE PALM	SAVE
57	16	CHINESE FAN PALM	SAVE
58	8	CHINESE FAN PALM	REMOVED
59	66	FICUS	SAVE
60	50	MULTITRUNK ROEBELII	REMOVED
61	70	FICUS	SAVE
62	36	ARECA PALM	SAVE
63	8	WASHINGTON PALM	SAVE
64	12	EUGENIA SSP	SAVE
65	12	EUGENIA SSP	SAVE
66	8	EUGENIA SSP	SAVE
68	20	FICUS	SAVE
70	8	GUMBO LIMBO	SAVE
73	18	BIRD OF PARADISE	SAVE
74	28	BIRD OF PARADISE	SAVE
75	18	BIRD OF PARADISE	SAVE
76	18	BIRD OF PARADISE	SAVE
77	12	CABBAGE PALM	SAVE
78	6	UNKNOWN	SAVE
79	48	FISHTAIL PALM	SAVE
80	18	BIRD OF PARADISE	SAVE
81	8	BIRD OF PARADISE	SAVE
82	24	BIRD OF PARADISE	SAVE
83	24	QUEEN PALM	SAVE
84	8	GUM PLANT	SAVE
85	12	GUM PLANT	SAVE
86	12	CHRISTMAS PALM	SAVE
87	48	BIRD OF PARADISE	SAVE
88	30	BIRD OF PARADISE	SAVE
89	24	BIRD OF PARADISE	SAVE
90	60	FICUS	SAVE
91	60	FICUS	SAVE
92	48	FICUS	SAVE
93	26	FICUS	SAVE
94	12	UNKNOWN	SAVE
95	8	UNKNOWN	SAVE
96	12	CABBAGE PALM	SAVE
97	10	BIRD OF PARADISE	SAVE
98	14	BIRD OF PARADISE	SAVE
99	6	BIRD OF PARADISE	SAVE
100	18	BIRD OF PARADISE	SAVE

101	6	BIRD OF PARADISE	SAVE
102	6	BIRD OF PARADISE	SAVE
103	12	BIRD OF PARADISE	SAVE
104	6	BIRD OF PARADISE	SAVE
105	14	BIRD OF PARADISE	SAVE
106	10	BIRD OF PARADISE	SAVE
107	6	BIRD OF PARADISE	SAVE
108	56	FICUS	SAVE
109	64	FICUS	SAVE
110	12	DEAD TREE	SAVE
111	70	FICUS	SAVE
112	10	UNKNOWN	SAVE
113	48	BANYAN TREE	SAVE
114	4	FERN TREE	RELOCATE
115	4	FERN TREE	RELOCATE
116	4	FERN TREE	RELOCATE
117	4	FERN TREE	RELOCATE
118	8	UNKNOWN	SAVE
120	36	PAUROTIS PALM	SAVE
122	8	MANGO	SAVE
123	16	ARECA PALM	SAVE
124	36	M'ARTHUR PALM	SAVE
125	54	BANYAN	SAVE
126	24	UNKNOWN	SAVE
127	80	RECLINATA PALM	SAVE
128	30	LIGUSTRUM	REMOVED
129	12	CABBAGE PALM	SAVE
130	10	GUMBO LIMBO	SAVE
131	10	UNKNOWN	SAVE
132	12	GUMBO LIMBO	SAVE
133	28	MASTIC TREE	SAVE
134	30	MASTIC TREE	REMOVED
135	40	MASTIC TREE	REMOVED
136	70	FICUS	SAVE
137	12	ROYAL PONCIANA	SAVE
138	36	ARECA PALM	SAVE
139	26	ARECA PALM	SAVE
140	24	ARECA PALM	SAVE
141	28	ARECA PALM	SAVE
142	32	ARECA PALM	SAVE
143	24	ARECA PALM	SAVE
144	8	COCONUT PALM	SAVE
145	48	ARECA PALM	SAVE
146	24	ARECA PALM	SAVE
147	38	ARECA PALM	SAVE
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154	12	UNKNOWN PALM	SAVE
155	6	UNKNOWN PALM	SAVE
156	10	ARECA PALM	SAVE
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162	12	ARECA PALM	SAVE
163	24	ARECA PALM	SAVE
164	12	CABBAGE PALM	SAVE
165	18	ROYAL PONCIANA	SAVE
166	12	CABBAGE PALM	SAVE
167	12	CABBAGE PALM	SAVE
168	12	CABBAGE PALM	SAVE
169	24	ARECA PALM	SAVE
170	48	ARECA PALM	SAVE
171	14	GUMBO LIMBO	SAVE
172	12	CABBAGE PALM	SAVE
173	42	ARECA PALM	SAVE
174	16	ARECA PALM	RELOCATE
175	16	ARECA PALM	RELOCATE
176	12	CABBAGE PALM	SAVE
177	12	CABBAGE PALM	SAVE
178	12	CABBAGE PALM	SAVE
179	14	BIRD OF PARADISE	SAVE
180	14	BIRD OF PARADISE	SAVE
181	30	ARECA PALM	SAVE
182	18	ARECA PALM	SAVE
183	24	ARECA PALM	SAVE
184	12	CABBAGE PALM	SAVE
185	18	ROYAL PONCIANA	SAVE
186	12	CABBAGE PALM	SAVE
187	12	CABBAGE PALM	SAVE
188	12	CABBAGE PALM	SAVE
189	24	ARECA PALM	SAVE
190	48	ARECA PALM	SAVE
191	14	GUMBO LIMBO	SAVE
192	24	ARECA PALM	SAVE
193	24	ARECA PALM	SAVE
194	18	ARECA PALM	SAVE
195	12	ARECA PALM	SAVE
196	18	ARECA PALM	SAVE
197	12	UNKNOWN	SAVE
198	20	ARECA PALM	SAVE
199	36	ARECA PALM	SAVE
200	12	COCONUT PALM	SAVE

201	12	COCONUT PALM	SAVE
202	12	COCONUT PALM	SAVE
203	6	COCONUT PALM	RELOCATE
204	12	COCONUT PALM	SAVE
205	12	COCONUT PALM	SAVE
206	18	UNKNOWN	REMOVED
207	60	FICUS	SAVE
208	50	ARECA PALM	REMOVED
209	12	UNKNOWN	SAVE
210	24	ARECA PALM	SAVE
211	54	FICUS	SAVE
212	48	ARECA PALM	SAVE
213	32	ARECA PALM	SAVE
214	10	COCONUT PALM	SAVE
215	6	COCONUT PALM	RELOCATE
216	8	UNKNOWN	RELOCATE
217	12	UNKNOWN	RELOCATE
218	48	BIRD OF PARADISE	SAVE
219	10	UNKNOWN PALM	REMOVED
220	12	COCONUT PALM	REMOVED
221	14	COCONUT PALM	SAVE
222	12	COCONUT PALM	SAVE
223	10	BISMARCK PALM	SAVE
224	80	RECLINATA PALM	SAVE
225	70	FICUS	SAVE
226	12	CABBAGE PALM	SAVE
227	6	COCONUT PALM	SAVE
228	10	COCONUT PALM	SAVE
229	12	CABBAGE PALM	SAVE
230	36	BIRD OF PARADISE	SAVE
231	36	BIRD OF PARADISE	SAVE
232	16	UNKNOWN	SAVE
233	18	UNKNOWN	SAVE
234	18	FOXTAIL PALM	REMOVED
235	18	FOXTAIL PALM	REMOVED
236	18	FOXTAIL PALM	REMOVED
237	18	FOXTAIL PALM	REMOVED
238	48	BIRD OF PARADISE	SAVE
239	12	UNKNOWN	SAVE
240	12	BIRD OF PARADISE	SAVE
241	12	BIRD OF PARADISE	SAVE
242	16	UNKNOWN PALM	SAVE
243	36	BIRD OF PARADISE	SAVE
244	36	BIRD OF PARADISE	SAVE
245	12	CABBAGE PALM	REMOVED
246	6	COCONUT PALM	REMOVED
247	36	ARECA PALM	REMOVED
248	24	ARECA PALM	REMOVED
249	36	ARECA PALM	REMOVED
250	18	UNKNOWN	REMOVED
251	36	ARECA PALM	REMOVED
252	6	ARECA PALM	REMOVED
253	30	UNKNOWN	REMOVED
254	36	ARECA PALM	REMOVED
255	18	ARECA PALM	REMOVED
256	18	ARECA PALM	SAVE
257	24	BIRD OF PARADISE	SAVE
258	18	ARECA PALM	REMOVED
259	18	ARECA PALM	REMOVED
260	18	ARECA PALM	SAVE
261	18	ARECA PALM	SAVE
262	10	COCONUT PALM	SAVE
263	10	BIRD OF PARADISE	SAVE
264	6	COCONUT PALM	SAVE
265	12	CABBAGE PALM	SAVE
266	24	UNKNOWN PALM	REMOVED
267	6	BIRD OF PARADISE	REMOVED
268	8	UNKNOWN PALM	REMOVED
269	18	UNKNOWN PALM	REMOVED
270	12	CABBAGE PALM	SAVE
271	30	UNKNOWN	SAVE
272	12	CABBAGE PALM	SAVE
273	20	UNKNOWN	SAVE
274	12	CABBAGE PALM	SAVE
275	12	UNKNOWN	SAVE
276	12	COCONUT PALM	REMOVED
277	36	UNKNOWN PALM	REMOVED
278	12	BIRD OF PARADISE	REMOVED
279	18	ARECA PALM	REMOVED
280	10	MANGO	SAVE
281	12	GUMBO LIMBO	SAVE
282	16	BISMARCK	SAVE
283	24	SEAGRAPE	SAVE
284	36	BIRD OF PARADISE	SAVE
285	6	UNKNOWN PALM	SAVE
286	30	UNKNOWN	SAVE
287	12	UNKNOWN	REMOVED
288	36	ARECA PALM	REMOVED
289	50	FICUS	SAVE
290	50	FICUS	SAVE
291	18	ARECA PALM	SAVE

LEGEND
TREE TO REMAIN
TREE TO BE RELOCATED
TREE REMOVED OR RELOCATED UNDER PREVIOUS IRC APPROVED CONSTRUCTION PERMIT
PROPOSED TREE TO BE REMOVED
DEAD/DISEASED TREE TO BE REMOVED



WILLIAMS RESIDENCE
214 S. BEACH RD
JUPITER ISLAND, FL 33455

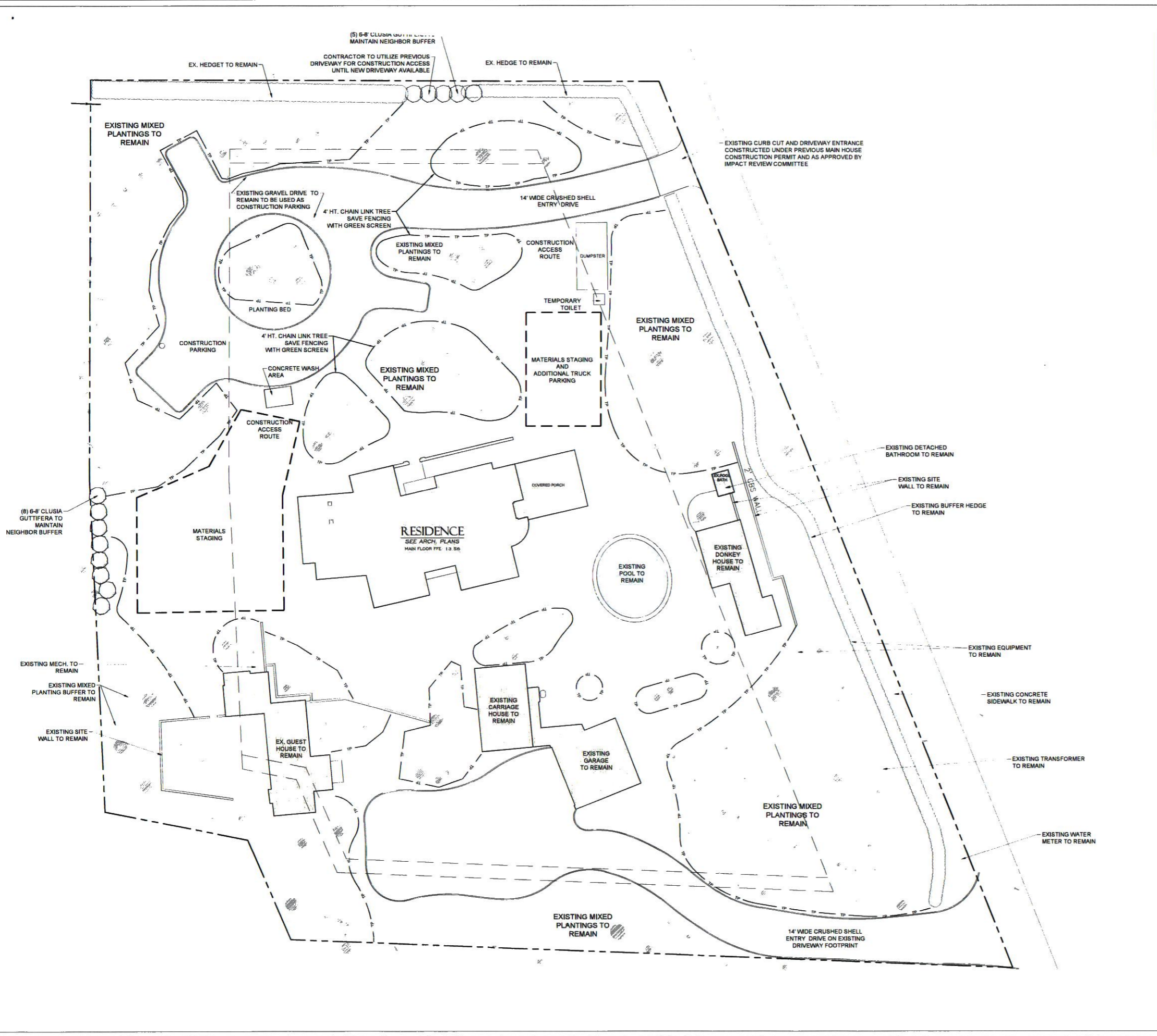
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08/18/25 IRC PERMIT
CHECKED BY: JH SCALE
DRAWN BY: CB DATE CREATED: 08/08/25

LP-0.11
TREE DISPOSITION



HOWARD
DESIGN STUDIO
1201 PEACHTREE STREET NE, SUITE 1925
ATLANTA GA 30361
404 876-7051
HOWARDDSIGNSTUDIO.COM





CONSTRUCTION STAGING PLAN LEGEND

- TREE PROTECTION FENCE
- EXISTING TREE TO REMAIN
- EXISTING MIXED PLANTING BUFFER TO REMAIN



WILLIAMS RESIDENCE
 214 S. BEACH RD.
 JUPITER ISLAND, FL 33455

RELEASES

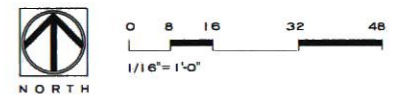
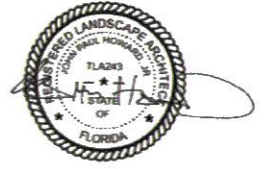
06/12/25 IRC PERMIT

