

**AGENDA  
TOWN OF JUPITER ISLAND  
DEVELOPMENT REVIEW BOARD MEETING  
THURSDAY, APRIL 2, 2026, 9:00 AM  
ISLAND ROOM – TOWN HALL – 2 BRIDGE ROAD - HOBE SOUND FL**

1. Call to Order and Comments
2. Minutes of the Development Review Board Meeting held on February 5, 2026
3. 79 Links Road -F-15- Island Core Residential District

**This is the application of Truman M. Hobbs, Jr, represented by RFG General Contractors Inc., requesting the following:**

**A site plan approval for:**

**The addition of 113 square feet to the second floor for a walk-in closet, laundry, and water closet.**

4. 169 South Beach -B-40-1- Acre Estate Residential District

**This is the application of Tucker S. Johnson & Charlotte Elizabeth Johnson, represented by Jared Gaylord, Esq., of Marc R. Gaylord, P.A., requesting the following:**

**A site plan approval for:**

**The addition of a basement under a previously approved garage. The garage was approved by the Impact Review Committee meeting that was held on March 6, 2025.**

5. Other Items\*
  - a. Next Meeting - May 7, 2026 (Regular meetings to be held on the first Thursday of each month)
  - b. Other Matters

*\* No advanced materials provided*

**DEVELOPMENT REVIEW BOARD**

Judy Holden, Chair  
Nancy Auth  
Maria Bayazid  
Deane Blazie  
Truman Hobbs  
Jennifer Madden  
Christina Whitney  
Christina Gidwitz, Alternate  
Walter McCormack, Alternate

Eleanor Seaman, Alternate

**TOWN STAFF**

Robert Garlo, Town Manager

Catherine Harding, Director of Building, Planning & Zoning

Kyle B. Teal, Town Attorney

Kimberly Kogos, Town Clerk

**STATE MANDATED STATEMENT**

If a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town prior to the meeting. Please contact the Town Hall, 2 Bridge Road, Hobe Sound, FL 33455, telephone (772) 545-0103.

**MINUTES  
TOWN OF JUPITER ISLAND  
DEVELOPMENT REVIEW BOARD MEETING  
THURSDAY, FEBRUARY 5, 2026**

**TIME:** Thursday, February 5, 2026 – 9:00 AM  
**PLACE:** Town Hall Island Room – 2 Bridge Rd., Hobe Sound, FL  
**PRESENT:** Present were Chair Judy Holden, Members Nancy Auth, Truman Hobbs, Jennifer Madden, and Alternative Members Christina Gidwitz, Walter McCormack, and Eleanor Seaman. Also present were Building Director Catherine Harding, Town Attorney Kyle B. Teal, Assistant Town Clerk Trenton Warren, and IT Director Bill Sutton.

Call to Order and Comments

Chair Holden called the meeting to order and read the purpose statement of the Development Review Board. The Board members introduced themselves, and the Chair established a quorum. Chair Holden introduced the Town Staff.

1. Minutes of the Development Review Board held January 8, 2026

**MOTION:** *Member Gidwitz/Member McCormack moved to approve the minutes of the January 8, 2026, Development Review Board meeting.*

**ACTION:** *Motion Passed 7-0.*

Assistant Town Clerk Trenton Warren swore in Building Director Catherine Harding, Attorney Jared Gaylord of Marc R. Gaylord P.A., Richard Rutledge of Innocenti and Webel, Thomas Kirchhoff and Timo Hoefs of Kirchhoff & Associates Architects, and David Chesser of the Wittmann Building Corporation.