CHECKED BY: JH SCALE: 1/16" = 1'-0"
 DRAWN BY: CB DATE CREATED: 06/08/25

LP-0.20 CONSTRUCTION STAGING PLAN



HOWARD DESIGN STUDIO
 1201 PEACHTREE STREET NE, SUITE 1925
 ATLANTA GA 30361
 404 876-7051
 HOWARDDSIGNSTUDIO.COM





WILLIAMS RESIDENCE

214 S. BEACH RD.
JUPITER ISLAND, FL 33455

RELEASES

08-14-25 DEMO PERMIT

08-12-25 ARBORIST COMMENTS

CHECKED BY: JH SCALE: 1/16" = 1'-0"

DRAWN BY: CB DATE CREATED: 08/08/25

**LP-0.30
DEMOLITION PLAN**



HOWARD
DESIGN STUDIO

1201 PEACHTREE STREET NE, SUITE 1925
ATLANTA, GA 30361
404.876.7051
HOWARDDSIGNSTUDIO.COM



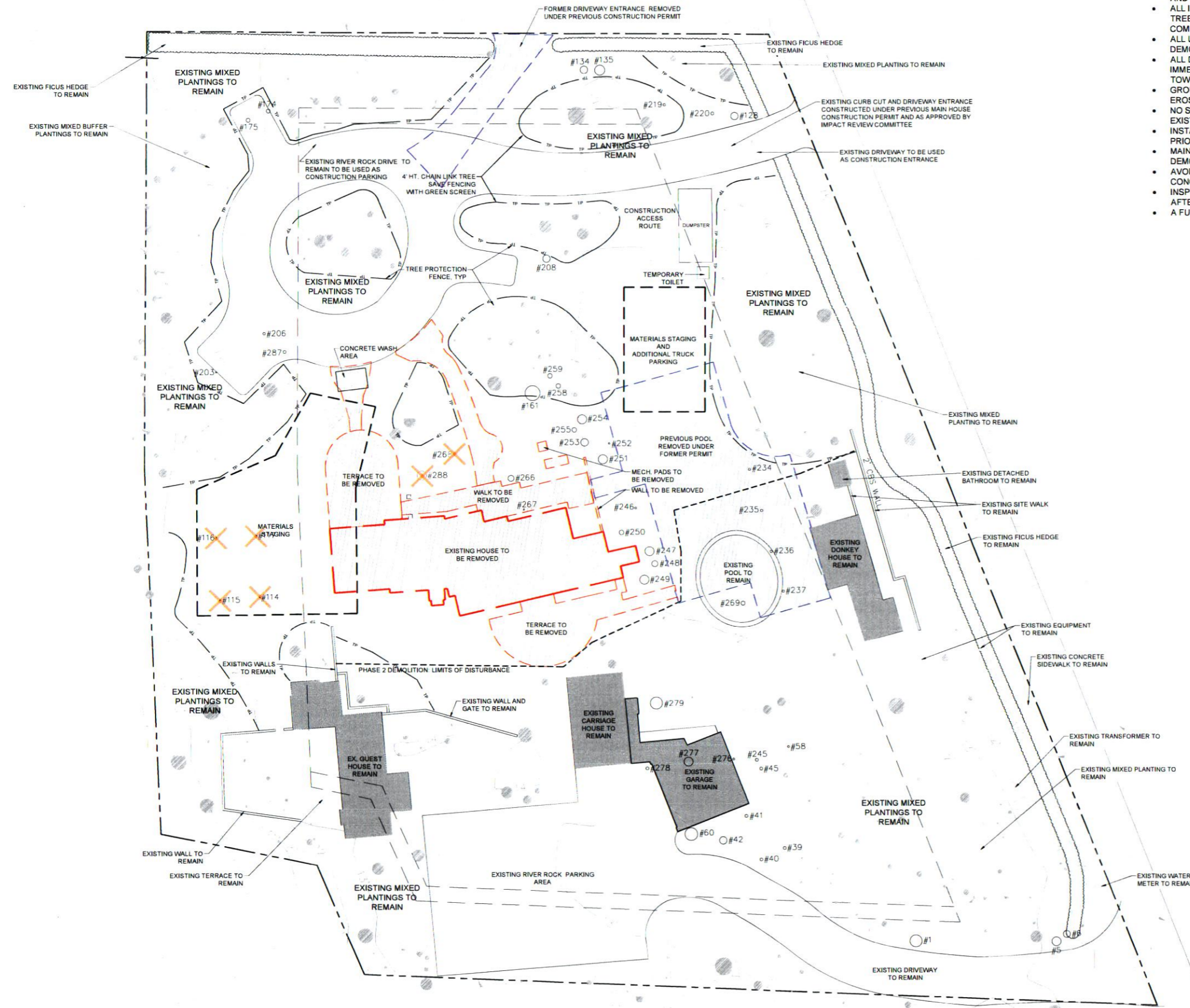
- GENERAL NOTES:
- CURRENT PLANTING BUFFER FROM SOUTH BEACH ROAD AND ADJACENT PROPERTIES IS EXISTING AND WILL REMAIN. SUPPLEMENTAL PLANTING IS SHOWN FOR AREAS THAT WILL BE DISTURBED TO COMPLY WITH THE LANDSCAPE BUFFER AND STREETSCAPE REQUIREMENTS.
- ALL INVASIVE SPECIES TO BE REMOVED. BUFFER SHALL BE EVALUATED AFTER TREE REMOVALS, AND ANY HOLES FILLED NATIVE TREE OR PALM MATERIAL TO COMPLY WITH LANDSCAPE BUFFER AND STREETSCAPE REQUIREMENTS.
- ALL UTILITY SERVICES MUST BE DISCONNECTED AND INSPECTED PRIOR TO DEMOLITION START
- ALL DISTURBED AREAS RESULTING FROM DEMOLITION SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF WORK BY SODDING OR SEEDING WITH TOWN OF JUPITER ISLAND-APPROVED GROUND COVER.
- GROUND COVER SHALL BE MAINTAINED UNTIL FULL ESTABLISHMENT TO PREVENT EROSION AND SEDIMENT MIGRATION.
- NO SITE GRADING IS PROPOSED, EXISTING GRADES SHALL REMAIN TO PROTECT EXISTING TREES AND VEGETATION.
- INSTALL PROTECTIVE BARRIERS (E.G., TREE PROTECTION FENCING) AS SHOWN, PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
- MAINTAIN TREE PROTECTION FENCING IN PLACE FOR THE DURATION OF DEMOLITION.
- AVOID STOCKPILING MATERIALS, PARKING EQUIPMENT, OR WASHING OUT CONCRETE WITHIN THE TREE PROTECTION ZONES.
- INSPECT EROSION CONTROL AND TREE PROTECTION MEASURES WEEKLY AND AFTER ANY SIGNIFICANT RAINFALL EVENT, REPAIR OR REPLACE AS NECESSARY.
- A FULL SITE PLANTING PLAN WILL BE SUBMITTED AT NOVEMBER IRC MEETING

LEGEND:

- BUILDING TO REMAIN
- HARDSCAPE REMOVED UNDER PREVIOUS CONSTRUCTION PERMIT
- STRUCTURE AND HARDSCAPE PROPOSED TO BE REMOVED
- TREE REMOVED UNDER PREVIOUS CONSTRUCTION PERMIT
- PROPOSED TREE TO BE REMOVED
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- EXISTING TREE

EXISTING-A-80 SITE CALCULATIONS

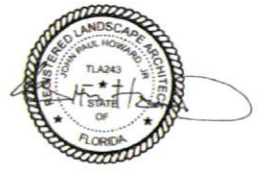
STE AREA	81,456 SF	100%
BUILDING COVERAGE		
EXISTING	4,308 SF	5.20%
IMPERVIOUS AREA		
EXISTING	19,333 SF	23.70%
EXISTING LANDSCAPE		
REQUIRED	40,726 SF	50%
EXISTING	57,263 SF	70.20%



NORTH

0 8 16 32 48

1/16" = 1'-0"





WILLIAMS RESIDENCE
214 S. BEACH RD
JUPITER ISLAND, FL 33455

RELEASES

09/12/25 IRC PERMIT

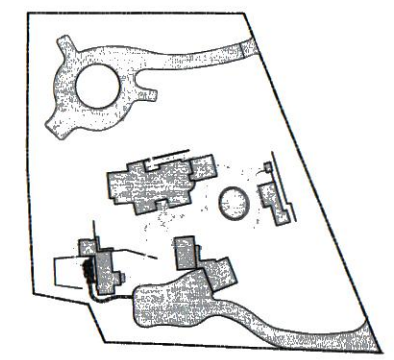
CHECKED BY: JH SCALE: 1/16" = 1'-0"
DRAWN BY: CB DATE CREATED: 08/08/25

LP-1.00 LANDSCAPE SITE PLAN



HOWARD
DESIGN STUDIO

1201 PEACHTREE STREET NE SUITE 1925
ATLANTA GA 30361
404 876-7051
HOWARDDSIGNSTUDIO.COM



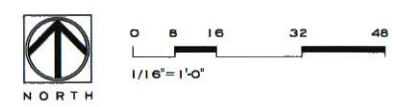
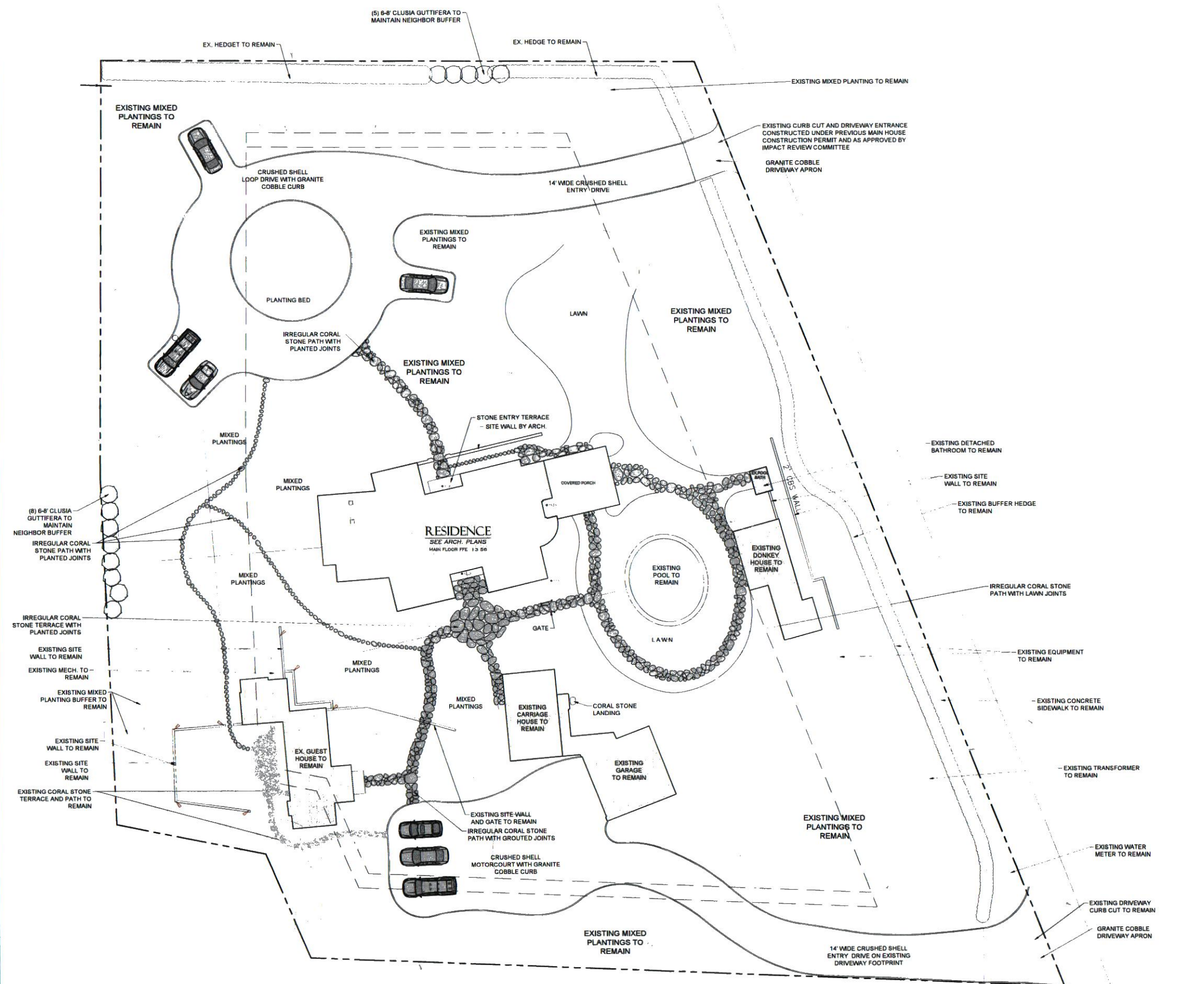
214 SOUTH BEACH RD. LOT COVERAGE

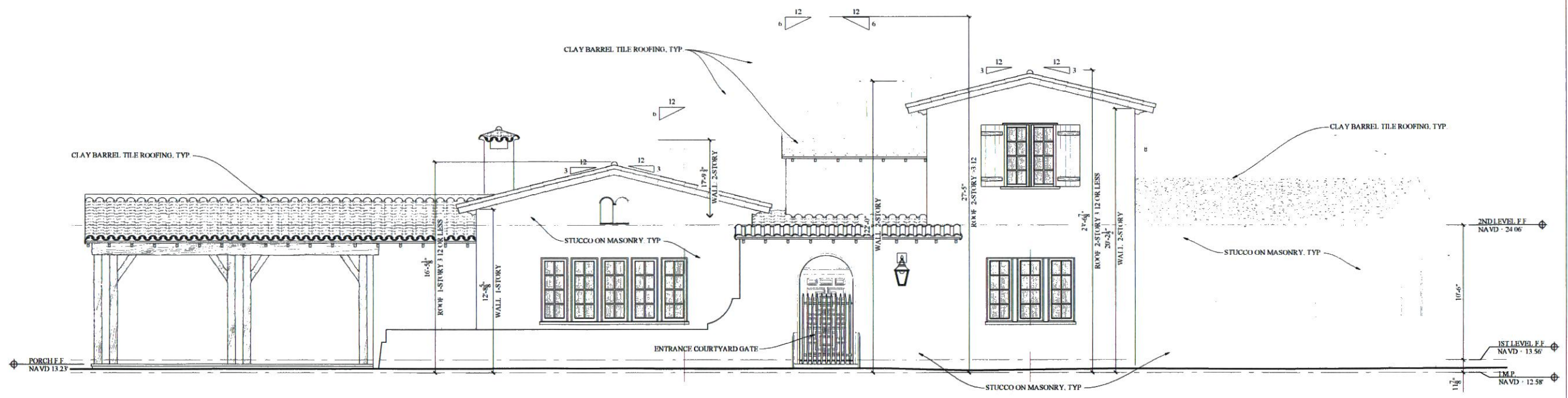
EXISTING A-80 SITE CALCULATIONS

SITE AREA	81,456 SF	100%
BUILDING COVERAGE		
EXISTING	4,306 SF	5.20%
IMPERVIOUS AREA		
EXISTING	19,333 SF	23.70%
EXISTING LANDSCAPE		
REQUIRED	40,726 SF	50%
EXISTING	57,263 SF	70.20%