2. 114 Gomez Rd, Hobe Sound, FL 33455, B-40 1-Acre Estate Residential District

**The applicant is AFG Residence, LLC, and is represented by Jared Gaylord, Esq. of Marc R. Gaylord, P.A.**

**This is a site plan approval for:**

**Demolition of an existing 1-story main residence and a 1-story detached garage and guest house, constructed in 1959 and 1983, respectively, and replace with a new 2-story main house complete with a new pool, pool patio, garden, courtyard, mechanical equipment enclosures, motor courts, driveway, and associated hardscape and landscaping.**

**Additionally, there is a proposed full basement with storage and mechanical equipment space, and a 2-car garage located below grade.**

*Ex-Parte Communication:*

- *Alternate Member McCormack stated that he visited the property and had no ex-parte communication.*
- *Member Hobbs stated that he read the materials and spoke with Director Harding.*
- *Member Auth stated that she read the materials and spoke with Director Harding.*
- *Chair Holden stated that she visited the property, read the materials, and spoke with Director Harding.*

- *Member Madden stated that she visited the property, read the materials, spoke with Director Harding, and had no ex-parte communication.*
- *Alternate Member Gidwitz stated that she visited the property, read the materials, and spoke with Director Harding.*
- *Alternate Member Seaman visited the property, read the materials, spoke with Director Harding, and had no ex-parte communication\*.*

Director Catherine Harding introduced the application and provided background information. She stated the application is in compliance with all setbacks and heights within the Land Development Regulations. She noted there will be a full basement on the new property, but it will not be counted towards floor space as it meets the definition of a basement in the Land Development Regulations.

Attorney Jared Gaylord introduced himself on behalf of AFG Residence LLC and introduced his staff. He began his presentation with aerial photographs and described the local neighborhood as smaller properties than usual on the Island. He provided the existing survey and site plans and described the current property that is intended to be demolished. He displayed the new site plans and described the new proposed building. He stated a new pool will be built east of the waterfront setback line as permitted by the Land Development Regulations. He stated the new floor space will be 8,164 sq ft, which is within the maximum permitted 8,172 sq ft. He reviewed the west and east basement plans, stating the intent of the basement is to include the garage, mechanical infrastructure, and storage only. He displayed the floor plans for the first and second floors, detailing the layout of the rooms and stairways. He noted there will only be a partial second floor that includes bedrooms in an L-shaped pattern on the north-eastern side of the property. He finished his presentation by reviewing the elevation charts of the new property to show the underground garage location.

Member Auth inquired about the proposed rooftop garden intended for the garage. Attorney Gaylord explained the garden will be set directly over the garage and will be level with the ground outside. Member Holden inquired about how the garden would be accessed. Attorney Gaylord displayed the small entrance that will be accessible from the main motor court.

Alternate Member Seaman complimented the design but expressed concern about the basement size and potential future use. Attorney Gaylord reviewed evolving basement ordinances. Architect Thomas Kirchhoff explained design changes required due to ordinance updates and stated the basement will house mechanical systems, including sixteen air handlers and a partially submerged cooling tower. He confirmed interior and garage access, and noted some storage use, including wine refrigerators and a closet.

Chair Holden inquired if there have been any comments from the neighbors concerning the proposed property. Director Harding confirmed they have not received any comments or complaints from the neighbors.

Member Madden expressed concern about the full basement and possible future conversion. Member Auth asked about cooling tower noise and exhaust. Architect Kirchhoff explained it emits water vapor only, produces minimal noise, and will appear externally as a three-foot wall. Attorney Gaylord added a retaining wall will further screen it. Member Auth suggested removing window wells to discourage future residential use. Architect Kirchhoff confirmed three window wells are proposed for light and emergency egress.

Chair Holden praised the design but questioned the two driveways, citing traffic safety. Landscaper Mr. Richard Rutledge stated the second entrance is for service access. Chair Holden referenced a Public Works concern about road shoulder softening. He further explained irrigation plans and anticipated no drainage issues. Chair Holden suggested construction trucks access the site via Estrada Road rather than

Gomez Road.

Mr. Rutledge reviewed landscaping and vegetation removal. Select vegetation will be removed during demolition to allow truck access, with replanting in a later phase. He presented staging plans, fencing, buffer elevations for all sides, salvaged tree placement, and final driveway and motor court layouts with Strangler Fig and Sea Grape canopy coverage.

Chair Holden reviewed demolition application standards with the Board prior to discussion of approval.

**MOTION:** *Member Madden/Member Auth moved to approve the demolition application.*

**ACTION:** *Motion Passed 7-0.*

Chair Holden reviewed the impact review standards with the Board before discussion of the new construction application. Town Attorney Teal referenced a recent Town Commission concern regarding contractors using private properties on the Island for offsite parking. Attorney Gaylord confirmed construction parking will occur off the Island.

The Board discussed potential conditions of approval.

Member Madden asked whether the applicant would reduce the basement size. Attorney Gaylord stated an alternate plan had been prepared reducing the southern portion of the basement if required. Mr. Kirchhoff explained the alternate design would require four air handlers above the primary bedroom, creating future servicing challenges.

After further discussion, the Board agreed to approve the original basement design subject to a restrictive covenant and the following conditions:

- Removal of window wells except in the southern storage section.
- Construction truck access limited to Estrada Road rather than Gomez Road.
- No offsite parking permitted on the Island.
- Recordation of a covenant prohibiting use of any basement area as living space or bedrooms.

**MOTION:** *Member Madden/Member Hobbs moved to approve the new construction application with the conditions stated.*

**ACTION:** *Motion Passed 6-0. Alternate Member Seaman abstained from the vote.*

3. Other Items\*

- a. Next Meeting – March 5, 2026 – (Regular meetings to be held on the first Thursday of each month)
- b. Other Matters

Chair Holden inquired if there were any applications ready for the March meeting. Director Harding stated there is currently one application ready.

Chair Holden adjourned the meeting at 10:29 AM.

Respectfully submitted,

**NOTICE OF PUBLIC HEARING  
TO CITIZENS OF THE TOWN  
OF JUPITER ISLAND, FLORIDA**



**DEVELOPMENT REVIEW BOARD**

A Public Meeting/Hearing will be held at the Jupiter Island Town Hall, 2 Bridge Road, Hobe Sound, FL on **April 2, 2026, at 9:00 a.m.** for the purpose of considering the following application.

**79 Links Road- F -15 - Island Core Residential District**

This is the application of Truman M. Hobbs, Jr, represented by RFG General Contractors Inc., requesting the following:

A site plan approval for:

The addition of 113 square feet to the second floor for a walk-in closet, laundry, and water closet.

Plans are available for inspection at the Building Department at Town Hall, Monday through Friday, 9:00 a.m. to 3:30 p.m.

The Development Review Board meeting may be viewed live, or any time after the meeting, via the Town's website: [www.townofjupiterisland.com](http://www.townofjupiterisland.com)

**STATE MANDATED STATEMENT:**

If a person decides to appeal any decision made by the board, agency, committee, or commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town prior to the meeting. Please contact the Town Hall, 2 Bridge Road, Hobe Sound, FL 33455, telephone (772) 545-0100.



**TOWN OF JUPITER ISLAND  
DEVELOPMENT REVIEW BOARD  
Meeting Date: April 2, 2026  
Staff Report**

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**To:** Chair and Development Review Board Members  
**CC:** Robert Garlo, Town Manager and Kyle Teal, Town Attorney  
**From:** Catherine Harding, Building, Planning and Zoning Director  
**RE:** 79 Links Road  
**Date:** March 23, 2026

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Owners:

Truman Hobbs, Jr.

Agent:

Owner Agent

Property Description:

Lot area=15,001 square feet in the F-15 Island Core Residential District

Request:

The applicant is requesting to add 113 square feet to the second floor Master Bedroom for a walk-in closet and to accommodate the relocation of laundry machines and one water closet.

Planning and Zoning Analysis:

The Zoning Analysis shows that the project meets the requirements of the Land Development Regulations.

Reports Attached:

No reports required.

Building Department recommendations:

*A permit for the staging plan is required and must be completed prior to a building permit being issued.*

Standards for review by the Development Review Board: (see attached Land Development Regulation)

The applicant has submitted the required Standard Analysis for the Board's review.