PROPOSED A-80 SITE CONDITIONS

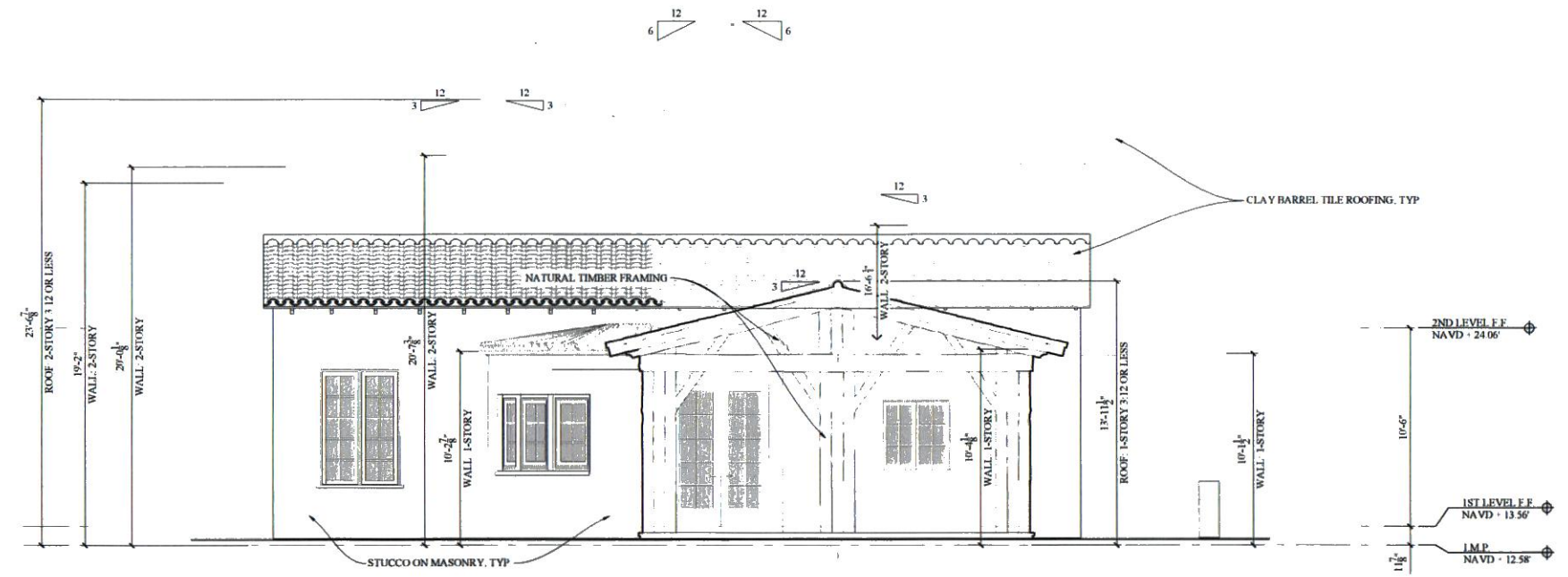
IMPERVIOUS AREA		
PROPOSED	21,400 SF	26.3%
LANDSCAPE AREAS		
PROPOSED	60,056 SF	73.7%





1 NORTH ELEVATION
SCALE 1/4" = 1'-0"

ALL ROOF AND WALL HEIGHTS MEASURED FROM PROJECT'S INITIAL MEASURING POINT:
+12.58' NAVD = PROJECT IMP



2 EAST ELEVATION
SCALE 1/4" = 1'-0"

THE
WILLIAMS
RESIDENCE
214 SOUTH BEACH ROAD
JUPITER ISLAND, FL.
COUNTY

D. STANLEY DIXON
ARCHITECT
2300 PEACHTREE ROAD, SUITE C-101 ATLANTA, GA 30309
404-574-1430



PROJECT # 23-502	
DRAWN MJ	CHECKED DSD
PRELIMINARY REPLACEMENT MAIN RESIDENCE AUGUST 4, 2025	
RELEASES	
PROPOSED ELEVATIONS	
A2.21	

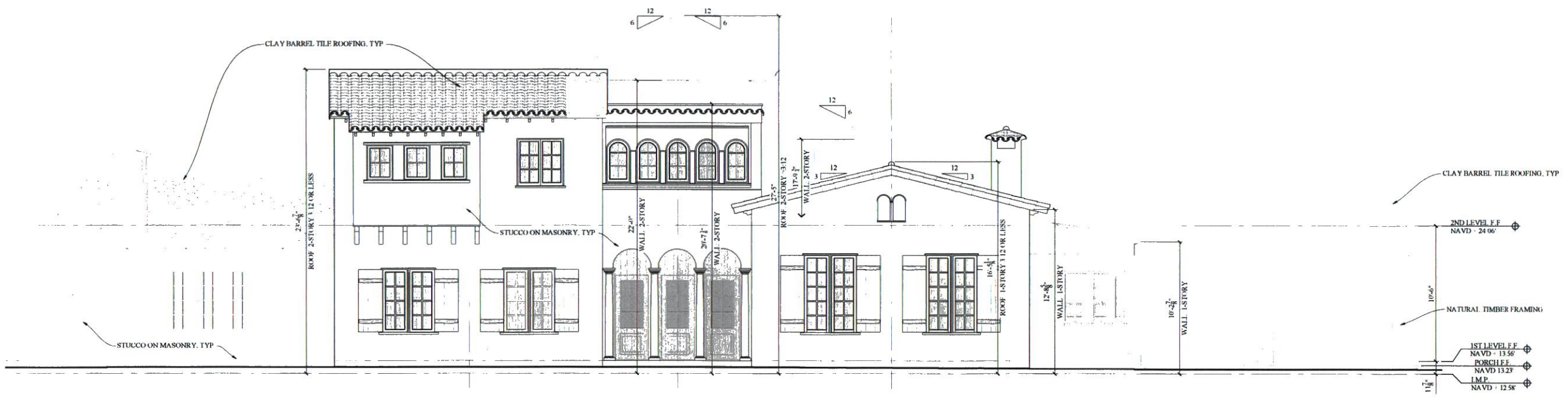
THE
**WILLIAMS
 RESIDENCE**
 214 SOUTH BEACH ROAD
 JUPITER ISLAND, FL.
 COUNTY

D. STANLEY DIXON
 ARCHITECT

2300 PEACHTREE ROAD, SUITE C-101 ATLANTA, GA 30309
 404.574.1430

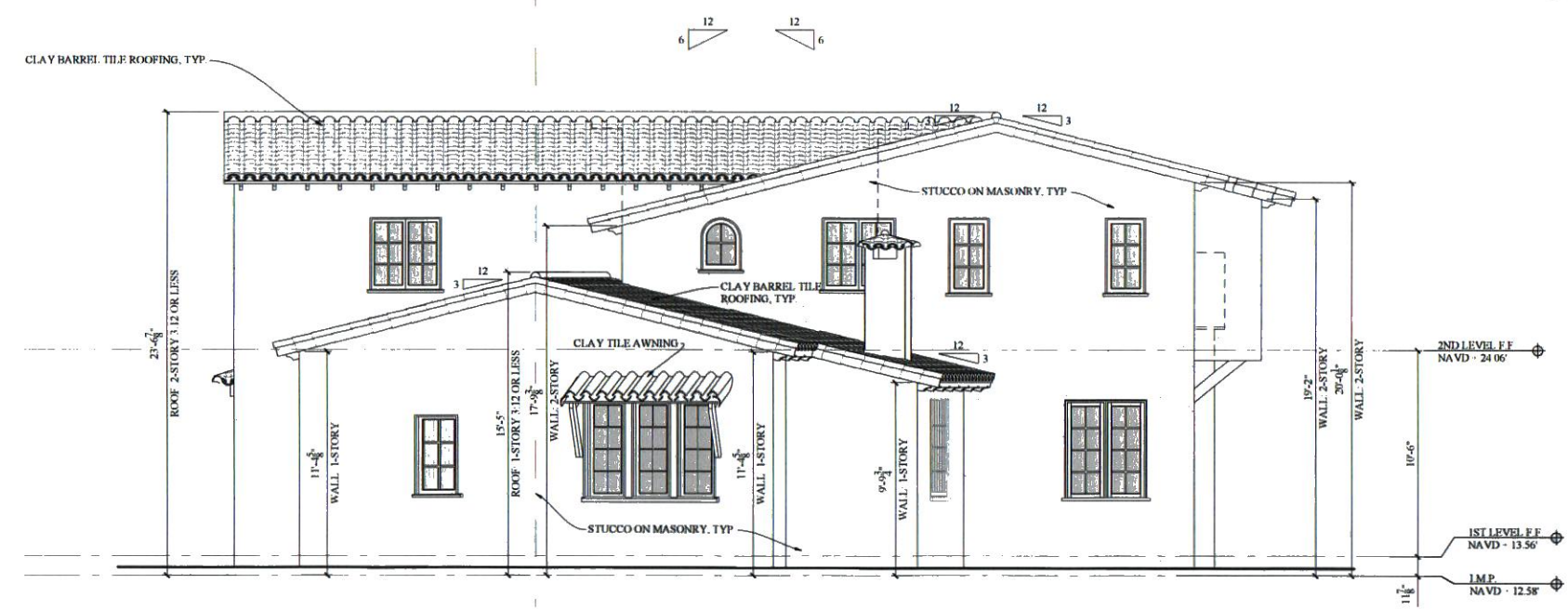


PROJECT # 23-502	
DRAWN MJ	CHECKED DSD
PRELIMINARY REPLACEMENT MAIN RESIDENCE AUGUST 4, 2025	
RELEASES	
PROPOSED ELEVATIONS	
A2.22	



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

**ALL ROOF AND WALL HEIGHTS MEASURED
 FROM PROJECT'S INITIAL MEASURING POINT:
 +12.58' NAVD = PROJECT IMP**



2 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

PROPOSED NEW SINGLE FAMILY RESIDENCE AND GARDENS

FOR

WILLIAMS RESIDENCE

214 SOUTH BEACH RD
JUPITER ISLAND, FL 33455

PROJECT TEAM

OWNER:
ARTHUR AND CATHERINE WILLIAMS
214 S. BEACH RD.
HOBE SOUND, FL 33455

GENERAL CONTRACTOR / 24 HR CONTACT:
SANDS CONSTRUCTION COMPANY, INC.
11850 SE SHELL AVE.
HOBE SOUND, FL 33455
772-546-2111

CONTACT: ERIC SCHMITZ

ARCHITECT:
D. STANLEY DIXON, ARCHITECT
2300 PEACHTREE ROAD, SUITE C-101
ATLANTA, GEORGIA 30309
404-574-1430

CONTACT: MCLEAN JENKINS

LANDSCAPE ARCHITECT:
HOWARD DESIGN STUDIO
1201 PEACHTREE STREET NE
SUITE 1925
ATLANTA, GA 30361

CONTACT: COLLIN BENTLEY

CIVIL ENGINEER & SURVEYOR:
GRUBER CONSULTING ENGINEERS, INC
2475 MERCER AVE. SUITE 305
WEST PALM BEACH, FL 33401
561-312-2041

CONTACT: CHAD GRUBER

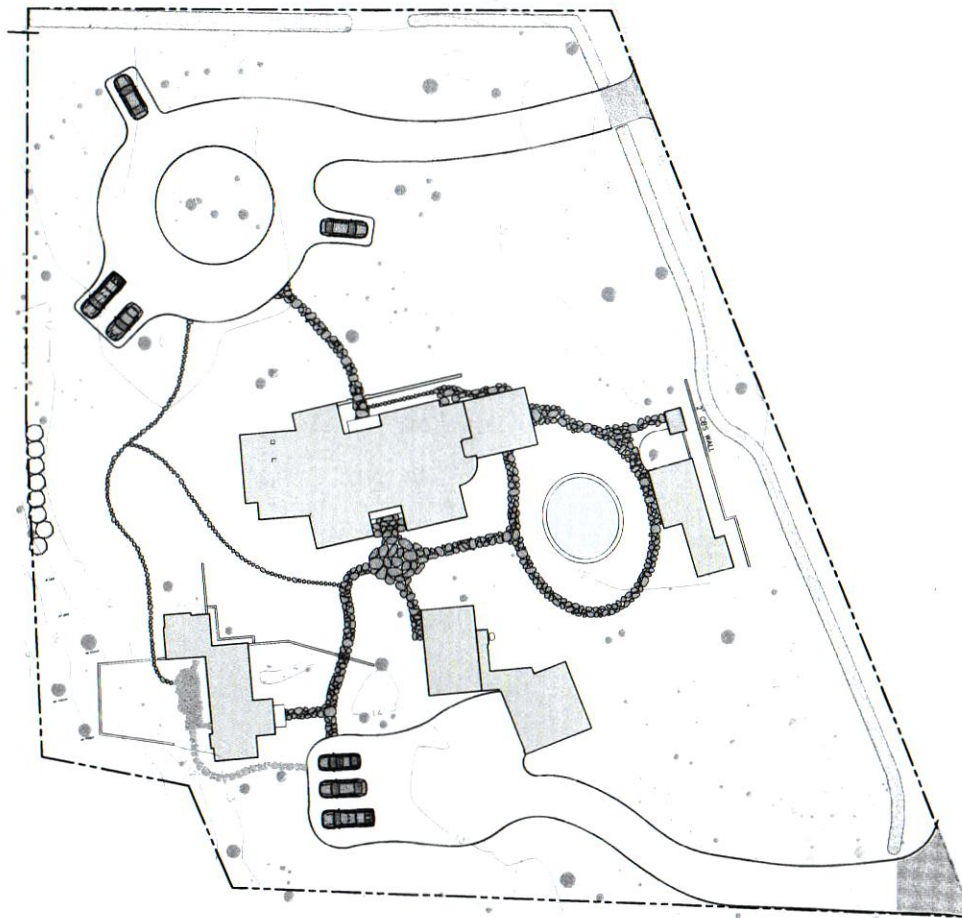
STRUCTURAL ENGINEER:
CARMO ENGINEERING ASSOCIATES, INC
814 N. DIXIE HIGHWAY
LANTANA, FL 33462