Article X, Division 2, Section 2.02. Standards for Impact Review.



**Town of Jupiter Island  
Development Review Board  
(DRB)**

**PROPERTY:**

Street Address: 79 LINKS ROAD  
Tax Parcel Number: 35-38-42-009-095-00100-0 Zoning: F-15  
Legal/General Description ISLAND BEACH REVISED PLAT 2 LOT 10 BLK 95

**AGENT:** (If Applicable, notarized power of attorney must be attached)

Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

**PROPERTY OWNER:** as shown in the official County Records (please attach current tax bill & deed)

Name: TRUMAN HORBS, JR.  
Mailing Address: \_\_\_\_\_  
Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

**EXPLANATION OF REQUEST:**

REQUEST TO ADD 113 SF TO UPSTAIRS MASTER WING FOR  
A WALK-IN CLOSET AND TO ACCOMODATE RELOCATION OF  
LAUNDRY MACHINES AND ONE WATER CLOSET.

**IF VARIANCE IS REQUESTED, CITE LRD'S AFFECTED:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Site Analysis:**

Address: <b>79 LINKS RD</b>	Zoning District: <b>F-15</b>		
Planned Date of Construction: <b>MAY - OCT 2026</b>			
	Permitted	Existing	Proposed
Lot Area:		15,000 SF	15,000 SF
Floor Area*:	3750	3665.72	3746.72
Principle Dwelling: (10,000 sf max)		3076.71	3189.71
Accessory Structure #1: (not to exceed 1/3 square footage of principal dwelling)		500.32	500.32
Accessory Structure #2: (not to exceed 1/3 square footage of principle dwelling)			
FAR (Floor Area Ratio): Floor Area ÷ Lot Area		.244	.250
Lot Width:			
Front Yard Setback:		30'	30'
Rear Yard Setback:		35'	35'
Side Yard Setback: One-Story: Two-Story:		20' 25'	20' 25'
Initial Measuring Point ("IMP"):		12.4' NAVD	12.4' NAVD
Fill:	3 ft max		N/A
Roof Height: Roof Pitch: One-Story: Two-Story:		29.59' 9/12, 4/12 PITCH	29.59' 9/12, 4/12 PITCH
Exterior Wall Height: One-Story: Two-Story:	14 ft 22 ft	13.75' 20.11'	13.75' 20.11'
Parking Spaces: (1 per bedroom, 1.5 max)			N/A
Driveway Setback:			N/A
Landscape Area:			N/A
Elevation of Finish Floor:		13.3 NAVD	13.3 NAVD
Elevation of LHSM: (Lowest Height Structural Member)			N/A
FEMA Flood Zone:			

(ENCLOSED SF)

(ENCLOSED SF)

\*Total Floor Area to include living space and non-living space.



Prepared by and return to:  
 Lorraine M. Johnson  
 Legal Assistant  
 Marc R. Gaylord, P.A.  
 12000 SE Old Dixie Hwy.  
 Hobe Sound, FL 33455  
 772-545-7740  
 File Number: 2020-036  
 Will Call No.:

[Space Above This Line For Recording Data]

## Warranty Deed

This Warranty Deed made this 8 day of August, 2020 between Curtis W. Schade and Angel M. Schade, husband and wife whose post office address is 188 Further Lane, East Hampton, NY 11937, grantor, and Truman M. Hobbs, Jr., a married man whose post office address is 2313 Rosemont Pl, Montgomery, AL 36106, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida to-wit:

Lot 10, Block 95, Island Beach Revised Plat No. 2, according to the map or plat thereof as recorded in Plat Book 2, Page 44, Public Records of Martin County, Florida.

Parcel Identification Number: 35-38-42-009-095-00100.00000

SUBJECT TO restrictions, reservations, covenants and easements of record which are not reimposed by this deed; and taxes for the year 2020 and subsequent thereto; and all applicable zoning ordinances.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2019.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

#1 [Signature]  
Witness Name: Howard F. Smith III

#2 [Signature]  
Witness Name: Christine Golding

[Signature] (Seal)  
Curtis W. Schade

[Signature] (Seal)  
Angel M. Schade

State of New York  
County of Suffolk

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, 24 day of August, 2020 by Curtis W. Schade and Angel M. Schade, who  are personally known or  have produced driver's license as identification.