CONTACT: DAVE CARMO

SURVEYOR:
R. L. VAUGHT & ASSOCIATES
R. M. 9075 SE BRIDGE RD.
HOBE SOUND, FL 33455

DRAWING INDEX

- LP-0.00 ——— COVER
- LP-0.10 ——— TREE PROTECTION PLAN
- LP-0.11 ——— TREE DISPOSTION CHART
- LP-0.20 ——— CONSTRUCTION STAGING PLAN
- LP-1.00 ——— HARDSCAPE SITE PLAN
- LP-4.00 ——— PLANTING PLAN
- LP-4.10 ——— PLANTING PLAN
- LP-4.11 ——— PLANTING PLAN
- LP-4.20 ——— LANDSCAPE ELEVATIONS
- LP- 4.21 ——— LANDSCAPE ELEVATIONS



214 S. BEACH RD
VICINITY MAP

ABBREVIATION SCHEDULE:

CL	CENTERLINE
HT	HEIGHT
TW	TOP OF WALL
BW	BOTTOM OF WALL
TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TC	TOP OF CURB
BC	BOTTOM OF CURB
EX	EXISTING (GRADE, UTIL, ELEMENT, ETC.)
FG	FINISHED GRADE
FFE	FINISHED FLOOR ELEVATION
BFFE	BASEMENT FINISHED FLOOR ELEVATION
AD	AREA DRAIN RIM
CD	CHANNEL DRAIN RIM
YD	YARD DRAIN RIM
DS	DOWNSPOUT
INV	INVERT ELEVATION
CO	CLEANOUT
IRR	IRRIGATION
TPF	TREE PROTECTION FENCING
CRZ	CRITICAL ROOT ZONE
SRP	STRUCTURAL ROOT PLATE
LOD	LIMITS OF DISTURBANCE
PL	PROPERTY LINE
STBK	BUILDING SETBACK LINE
ROW	RIGHT-OF-WAY



WILLIAMS RESIDENCE

214 S. BEACH RD.
JUPITER ISLAND, FL 33455

RELEASES
08/12/25 IRC PERMIT

CHECKED BY: JH SCALE
DRAWN BY: CB DATE CREATED: 08/08/25

LP-0.00 COVER SHEET



HOWARD DESIGN STUDIO

1201 PEACHTREE STREET NE, SUITE 1925
ATLANTA, GA 30361
404-876-7051
HOWARDDSIGNSTUDIO.COM





WILLIAMS RESIDENCE

214 S. BEACH RD.
JUPITER ISLAND, FL 33455

RELEASES

09/18/25 IRC PERMIT

CHECKED BY JH SCALE 1/16" = 1'-0"
DRAWN BY CB DATE CREATED 03/08/25

LP-0.10 TREE PROTECTION PLAN



HOWARD DESIGN STUDIO

1201 PEACHTREE STREET NE, SUITE 1925
ATLANTA GA 30361
404 876-7051
HOWARDDSIGNSTUDIO.COM

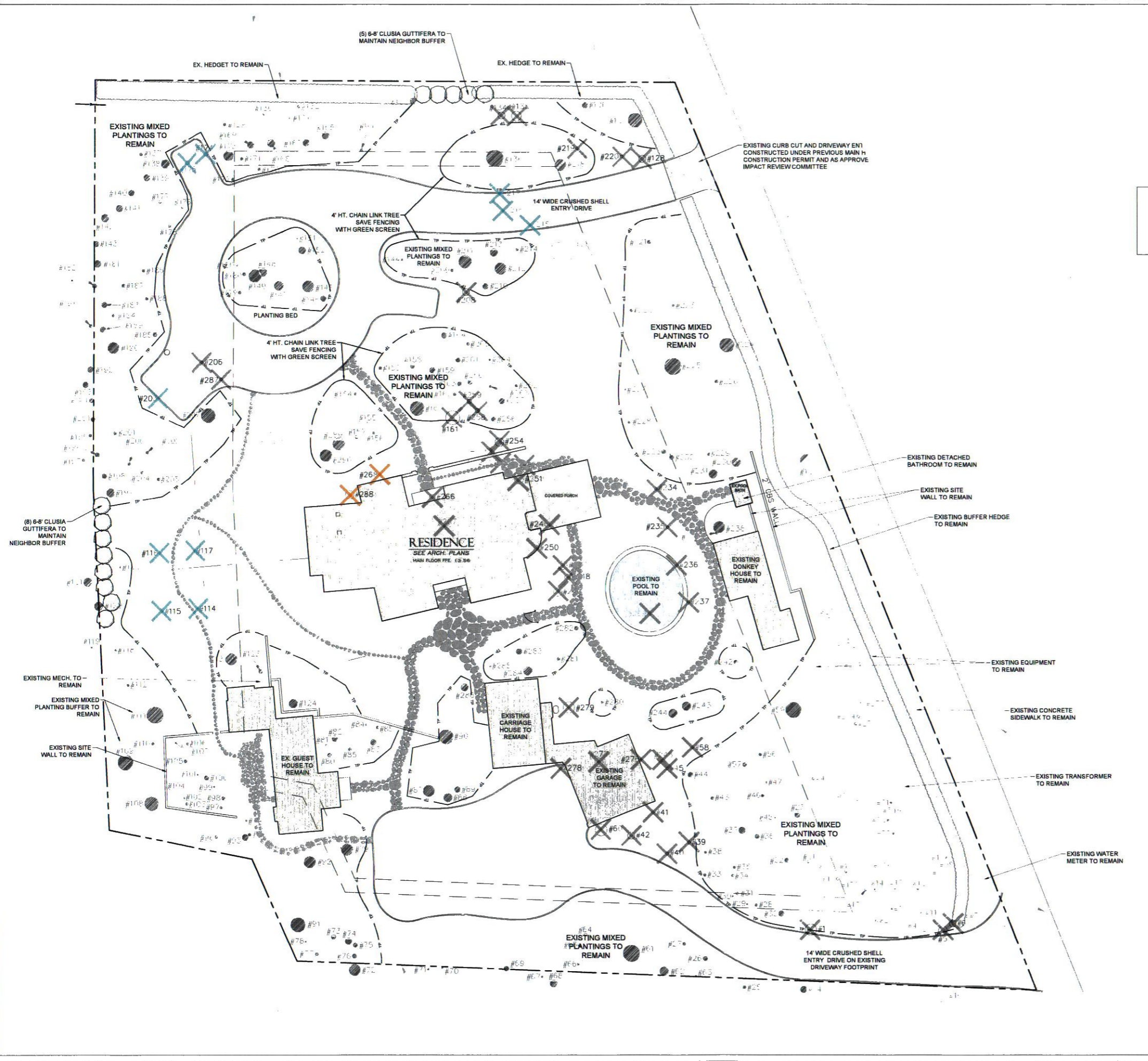
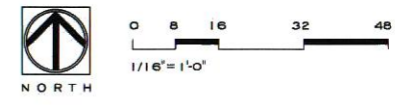
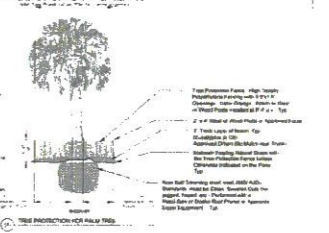


- GENERAL NOTES:
- CURRENT PLANTING BUFFER FROM SOUTH BEACH ROAD AND ADJACENT PROPERTIES IS EXISTING AND WILL REMAIN. SUPPLEMENTAL PLANTING IS SHOWN FOR AREAS THAT WILL BE DISTURBED TO COMPLY WITH THE LANDSCAPE BUFFER AND STREETSCAPE REQUIREMENTS.
 - ALL INVASIVE SPECIES TO BE REMOVED. BUFFER SHALL BE EVALUATED AFTER TREE REMOVALS, AND ANY HOLES FILLED NATIVE TREE OR PALM MATERIAL TO COMPLY WITH LANDSCAPE BUFFER AND STREETSCAPE REQUIREMENTS.
 - ALL DISTURBED AREAS RESULTING FROM CONSTRUCTION SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF WORK BY SODDING OR SEEDING WITH TOWN OF JUPITER ISLAND-APPROVED GROUND COVER.
 - GROUND COVER SHALL BE MAINTAINED UNTIL FULL ESTABLISHMENT TO PREVENT EROSION AND SEDIMENT MIGRATION.
 - NO SITE GRADING IS PROPOSED. EXISTING GRADES SHALL REMAIN TO PROTECT EXISTING TREES AND VEGETATION.
 - MAINTAIN TREE PROTECTION FENCING IN PLACE FOR THE DURATION OF CONSTRUCTION.
 - AVOID STOCKPILING MATERIALS, PARKING EQUIPMENT, OR WASHING OUT CONCRETE WITHIN THE TREE PROTECTION ZONES.
 - INSPECT EROSION CONTROL AND TREE PROTECTION MEASURES WEEKLY AND AFTER ANY SIGNIFICANT RAINFALL EVENT. REPAIR OR REPLACE AS NECESSARY.
 - SEE PLANTING PLANS ON SHEET L-400 FOR RELOCATED PLANT MATERIAL.

CONTRACTOR TO INSTALL PROTECTIVE BARRIERS (E.G., TREE PROTECTION FENCING) AS SHOWN, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY AND MUST MAINTAIN THE BARRIER THROUGHOUT CONSTRUCTION

TREE PROTECTION PLAN LEGEND

- TREE FORMERLY REMOVED OR RELOCATED UNDER PREVIOUS IRC APPROVED CONSTRUCTION PERMIT
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RE-LOCATED
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- EXISTING TREE TO REMAIN
- EXISTING MIXED PLANTING BUFFER TO REMAIN



Tree Number	Diameter	Species	Designation
1	48	FIGUS	REMOVED
2	12	CABBAGE PALM	SAVE
3	6	UNKNOWN	SAVE
4	48	FIGUS	SAVE
5	36	ROYAL PONCIANA	REMOVED
6	28	ROYAL PONCIANA	REMOVED
7	12	TRIANGLE PALM	SAVE
8	6	LIGUSTRUM LUCIDUM	SAVE
9	12	LIGUSTRUM LUCIDUM	SAVE
10	12	CABBAGE PALM	SAVE
11	12	CABBAGE PALM	SAVE
12	16	ROYAL PONCIANA	SAVE
13	18	ARECA PALM	SAVE
14	18	ARECA PALM	SAVE
15	12	CABBAGE PALM	SAVE
17	24	ARECA PALM	SAVE
18	12	ARECA PALM	SAVE
19	12	CABBAGE PALM	SAVE
20	24	UNKNOWN	SAVE
21	10	UNKNOWN	SAVE
22	18	UNKNOWN	SAVE
23	24	UNKNOWN	SAVE
26	18	UNKNOWN	SAVE
27	14	UNKNOWN	SAVE
28	12	CABBAGE PALM	SAVE
29	6	WHITE BIRD OF PARADISE	SAVE
30	6	WHITE BIRD OF PARADISE	SAVE
31	12	CABBAGE PALM	SAVE
32	24	UNKNOWN	SAVE
33	12	CABBAGE PALM	SAVE
34	10	UNKNOWN	SAVE
35	10	UNKNOWN	SAVE
36	18	UNKNOWN	SAVE
37	28	UNKNOWN	SAVE
38	10	UNKNOWN	SAVE
39	12	CABBAGE PALM	REMOVED
40	12	CABBAGE PALM	RELOCATED
41	12	CABBAGE PALM	REMOVED
42	30	FOXTAIL PALM	REMOVED
43	12	CABBAGE PALM	SAVE
44	20	UNKNOWN	SAVE
45	12	CABBAGE PALM	REMOVED
46	12	CABBAGE PALM	SAVE
47	8	CHINESE FAN PALM	SAVE
48	6	CHINESE FAN PALM	SAVE
49	12	CHINESE FAN PALM	SAVE
50	40	UNKNOWN	SAVE
51	8	CHINESE FAN PALM	SAVE
52	8	CHINESE FAN PALM	SAVE
53	8	CHINESE FAN PALM	SAVE
54	14	CHINESE FAN PALM	SAVE
55	18	CHINESE FAN PALM	SAVE
56	12	CABBAGE PALM	SAVE
57	16	CHINESE FAN PALM	SAVE
58	8	CHINESE FAN PALM	REMOVED
59	66	FIGUS	SAVE
60	50	MULTITRUNK ROEBELLINI	REMOVED
61	70	FIGUS	SAVE
62	36	ARECA PALM	SAVE
63	8	WASHINGTON PALM	SAVE
64	12	EUGENIA SSP	SAVE
65	12	EUGENIA SSP	SAVE
66	8	EUGENIA SSP	SAVE
69	20	FIGUS	SAVE
70	8	GUMBO LIMBO	SAVE
73	18	BIRD OF PARADISE	SAVE
74	28	BIRD OF PARADISE	SAVE
75	18	BIRD OF PARADISE	SAVE
76	18	BIRD OF PARADISE	SAVE
77	12	CABBAGE PALM	SAVE
78	6	UNKNOWN	SAVE
79	48	FISHTAIL PALM	SAVE
80	16	BIRD OF PARADISE	SAVE
81	8	BIRD OF PARADISE	SAVE
82	24	BIRD OF PARADISE	SAVE
83	24	QUEEN PALM	SAVE
84	8	GUM PLANT	SAVE
85	12	GUM PLANT	SAVE
86	12	CHRISTMAS PALM	SAVE
87	48	BIRD OF PARADISE	SAVE
88	36	BIRD OF PARADISE	SAVE
89	24	BIRD OF PARADISE	SAVE
90	60	FIGUS	SAVE
91	60	FIGUS	SAVE
92	48	FIGUS	SAVE
93	26	FIGUS	SAVE
94	12	UNKNOWN	SAVE
95	8	UNKNOWN	SAVE
96	12	CABBAGE PALM	SAVE
97	10	BIRD OF PARADISE	SAVE
98	14	BIRD OF PARADISE	SAVE
99	6	BIRD OF PARADISE	SAVE
100	18	BIRD OF PARADISE	SAVE