Copy Copy Copy

[Notary Seal]



[Signature]  
Notary Public

Printed Name: Christine Golding

My Commission Expires: May 7, 2024

## Legal Description

ISLAND BEACH REVISED PLAT 2 LOT 10 BLK 95

*The legal description is intended for general information only. The Property Appraiser assumes no responsibility for the uses or interpretations of the legal description.*

Town of Jupiter Island  
Building Department  
2 Bridge Road  
Hobe Sound, FL 33455

To Whom it May Concern,

We are requesting to build an 113sf second floor closet addition and to relocate the water closet and the laundry facility. We plan to remove the roof of the covered outdoor dining area in order to stay within the 3750 square footage limits for 79 Links Road. Please see below for the square footage calculations based on the current site survey.

1. Total existing floor area as-built 3665.72
2. Proposed second floor addition 113sf
3. Covered area created by the second-floor addition  $105/2=52.5$ sf (does not include garage wall)
4. Proposed removal of dining porch roof  $169/2 = 84.5$
5.  $3665.72+113+54.5=3,831.22$  sf
6.  $3831.22-84.5 =3,746.72$  sf proposed.

Truman and I appreciate your consideration. Please let us know if you have any questions or need additional information.

Sincerely,

Debbie Hobbs

**HARDSHIP STATEMENT, IF VARIANCE IS REQUESTED:**

In seeking this variance, I contend that the following hardship would result if the ordinance provisions were strictly enforced and my hardship was denied:

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**FEE:** \$1,000 per Request (Please make check payable to the Town of Jupiter Island)

Information as contained within this application **MUST** be provided and accepted by the Town of Jupiter Island for this project to be considered. Additional information as required by the administrative official or as attached by the applicant constitutes a part of this application. The administrative official reserves the right to reject any application which is improperly filled out or incomplete.

    
Signature of Owner or Agent—**REQUIRED**      Printed Name      Date

GOLF COURSE

LINKS ROAD

GRASSY TRAIL

N 66°14'26" E 150.01'(M)

1 & 2 STORY RESIDENCE

1 STORY GARAGE

IMP = 12.4'

OPEN (BELOW) 2ND FLR (ABV)

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SOUTH TRAIL

(50' WIDE RIGHT OF WAY)

S 66°14'26" W 150.01'

S 66°14'26" W 150.01'

S 66°14'26" W 150.01'

S 66°14'26" W 150.01'

S 66°14'26" W 150.01'

S 66°14'26" W 150.01'

S 66°14'26" W 150.01'

S 66°14'26" W 150.01'

BLOCK 95

LOT 9

LOT 8  
BLOCK 95

LOT 6

LOT 7  
BLOCK 95

\* MAIN HOUSE \*  
FIRST FLOOR .....13.30 FEET  
SECOND FLOOR .....23.50 FEET  
TOP OF ROOF .....41.99 FEET

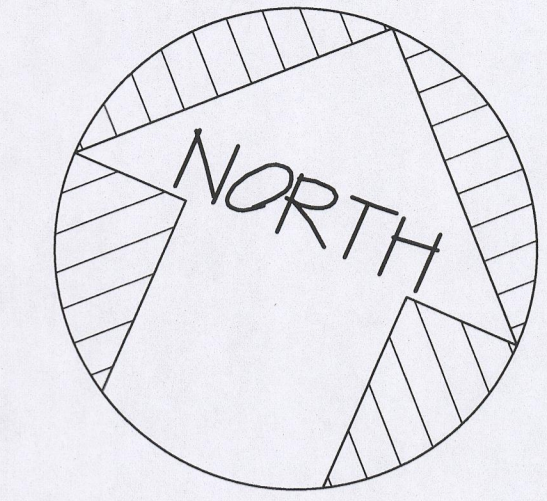
\* GARAGE \*  
FLOOR .....12.32 FEET  
TOP OF ROOF .....34.40 FEET

\* BUILDING SETBACKS \*

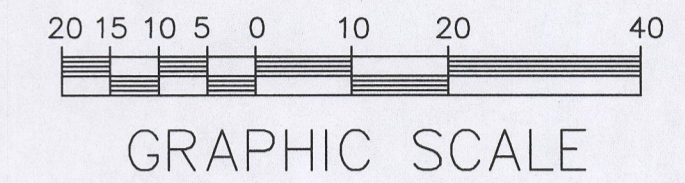
PER ZONE F-15, ISLAND CORE RESIDENTIAL DISTRICT:  
FRONT YARD SETBACK - 30'  
SIDE YARD SETBACK - 20' (1 STORY BUILDINGS)  
25' (2 STORY BUILDINGS)  
REAR YARD SETBACK - 35'

\* LEGEND \*

- ABV ABOVE  
ARV AIR RELEASE VALVE  
BFE BASE FLOOD ELEVATION  
BOV BLOW-OFF VALVE  
CC CABLE CLOSURE  
CBS CONCRETE BLOCK STRUCTURE  
CM CONCRETE MONUMENT  
CONC CONCRETE  
COV COVERED  
ELEV ELEVATION  
FD FOUND  
FE FLOOR ELEVATION  
FH FIRE HYDRANT  
FLR FLOOR  
ID IDENTIFICATION  
IMP INITIAL MEASURING POINT  
IP IRON PIPE  
IR IRON ROD  
LBS LICENSED SURVEY BUSINESS  
LP LIQUID PROPANE  
MAG MAGNETIC  
NL NAIL  
ORB OFFICIAL RECORDS BOOK  
PAGE PERMANENT CONTROL POINT  
PLS PROFESSIONAL LAND SURVEYOR  
PRM PERMANENT REFERENCE MONUMENT  
P.I. POINT OF INTERSECTION  
R/W RIGHT-OF-WAY  
SF SQUARE FEET  
TEL TELEPHONE RISER  
WM WATER METER  
WV WATER VALVE  
CL CENTERLINE



SCALE : 1" = 20'  
THIS IS THE INTENDED DISPLAY SCALE



SURVEYOR'S NOTES:

- NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- BEARINGS SHOWN HEREON ARE TRUE BASED ON NORTH AMERICAN DATUM 1983, FLORIDA STATE PLANE, EAST ZONE. BEARING BASE MAY BE ESTABLISHED ALONG THE CENTERLINE OF GRASSY TRAIL AS SHOWN HEREON.
- ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) AND ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BENCHMARK USED: "L 308" (CGS), ELEVATION = 13.76' (NAVD88)
- BEARINGS, ANGLES, AND DIMENSIONS SHOWN HEREON ARE FIELD MEASURED QUANTITIES UNLESS NOTED OTHERWISE AS: (P) PLAT MEASUREMENT; (C) CALCULATED MEASUREMENT; (M) FIELD MEASUREMENT.
- THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF TITLE AND IS SUBJECT TO EASEMENTS, RIGHT-OF-WAYS AND OTHER ENCUMBRANCES WHICH MAY BE REVEALED IN A SEARCH OF TITLE TO THE SUBJECT LAND.
- THE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY NAMED IN CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON, WITHOUT THE EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.
- THERE HAS BEEN NO ATTEMPT TO LOCATE ANY SUBSURFACE IMPROVEMENTS, FOOTERS, FOOTINGS AND/OR UTILITIES ON THIS PROPERTY OR ADJACENT RIGHTS-OF-WAY.
- SUBJECT PROPERTY LIES IN FLOOD ZONE "X" (MINIMAL FLOOD HAZARD). FLOODPLAIN BOUNDARIES SHOWN HEREON WERE SCALED FROM DIGITAL FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE MAP #1208500336H, DATED FEBRUARY 19, 2020. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
- LOT AREA = 15,001 SQUARE FEET (0.3444 AC) MORE OR LESS.