101	6	BIRD OF PARADISE	SAVE
102	6	BIRD OF PARADISE	SAVE
103	12	BIRD OF PARADISE	SAVE
104	6	BIRD OF PARADISE	SAVE
105	14	BIRD OF PARADISE	SAVE
106	10	BIRD OF PARADISE	SAVE
107	6	BIRD OF PARADISE	SAVE
108	58	FIGUS	SAVE
109	64	FIGUS	SAVE
110	12	DEAD TREE	SAVE
111	70	FIGUS	SAVE
112	10	UNKNOWN	SAVE
113	48	BANYAN TREE	SAVE
114	4	FERN TREE	RELOCATE
115	4	FERN TREE	RELOCATE
116	4	FERN TREE	RELOCATE
117	4	FERN TREE	RELOCATE
118	8	UNKNOWN	SAVE
120	36	PAURTOTIS PALM	SAVE
122	8	MANGO	SAVE
123	16	ARECA PALM	SAVE
124	36	MCARTHUR PALM	SAVE
125	54	BANYAN	SAVE
126	24	UNKNOWN	SAVE
127	60	RECLINATA PALM	SAVE
128	30	LIGUSTRUM	REMOVED
129	12	CABBAGE PALM	SAVE
130	10	GUMBO LIMBO	SAVE
131	10	UNKNOWN	SAVE
132	12	GUMBO LIMBO	SAVE
133	28	MASTIC TREE	SAVE
134	30	MASTIC TREE	REMOVED
135	40	MASTIC TREE	REMOVED
136	70	FIGUS	SAVE
137	12	ROYAL PONCIANA	SAVE
138	36	ARECA PALM	SAVE
139	28	ARECA PALM	SAVE
140	24	ARECA PALM	SAVE
141	28	ARECA PALM	SAVE
142	32	ARECA PALM	SAVE
143	24	ARECA PALM	SAVE
144	8	COCONUT PALM	SAVE
145	48	ARECA PALM	SAVE
146	24	ARECA PALM	SAVE
147	38	ARECA PALM	SAVE
148	36	ARECA PALM	SAVE
149	54	ARECA PALM	SAVE
150	10	COCONUT PALM	SAVE
151	6	ARECA PALM	SAVE
152	30	BIRD OF PARADISE	SAVE
153	12	UNKNOWN PALM	SAVE
154	12	UNKNOWN PALM	SAVE
155	6	UNKNOWN PALM	SAVE
156	10	ARECA PALM	SAVE
157	14	BIRD OF PARADISE	SAVE
158	18	UNKNOWN	SAVE
159	24	ARECA PALM	SAVE
160	60	UNKNOWN	SAVE
161	36	UNKNOWN	REMOVED
162	12	ARECA PALM	SAVE
163	18	ARECA PALM	SAVE
164	24	ARECA PALM	SAVE
165	30	ARECA PALM	SAVE
166	12	CABBAGE PALM	SAVE
167	28	ARECA PALM	SAVE
168	32	ARECA PALM	SAVE
169	28	ARECA PALM	SAVE
170	12	CABBAGE PALM	SAVE
171	12	CABBAGE PALM	SAVE
172	12	CABBAGE PALM	SAVE
173	42	ARECA PALM	SAVE
174	16	ARECA PALM	RELOCATE
175	16	ARECA PALM	RELOCATE
176	12	CABBAGE PALM	SAVE
177	12	CABBAGE PALM	SAVE
178	12	CABBAGE PALM	SAVE
179	14	BIRD OF PARADISE	SAVE
180	14	BIRD OF PARADISE	SAVE
181	30	ARECA PALM	SAVE
182	18	ARECA PALM	SAVE
183	24	ARECA PALM	SAVE
184	12	CABBAGE PALM	SAVE
185	18	ROYAL PONCIANA	SAVE
186	12	CABBAGE PALM	SAVE
187	12	CABBAGE PALM	SAVE
188	12	CABBAGE PALM	SAVE
189	24	ARECA PALM	SAVE
190	48	ARECA PALM	SAVE
191	14	GUMBO LIMBO	SAVE
192	24	ARECA PALM	SAVE
193	24	ARECA PALM	SAVE
194	18	ARECA PALM	SAVE
195	12	ARECA PALM	SAVE
196	18	ARECA PALM	SAVE
197	12	UNKNOWN	SAVE
198	20	ARECA PALM	SAVE
199	36	ARECA PALM	SAVE
200	12	COCONUT PALM	SAVE

201	12	COCONUT PALM	SAVE
202	12	COCONUT PALM	SAVE
203	6	COCONUT PALM	RELOCATE
204	12	COCONUT PALM	SAVE
205	12	COCONUT PALM	SAVE
206	10	UNKNOWN	REMOVED
207	60	FIGUS	SAVE
208	30	ARECA PALM	REMOVED
209	12	UNKNOWN	SAVE
210	24	ARECA PALM	SAVE
211	54	FIGUS	SAVE
212	48	ARECA PALM	SAVE
213	32	ARECA PALM	SAVE
214	10	COCONUT PALM	SAVE
215	6	COCONUT PALM	RELOCATE
216	8	UNKNOWN	RELOCATE
217	12	UNKNOWN	RELOCATE
218	48	BIRD OF PARADISE	SAVE
219	10	UNKNOWN PALM	REMOVED
220	12	COCONUT PALM	REMOVED
221	14	COCONUT PALM	SAVE
222	12	COCONUT PALM	SAVE
223	10	BISMARCK PALM	SAVE
224	60	RECLINATA PALM	SAVE
225	70	FIGUS	SAVE
226	12	CABBAGE PALM	SAVE
227	6	COCONUT PALM	SAVE
228	10	COCONUT PALM	SAVE
229	12	CABBAGE PALM	SAVE
230	36	BIRD OF PARADISE	SAVE
231	36	BIRD OF PARADISE	SAVE
232	18	UNKNOWN	SAVE
233	18	UNKNOWN	SAVE
234	10	FOXTAIL PALM	REMOVED
235	10	FOXTAIL PALM	REMOVED
236	10	FOXTAIL PALM	REMOVED
237	10	FOXTAIL PALM	REMOVED
238	48	BIRD OF PARADISE	SAVE
239	12	UNKNOWN	SAVE
240	12	BIRD OF PARADISE	SAVE
241	12	BIRD OF PARADISE	SAVE
242	16	UNKNOWN PALM	SAVE
243	36	BIRD OF PARADISE	SAVE
244	36	BIRD OF PARADISE	SAVE
245	12	CABBAGE PALM	REMOVED
246	6	COCONUT PALM	REMOVED
247	36	ARECA PALM	REMOVED
248	24	ARECA PALM	REMOVED
249	36	ARECA PALM	REMOVED
250	18	UNKNOWN	REMOVED
251	36	ARECA PALM	REMOVED
252	6	ARECA PALM	REMOVED
253	30	UNKNOWN	REMOVED
254	36	ARECA PALM	REMOVED
255	18	ARECA PALM	REMOVED
256	18	ARECA PALM	SAVE
257	24	BIRD OF PARADISE	SAVE
258	18	ARECA PALM	REMOVED
259	18	ARECA PALM	REMOVED
260	18	ARECA PALM	SAVE
261	18	ARECA PALM	SAVE
262	10	COCONUT PALM	SAVE
263	10	BIRD OF PARADISE	SAVE
264	8	COCONUT PALM	SAVE
265	12	CABBAGE PALM	SAVE
266	24	UNKNOWN PALM	REMOVED
267	6	BIRD OF PARADISE	REMOVED
268	8	UNKNOWN PALM	REMOVED
269	16	UNKNOWN PALM	REMOVED
270	12	CABBAGE PALM	SAVE
271	30	UNKNOWN	SAVE
272	12	CABBAGE PALM	SAVE
273	20	UNKNOWN	SAVE
274	12	CABBAGE PALM	SAVE
275	12	UNKNOWN	SAVE
276	8	COCONUT PALM	REMOVED
277	36	UNKNOWN PALM	REMOVED
278	12	BIRD OF PARADISE	REMOVED
279	48	ARECA PALM	REMOVED
280	10	MANGO	SAVE
281	12	GUMBO LIMBO	SAVE
282	16	BISMARCK	SAVE
283	24	SEAGRAPE	SAVE
284	36	BIRD OF PARADISE	SAVE
285	6	UNKNOWN PALM	SAVE
286	30	UNKNOWN	SAVE
287	12	UNKNOWN	REMOVED
288	36	ARECA PALM	REMOVED
289	50	FIGUS	SAVE
290	50	FIGUS	SAVE
291	18	ARECA PALM	SAVE

LEGEND	
	TREE TO REMAIN
	TREE TO BE RELOCATED
	TREE REMOVED OR RELOCATED UNDER PREVIOUS IRC APPROVED CONSTRUCTION PERMIT
	PROPOSED TREE TO BE REMOVED
	DEAD/DISEASED TREE TO BE REMOVED



WILLIAMS RESIDENCE
214 S. BEACH RD.
JUPITER ISLAND, FL 33455

RELEASES
09/12/25 IRC PERMIT

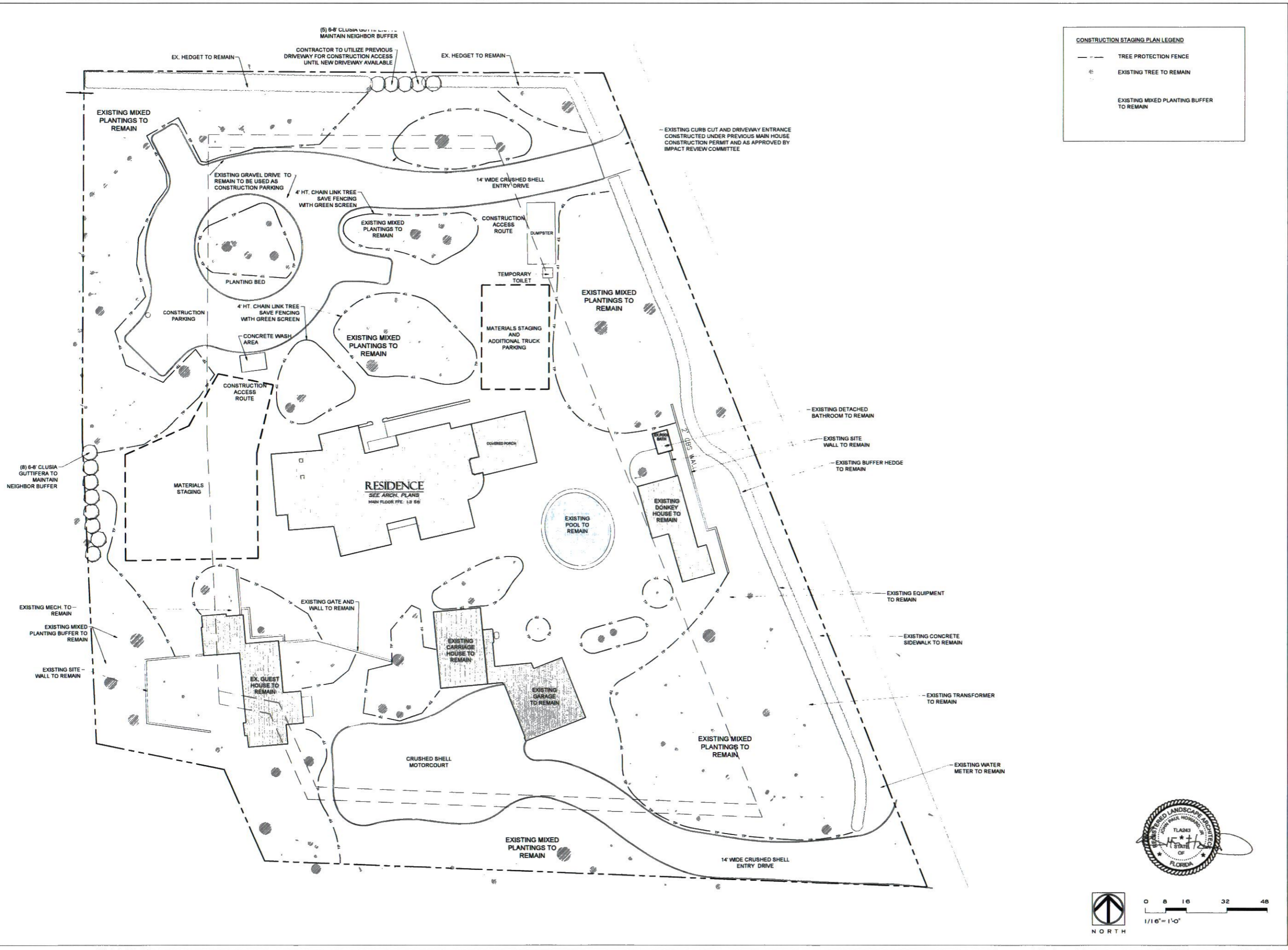
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DRAWN BY: CB DATE CREATED: 08/08/25

LP-0.11 TREE DISPOSITION



HOWARD DESIGN STUDIO
1201 PEACHTREE STREET NE, SUITE 1025
ATLANTA GA 30361
404 876-7051
HOWARDDSIGNSTUDIO.COM





CONSTRUCTION STAGING PLAN LEGEND

- TREE PROTECTION FENCE
- EXISTING TREE TO REMAIN
- EXISTING MIXED PLANTING BUFFER TO REMAIN



WILLIAMS RESIDENCE
 214 S. BEACH RD
 JUPITER ISLAND, FL 33455


RELEASES
 DW/12/25 IRC PERMIT
 CHECKED BY: JH SCALE: 1/16" = 1'-0"
 DRAWN BY: CB DATE CREATED: 08/02/25

LP-0.20 CONSTRUCTION STAGING PLAN



HOWARD DESIGN STUDIO
 1201 PEACHTREE STREET NE, SUITE 1925
 ATLANTA GA 30301
 404 876-7051
 HOWARDDSIGNSTUDIO.COM



 NORTH

0 8 16 32 48
 1/16" = 1'-0"



**WILLIAMS
RESIDENCE**

214 S. BEACH RD.
JUPITER ISLAND, FL 33455

RELEASED
09/12/2018 9:00 AM PERMIT

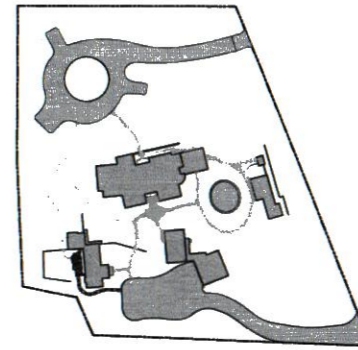
CHECKED BY: JH SCALE: 1/16" = 1'-0"
DRAWN BY: CB DATE CREATED: 08/09/2018

**LP-1.00
LANDSCAPE
SITE PLAN**



**HOWARD
DESIGN STUDIO**

1201 PEACHTREE STREET NE, SUITE 1925
ATLANTA GA 30361
404 876-7051
HOWARDDSIGNSTUDIO.COM



214 SOUTH BEACH RD: LOT COVERAGE

EXISTING A-80 SITE CALCULATIONS

SITF ARFA 81 456 SF 100%

BUILDING COVERAGE
EXISTING 4 308 SF 5.20%

IMPERVIOUS AREA
EXISTING 19 333 SF 23.70%

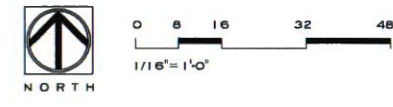
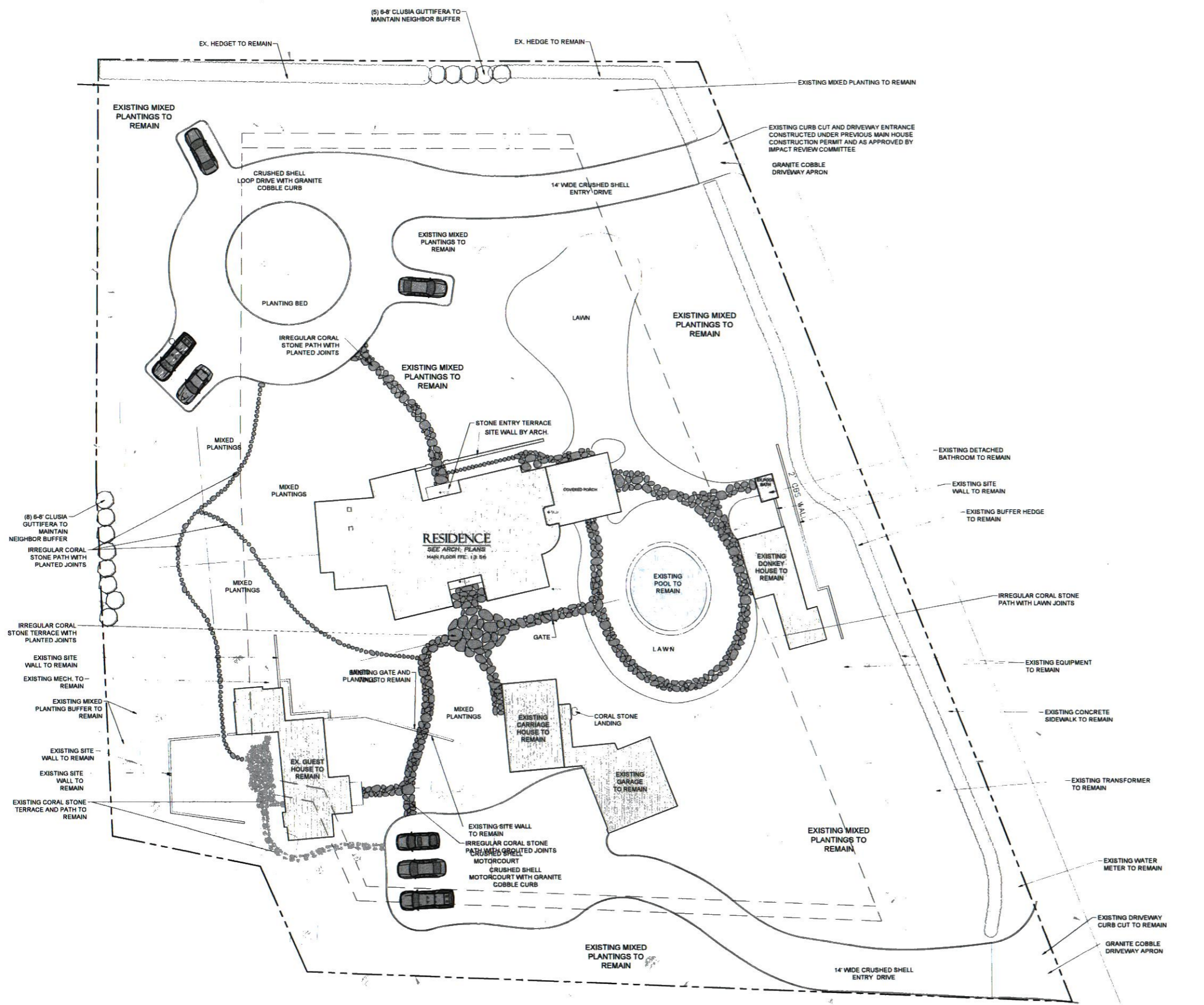
EXISTING LANDSCAPE
REQUIRED 40 728 SF 50%

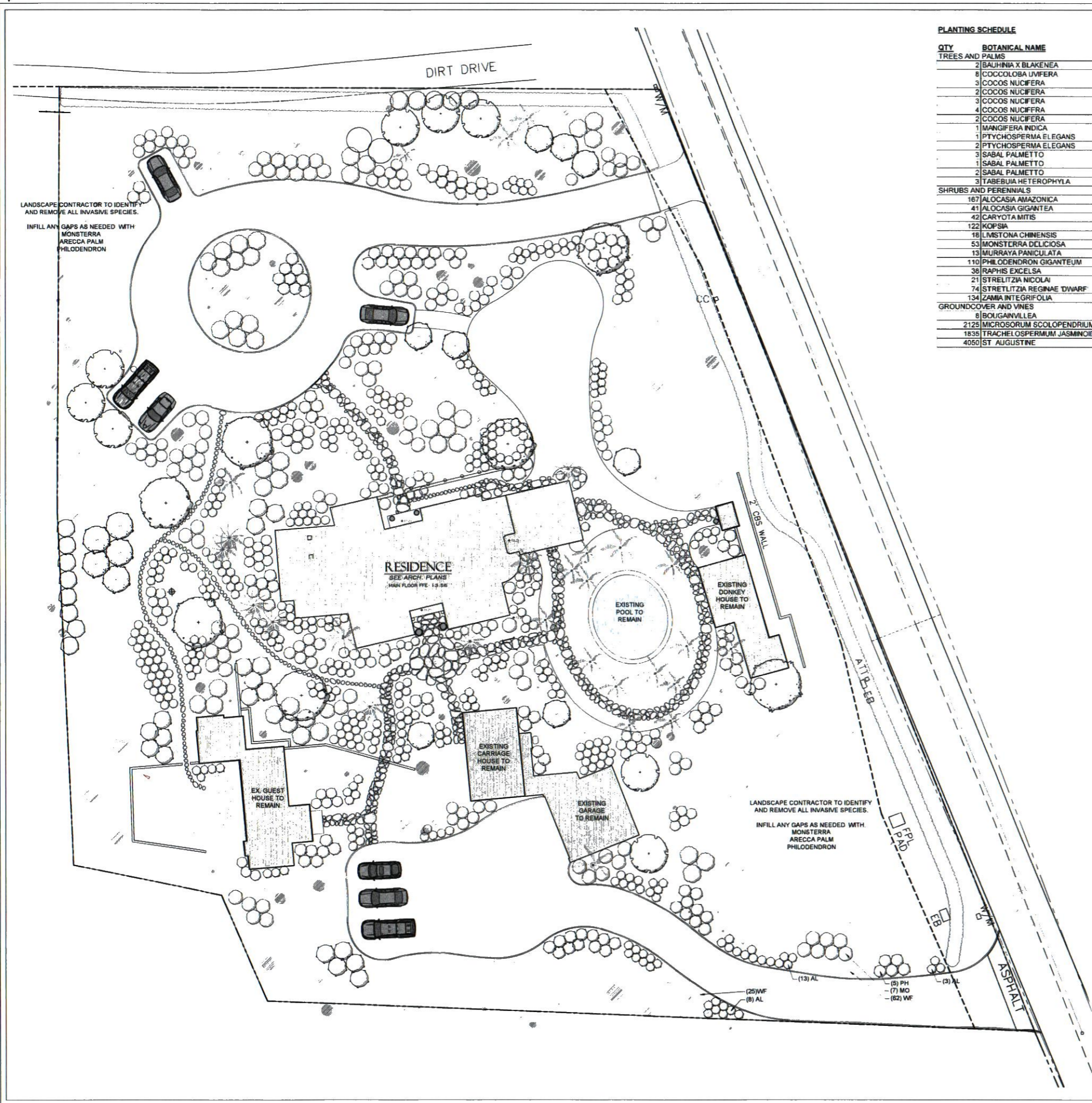
EXISTING 57 263 SF 70.20%

PROPOSED A-80 SITE CONDITIONS

IMPERVIOUS AREA
PROPOSED 21 400 SF 26.3%

LANDSCAPE AREAS
PROPOSED 60 056 SF 73.7%





PLANTING SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ABBREVIATION	NOTES:
TREES AND PALMS					
2	BAUHINIA X BLAKENEA	ORCHID TREE	65 GAL		
8	COCCOLOBA UVIFERA	SEAGRAPE	65 GAL		
3	COCOS NUCIFERA	COCONUT PALM	14' HT	COC	CLEAR TRUNK
2	COCOS NUCIFERA	COCONUT PALM	16' HT	COC	CLEAR TRUNK
3	COCOS NUCIFERA	COCONUT PALM	18' HT	COC	CLEAR TRUNK
4	COCOS NUCIFERA	COCONUT PALM	20' HT	COC	CLEAR TRUNK
2	COCOS NUCIFERA	COCONUT PALM	22' HT	COC	CLEAR TRUNK
1	MANGIFERA INDICA	MANGO TREE	100 GAL		
1	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	14' HT		SINGLE TRUNK
2	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	12-14' HT		TRIPLE TRUNK
3	SABAL PALMETTO	CABBAGE PALM	16' HT		
1	SABAL PALMETTO	CABBAGE PALM	18' HT		
2	SABAL PALMETTO	CABBAGE PALM	20' HT		
3	TABEBUIA HETEROPHYLLA	PINK TRUMPET TREE	45 GAL		
SHRUBS AND PERENNIALS					
167	ALOCASIA AMAZONICA	ALOCASIA	3 GAL	AL	3' O.C.
41	ALOCASIA GIGANTEA	GIANT ELEPHANT EAR	3 GAL	EE	6' O.C.
42	CARYOTAMITIS	FISH TAIL PALM	7 GAL	FT	4' O.C.
122	KOPSIA	KOPSIA	15 GAL	KO	3' O.C.
18	LIMSTONA CHINENSIS	CHINESE FAN PALM	25 GAL	CF	6' O.C.
53	MONSTERA DELICIOSA	MONSTERA	7 GAL	MO	5' O.C.
13	MURRAYA PANICULATA	ORANGE JESSAMINE	15 GAL	JO	9' O.C.
110	PHILODENDRON GIGANTEUM	PHILODENDRON	3 GAL	PH	4' O.C.
38	RAPHIS EXCELSA	RHAPIS	15 GAL	RH	4' O.C.
21	STRELITZIA NICOLAI	WHITE BIRD OF PARADISE	7 GAL	WB	5' O.C.
74	STRELITZIA REGINAE DWARF	DWARF BIRD OF PARADISE	7 GAL	DB	42" O.C.
134	ZAMIA INTEGRIFOLIA	COONTIE	7 GAL	CO	3' O.C.
GROUNDCOVER AND VINES					
8	BOUGAINVILLEA	BOUGAINVILLEA	7 GAL		6' O.C.
2125	MICROSORUM SCOLOPENDRIUM	WART FERN	3 GAL	WF	18" O.C.
1835	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GAL	J	8" O.C.
4050	ST AUGUSTINE	LAWN - SOD	SQ. FT		