LEGAL DESCRIPTION: (PER OFFICIAL RECORDS BOOK 2781, PAGE 582)

LOT 10, BLOCK 95, ISLAND BEACH REVISED PLAT NO. 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 44, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

CERTIFICATION VALID TO:

- TRUMAN M. HOBBS, JR.

CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

R. L. VAUGHT & ASSOCIATES, INC.  
LICENSED BUSINESS NO. 5879

By: *[Signature]*  
Robert L. Vaught III  
Professional Surveyor and Mapper No. 7670  
State of Florida

DATE OF LAST  
FIELD WORK:  
March 17, 2026

NAVD88

REVISIONS	BY
12/18/15 * ADD GARAGE & UTILITIES	CF
11/15/18 * FINAL SURVEY FB: 220/41 WO # 814595	PMZ
03/17/28 * UPDATE SURVEY * FB: SKETCH WO # 822032	RLV III

BOUNDARY SURVEY  
79 LINKS ROAD  
HOBE SOUND, FLORIDA 33455  
TOWN OF JUPITER ISLAND

RL VAUGHT & ASSOCIATES, INC.  
SURVEYORS, MAPPERS & PLANNERS  
LICENSED SURVEY BUSINESS NUMBER 5879  
9075 SE BRIDGE ROAD; HOBE SOUND 33455  
MAIL: P.O. BOX 160 HOBE SOUND, FL 33475  
PHONE: 772-546-8086 FAX: 772-546-8087  
EMAIL: vaught@bellsouth.net

DRAWN	RLV
CHECKED	RLV, SR.
SCALE	AS SHOWN
DATE	NOV. 30, 2015
FIELD BOOK	197/72
ORDER NO.	812548
SHEET OF SHEETS	1 1
FILE NUMBER	PB12548-18J