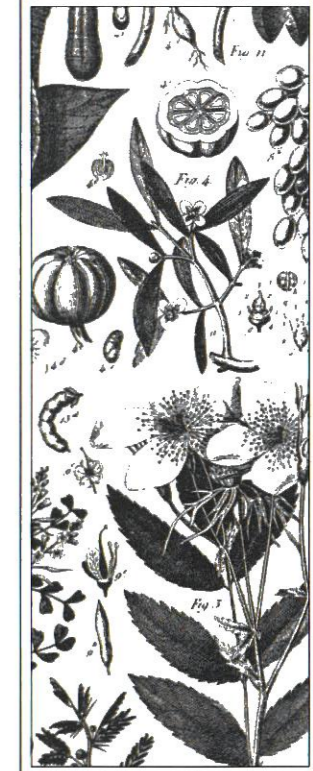


WILLIAMS RESIDENCE
2145 BEACH RD.
JUPITER ISLAND, FL 33455

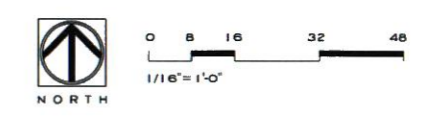
RELEASED
09/12/25 INC PERMIT

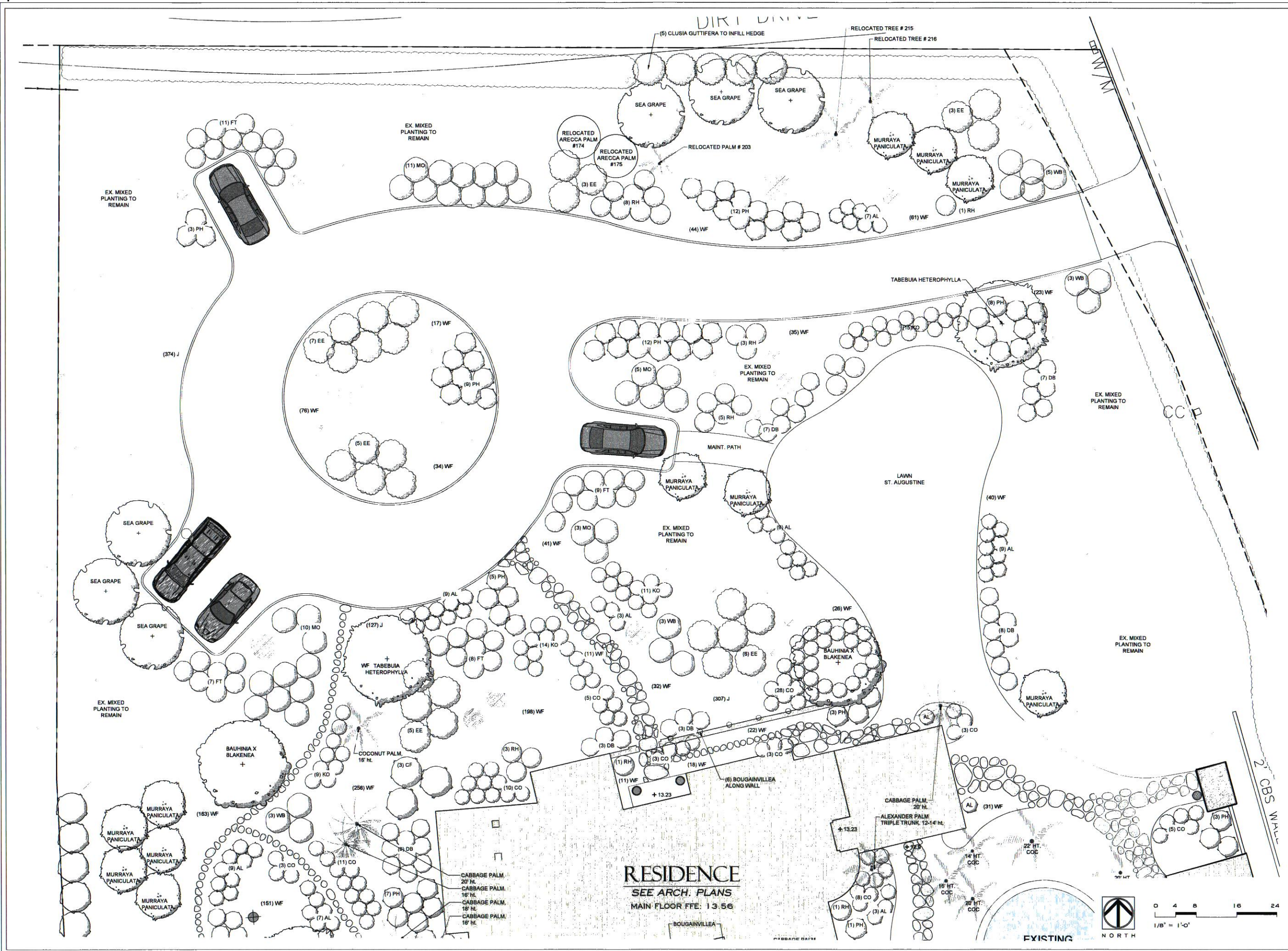
CHECKED BY: JH SCALE: 1/16" = 1'-0"
DRAWN BY: CB DATE CREATED: 08/08/25

L-4.00 PLANTING PLAN FULL SITE



HOWARD DESIGN STUDIO
1201 PEACHTREE STREET NE, SUITE 1925
ATLANTA GA 30361
404 876-7051
HOWARDDDESIGNSTUDIO.COM





WILLIAMS RESIDENCE
214 S. BEACH RD.
JUPITER ISLAND, FL 33455

RELEASES
OWNER'S IRC PERMIT

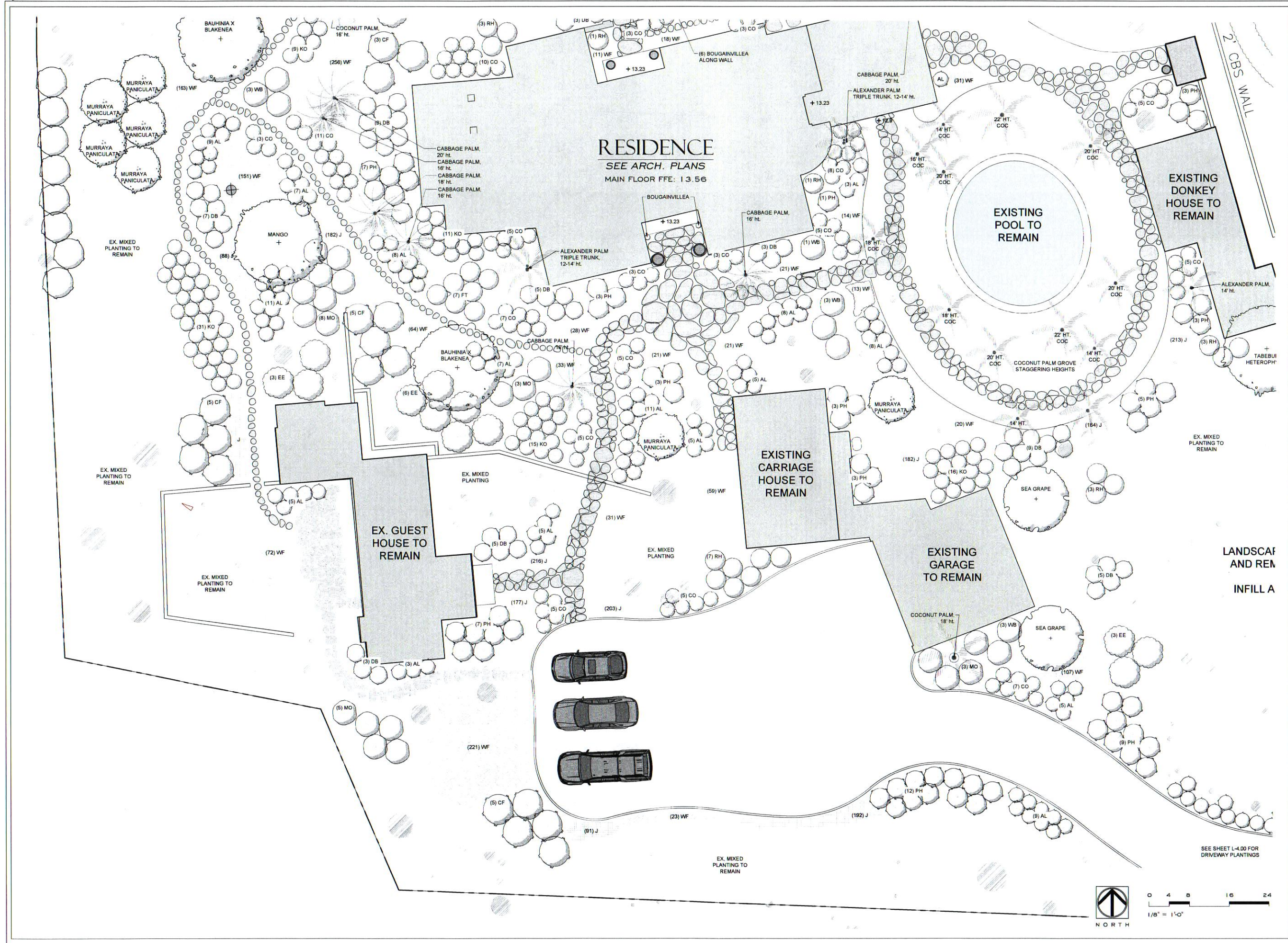
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DRAWN BY: CB DATE CREATED: 05/08/25

L-4.10
PLANTING PLAN
NORTH ENLG.



HOWARD DESIGN STUDIO
1201 PEACHTREE STREET NE, SUITE 1925
ATLANTA GA 30361
404 876-7051
HOWARDDSIGNSTUDIO.COM





**WILLIAMS
RESIDENCE**
214 S. BEACH RD.
JUPITER ISLAND, FL 33455

RELEASES

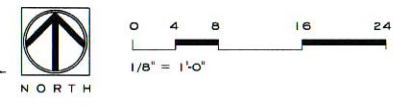
09/12/25 IBC PERMIT

CHECKED BY: JH SCALE: 1/8" = 1'-0"
DRAWN BY: CB DATE CREATED: 01/08/25

**L-4.00
PLANTING PLAN**



HOWARD
DESIGN STUDIO
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ATLANTA GA 30361
404 876-7051
HOWARDDDESIGNSTUDIO.COM





NORTH ELEVATION
NOT TO SCALE



SOUTH ELEVATION
NOT TO SCALE

PRIVATE RESIDENCE

214 SOUTH BEACH ROAD, HOBE SOUND, FLORIDA

LANDSCAPE ELEVATIONS | LP-4.20
SEPTEMBER 15, 2025



EAST ELEVATION
NOT TO SCALE



WEST ELEVATION
NOT TO SCALE

Septic System Notes:

- 1) Removal of any existing septic system and installation of any proposed septic system shall be in accordance with the current specifications and standards of Chapter 62-6 of the Florida Administrative Code and Chapter 381 of the Florida Statutes.
- 2) Fill material used for septic system installation shall meet the requirements of the current specifications and standards of Chapter 62-6 of the Florida Administrative Code and Chapter 381 of the Florida Statutes.
- 3) Septic system drainfield area shall be sodded immediately after the drainfield has been covered.
- 4) Contractor to determine final amount of cover over septic tanks prior to tank installation. Final cover of 18" or less with the wet season water table below top of tank requires min. Category 3 tank. Final cover of 18" to 48" or a wet season water table above the top of tank requires min. Category 4 tank. Contact engineer immediately if amount of cover over tank will be greater than 48".

Drainage System Notes:

- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- 3) Contractor is responsible for installing and maintaining erosion control measures during construction.

Sewage Disposal Calculations (Main House)

A. Project Information

Net usable lot size: 1.87 ac.
 Total proposed air-conditioned space: 4,329 sq.ft.
 Total proposed number of bedrooms: 3 bedrooms
 Type of drainfield configuration proposed: Trench
 Estimated soil loading rate: 0.8 gpd/sq.ft.

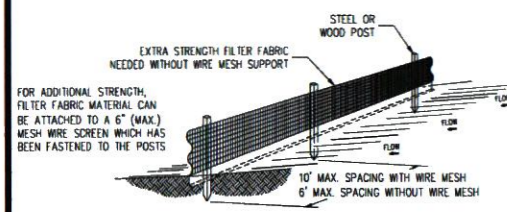
B. Estimated Daily Flow Calculations

The first 3,300 sq.ft. of air-conditioned space is equivalent to 4 bedrooms with each bedroom generating an estimated 100 gpd. The remaining 1,029 sq.ft. of air-conditioned space is converted to equivalent bedrooms using the following formula:

1 equiv. bedroom = 750 sq.ft. of remaining air-conditioned space
 1,029 sq.ft./750 sq.ft./equiv. bedroom = 1.37 equiv. bedrooms
 Use 2 equivalent bedrooms at 60 gpd/bedroom = 120 gpd
 Total estimated daily flow = 400 gpd + 120 gpd = 520 gpd

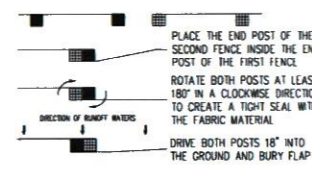
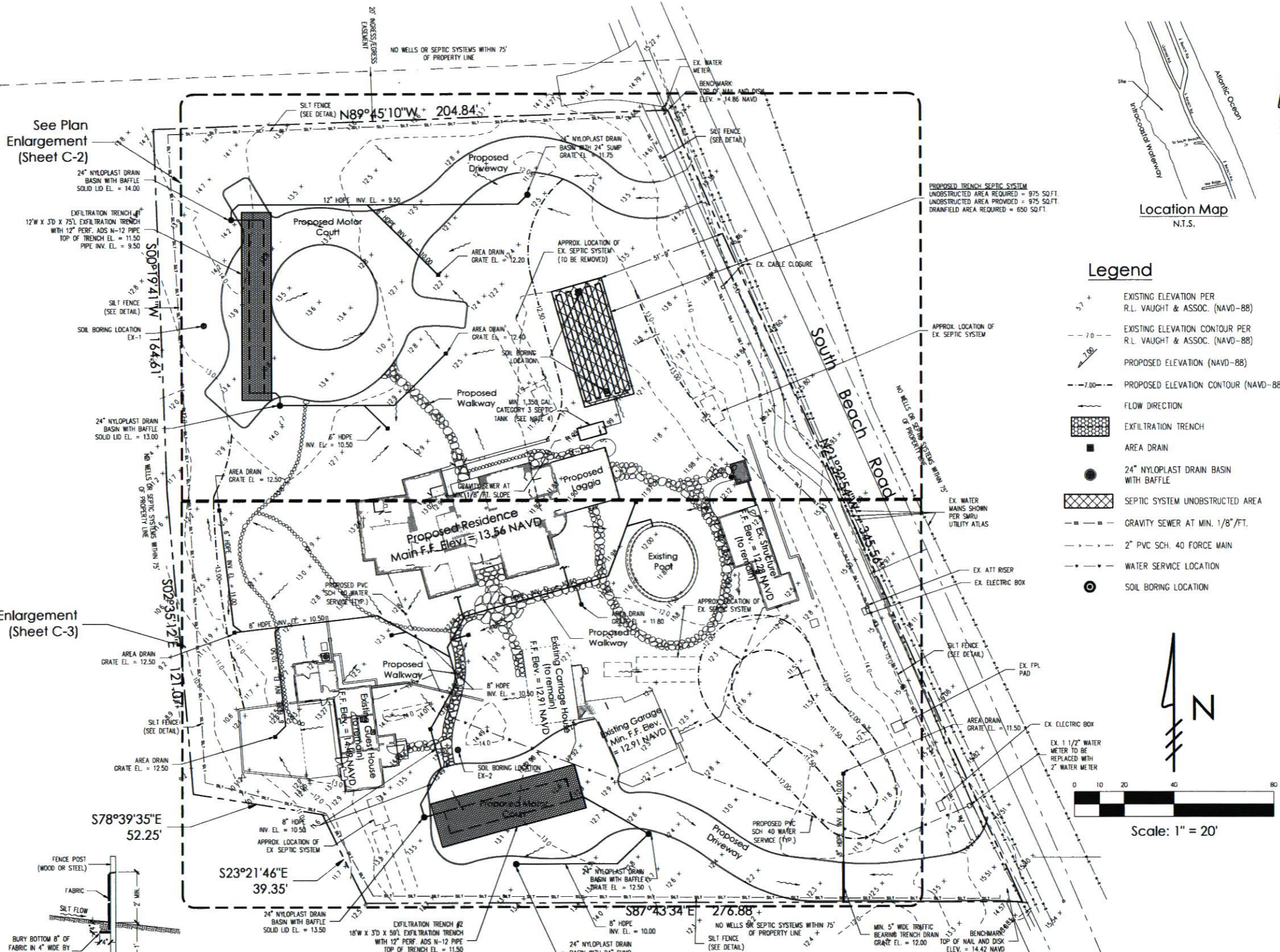
C. Proposed Septic System Specifications

Main Trench Septic System Specifications
 Required Drainfield Area: 650 sq.ft.
 Required Unobstructed Area: 975 sq.ft.
 Min. Septic Tank Size: 1,350 gal.



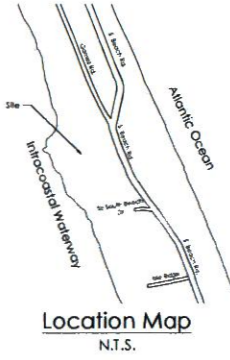
Notes:

- 1) The height of a silt fence shall not exceed 36".
- 2) Filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
- 3) Posts shall be spaced a maximum of 10' apart at the barrier location and driven vertically into the ground a minimum of 12". When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6'.
- 4) A trench shall be excavated approximately 4" wide and 4" deep along the line of posts and upslope from the barrier.
- 5) When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the post using heavy duty wire staples at least 1" long, no wire, or hog rings. The wire shall extend into the trench a minimum of 2" and shall not extend more than 36" above the original ground surface.
- 6) The standard strength filter fabric shall be stapled or wired to the fence, and 8" of the fabric shall be extended into the trench. The fabric shall not extend more than 36" above the original ground surface.
- 7) The trench shall be backfilled and the soil compacted over the filter fabric.



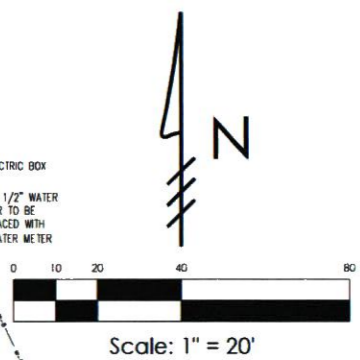
SILT FENCE DETAIL
N.T.S.

ATTACHING TWO SILT FENCES
N.T.S.



Legend

- 3.3' + EXISTING ELEVATION PER R.L. VAUGHT & ASSOC. (NAVD-BB)
- 7.0 - EXISTING ELEVATION CONTOUR PER R.L. VAUGHT & ASSOC. (NAVD-BB)
- 7.00' PROPOSED ELEVATION (NAVD-BB)
- 7.00 - PROPOSED ELEVATION CONTOUR (NAVD-BB)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE
- SEPTIC SYSTEM UNOBSTRUCTED AREA
- GRAVITY SEWER AT MIN. 1/8" / FT.
- 2" PVC SCH. 40 FORCE MAIN
- WATER SERVICE LOCATION
- SOIL BORING LOCATION



GRUBER CONSULTING ENGINEERS
 2475 Mercat Avenue, Suite 305
 West Palm Beach, FL 33401
 561.312.2041
 office@gruberengineers.com

48 HOURS BEFORE DIGGING. CALL 1-800-432-4770 SUNSHINE STATE ONE CALL OF FLORIDA, INC.
 Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.

Site Drainage & Septic System Plan For:
PROPOSED RESIDENCE
 214 South Beach Road
 Jupiter Island, Florida

PROJECT INFORMATION:

Project No.	2023-0061
Issue Date	03/18/2023
Scale	1" = 20'

REVISIONS:

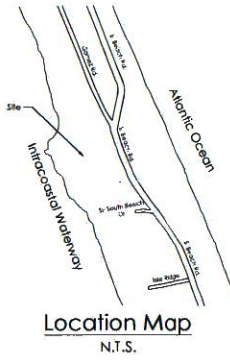
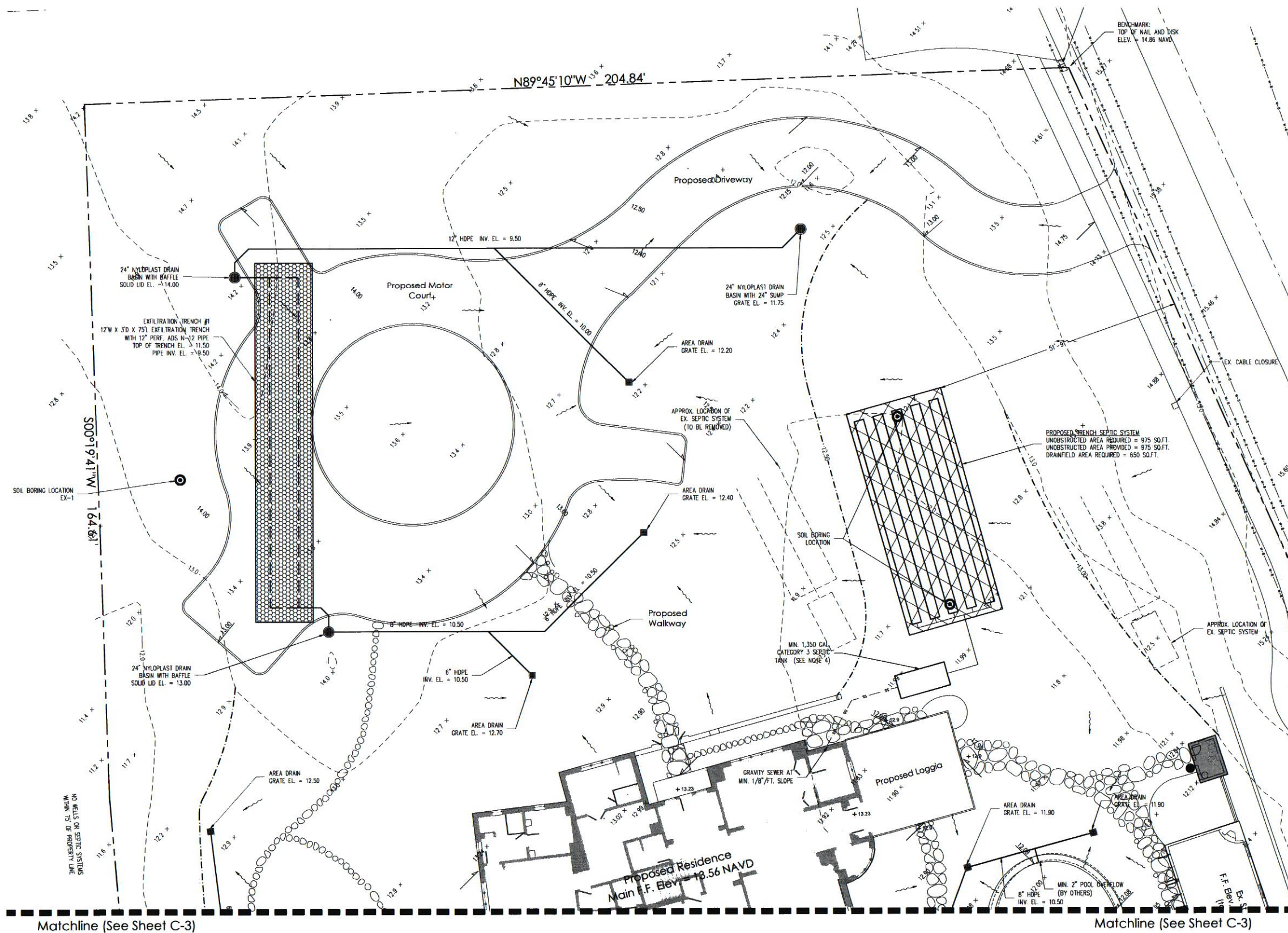
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CHAD M. GRUBER
 FLORIDA P.E. NO. 57466
 Digitally signed by Chad M. Gruber
 Date: 2025.09.10 17:08:49 -04'00'

09/10/25 UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE; REVISE SEPTIC SYSTEM CALCULATIONS

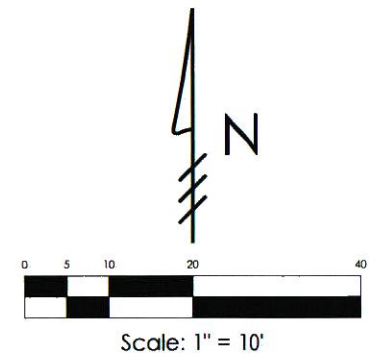
SHEET NUMBER:
C-1

Plan Background from Hardscape Plan by Howard Design Studio Received 9/4/25
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Legend

- 5.1 + EXISTING ELEVATION PER R.L. VAUGHT & ASSOC. (NAVD-88)
- - 7.0 - - EXISTING ELEVATION CONTOUR PER R.L. VAUGHT & ASSOC. (NAVD-88)
- 7.00 PROPOSED ELEVATION (NAVD-88)
- - 7.00 - - PROPOSED ELEVATION CONTOUR (NAVD-88)
- ~ ~ ~ FLOW DIRECTION
- [Hatched Box] EXFILTRATION TRENCH
- [Square with Center Dot] AREA DRAIN
- [Circle with Center Dot] 24" NYLOPLAST DRAIN BASIN WITH BAFFLE
- [Cross-hatched Box] SEPTIC SYSTEM UNOBSTRUCTED AREA
- - - - GRAVITY SEWER AT MIN. 1/8" / FT.
- - - - 2" PVC SCH. 40 FORCE MAIN
- - - - WATER SERVICE LOCATION
- [Circle with Center Dot] SOIL BORING LOCATION



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 West Palm Beach, FL 33401
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 office@gruberengineers.com

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SUNSHINE STATE ONE CALL OF FLORIDA, INC.
 Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.

Site Drainage & Septic System Enlargement For:
PROPOSED RESIDENCE
 214 South Beach Road
 Jupiter Island, Florida

PROJECT INFORMATION:

Project No.	2023-0061
Issue Date	03/18/2025
Scale	1" = 10'

REVISIONS:

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CHAD M. GRUBER
 FLORIDA P.E. NO. 57466

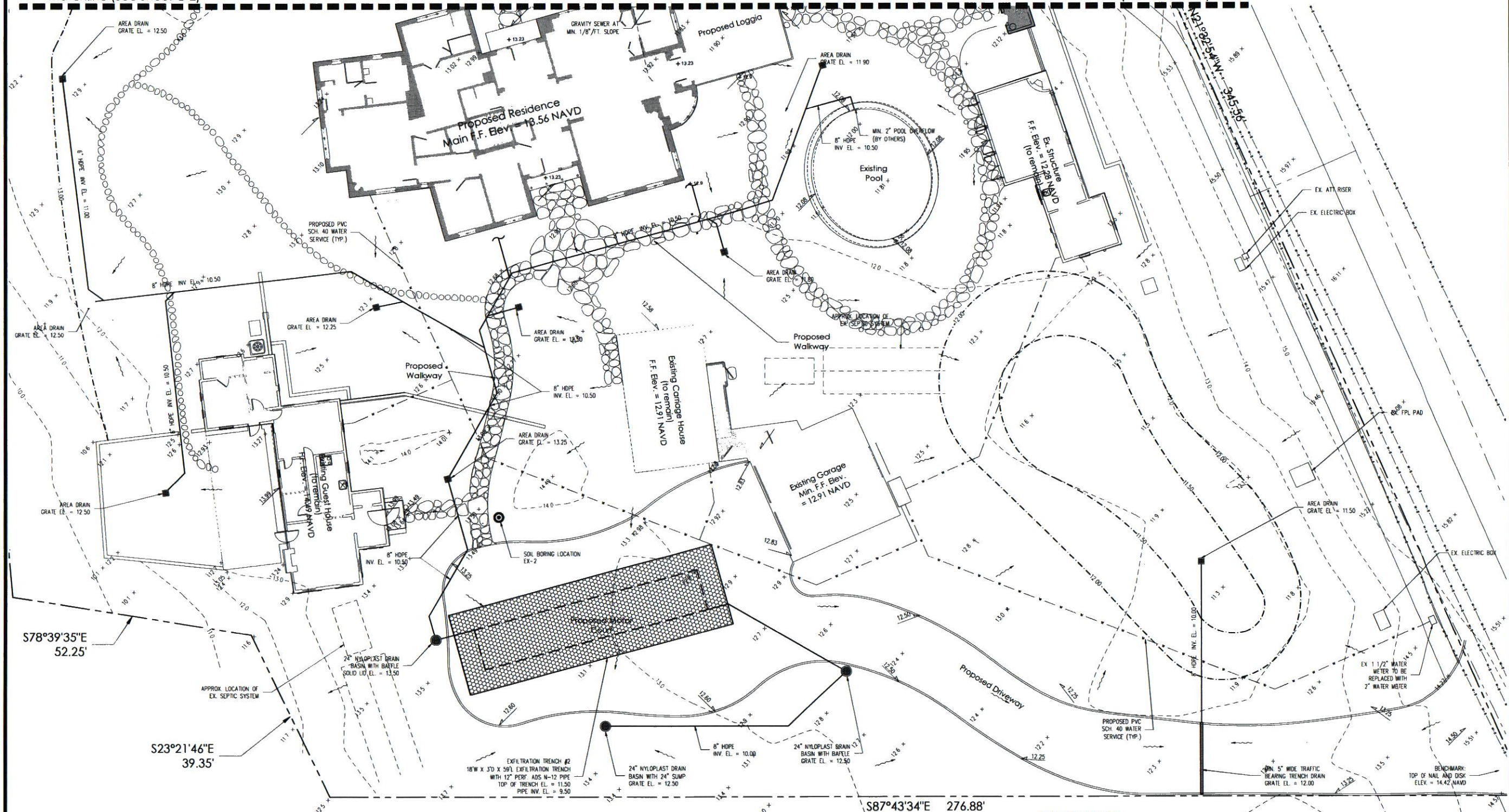
SHEET NUMBER:
C-2

09/10/25 UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE; REVISE SEPTIC SYSTEM LAYOUT

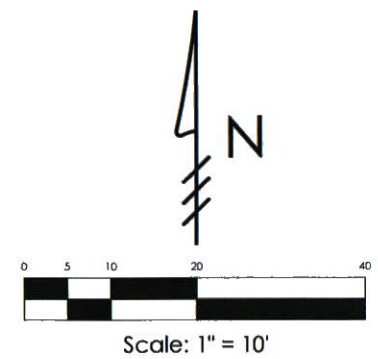
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Matchline (See Sheet C-2)

Matchline (See Sheet C-2)



- Legend**
- 5.7' +
8.50' → EXISTING ELEVATION PER RL VAUGHT & ASSOCIATES INC. (NAVD-88)
 - PROPOSED ELEVATION (NAVD-88)
 - 7.00- PROPOSED ELEVATION CONTOUR (NAVD-88)
 - FLOW DIRECTION
 - ▨ EXFILTRATION TRENCH
 - AREA DRAIN
 - 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



09/10/25 UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE

GE

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West Palm Beach, FL 33411
561.312.2041
office@gruberengineers.com

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Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.

Site Drainage & Septic System Engagement For:

PROPOSED RESIDENCE

214 South Beach Road
Jupiter Island, Florida

PROJECT INFORMATION:

Project No.	2023-0061
Issue Date	03/18/2025
Scale	1" = 10'

REVISIONS:

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CHAD M. GRUBER
FLORIDA P.E. NO. 57466

SHEET NUMBER:

C-3

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From: [Christine McElroy](#)
To: [Megan McMahon](#)
Subject: Re:214 South Beach Road-Demo and Final Landscape Plan
Date: Monday, November 3, 2025 2:20:39 PM

External Email - Use Caution

Dear Mrs. Harding,
My husband and I are currently residents at 210 South Beach Rd. I am writing this letter in response to the proposed Demolition of the main residence at 214 South Beach Rd. We are adamantly OPPOSED to any sort of demolition or construction taking place prior to May 1st.

This past season, the Williams were issued a permit to demo and rebuild a new garage in January-February of 2025. How is this possible when the village clearly states no heavy construction after November 1st? Our shared brick driveway has had so many smashed bricks due to the fact that Sands did not put protective covering over the driveway until I made a personal request after which, they actually used large screws to secure the plywood which left gaping holes in the brick causing further damage to the driveway.

There has never been a safety fence erected on the property, yet construction has been ongoing on for well over a year.

Massive piles of concrete and dirt have been on property in plain site which we viewed on a daily basis entering and leaving our shared driveway.

Barrier greenery was taken down along the south side of the driveway to allow for a new entrance. It has been in full view since last season and looks like a mangled mess.

Nothing has been done to protect our main water valve which sits on the SE corner of the driveway. Massive trucks continue to cut the corner and have even knocked down the orange flag guide post they erected. We had our main water line re-trenched in 2017 so that there would be no damage in the event of heavy trucks.

There is so much erosion now due to the traffic, I fear it is a matter of time before we have a massive leak.

This summer a number of workers trucks from the Gray's property (by the cannon) were using our shared driveway to park at the William's property and then proceed to their job site.

We have been very patient, but enough is enough. The Village has rules for a reason which we certainly appreciate.

Thank you,

Christine and John McElroy

From: [Ruth Colket](#)
To: [Megan McMahon](#)
Subject: 214 S Beach Rd Demolition
Date: Monday, November 3, 2025 4:42:03 PM

External Email - Use Caution

Hello, my name is Ruth M Colket and I live at 208 and 212 S Beach Rd; I share a driveway for number 212 with Mr and Mrs McElroy.

The residents at 214 S Beach Rd have requested a permit to demolish the large primary residence during the main winter season in Hobe Sound.

Our jointly shared driveway has been ruined due to construction vehicles disregarding any type of courtesy and legally required protection of same. Along with that, greenery has been removed and ruined the joint work I have done with the McElroys to protect trees and a safe driveway.

I am requesting the special permit for this loud, invasive and destructive project absolutely not be granted.

We choose to live in a peaceful environment in a lovely area and are grateful to the town and commissioners who work hard to keep it that way. We all do our part to be polite and thoughtful of our fellow Hobe Sound and Jupiter Island neighbors and try our best to follow the rules. It would be truly devastating to lose these precious attributes.

Thank you,

Ruth M Colket

Sent from my iPad