PCN: 35-38-42-009-095-00100-0

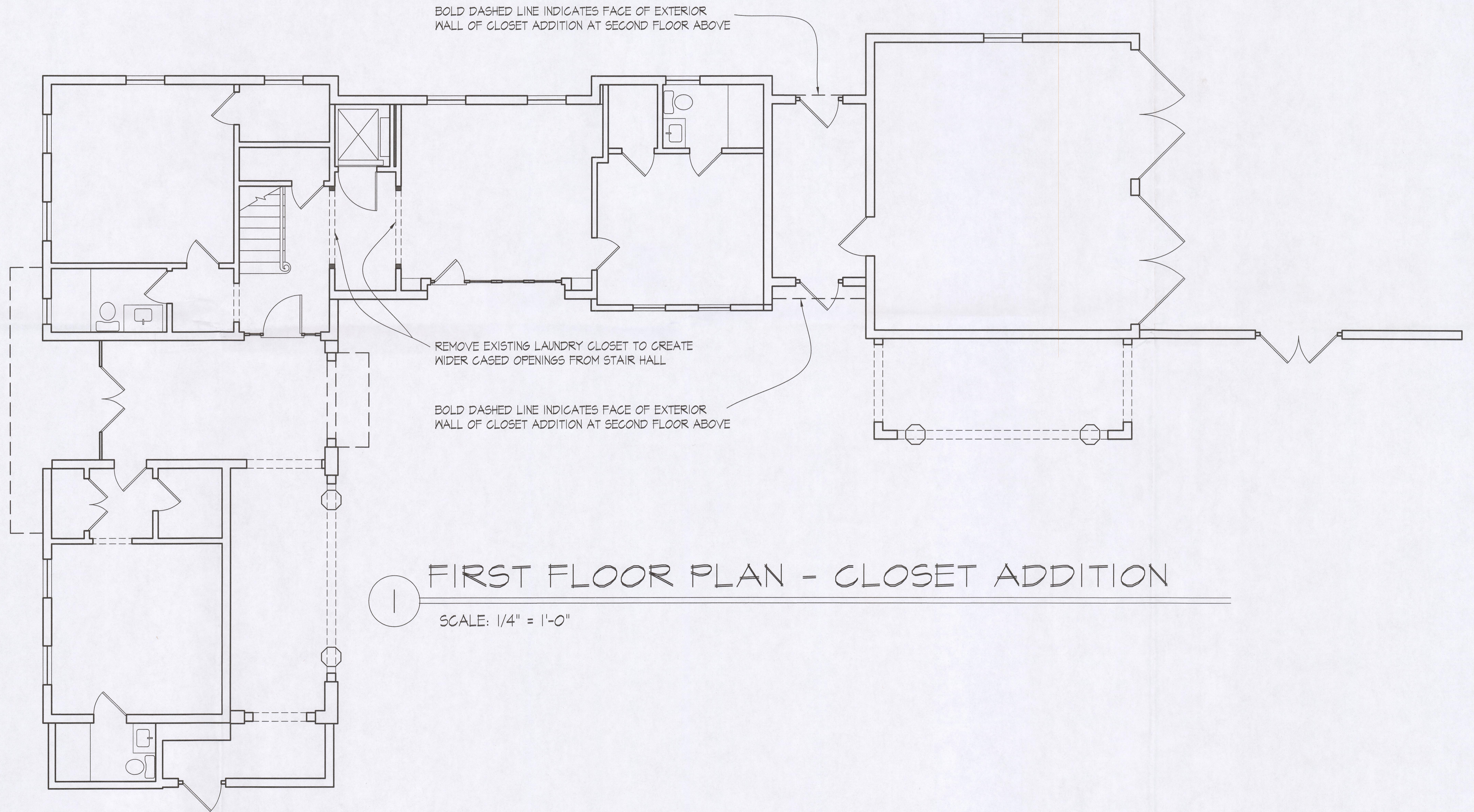


This drawing is the property of JOHN HOPKINS & ASSOCIATES, Inc. and may not be used or reproduced in whole or in part without the written permission of the Architect.

JOHN HOPKINS & ASSOCIATES, Inc. assumes no liability for any structure constructed from these construction drawings. It is the responsibility of the purchaser of these drawings to perform the following before the beginning of construction:

1. Contractor must verify ALL dimensions prior to commencing with construction.
2. Effort has been made for these drawings to be in accordance with applicable codes. The Contractor must still verify compliance with all applicable regulations and building codes in the locality where the structure is to be constructed.
3. These construction drawings are for design intent only. The Contractor is responsible for means and methods of construction. All site conditions, structural considerations, mechanical, electrical and plumbing requirements shall be addressed by the Contractor.

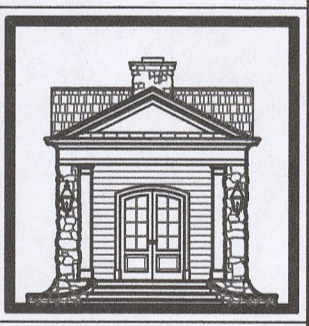
© Copyright 2026  
RELEASED FOR CONSTRUCTION



NOTE: JOHN LEE HOPKINS JR IS A LICENSED ARCHITECT IN GEORGIA AND NORTH CAROLINA, BUT IS NOT A LICENSED ARCHITECT IN FLORIDA.

REVISION DATE:	BY:

**JOHN HOPKINS & ASSOCIATES, INC.**  
**ARCHITECTS**  
33 MOOREGATE SQUARE NW ■ ATLANTA, GA 30327 ■ [jhopkins@jhaarchitects.com](mailto:jhopkins@jhaarchitects.com) ■ 404.245.6949



**CLOSET ADDITION FOR:  
DEBBIE AND TRUMAN HOBBS**  
79 LINKS ROAD  
HOBE SOUND, FLORIDA 33455

DATE: 03/12/26  
SCALE: AS NOTED  
DRAWN: JLH  
JOB: HOBBS CLOSET

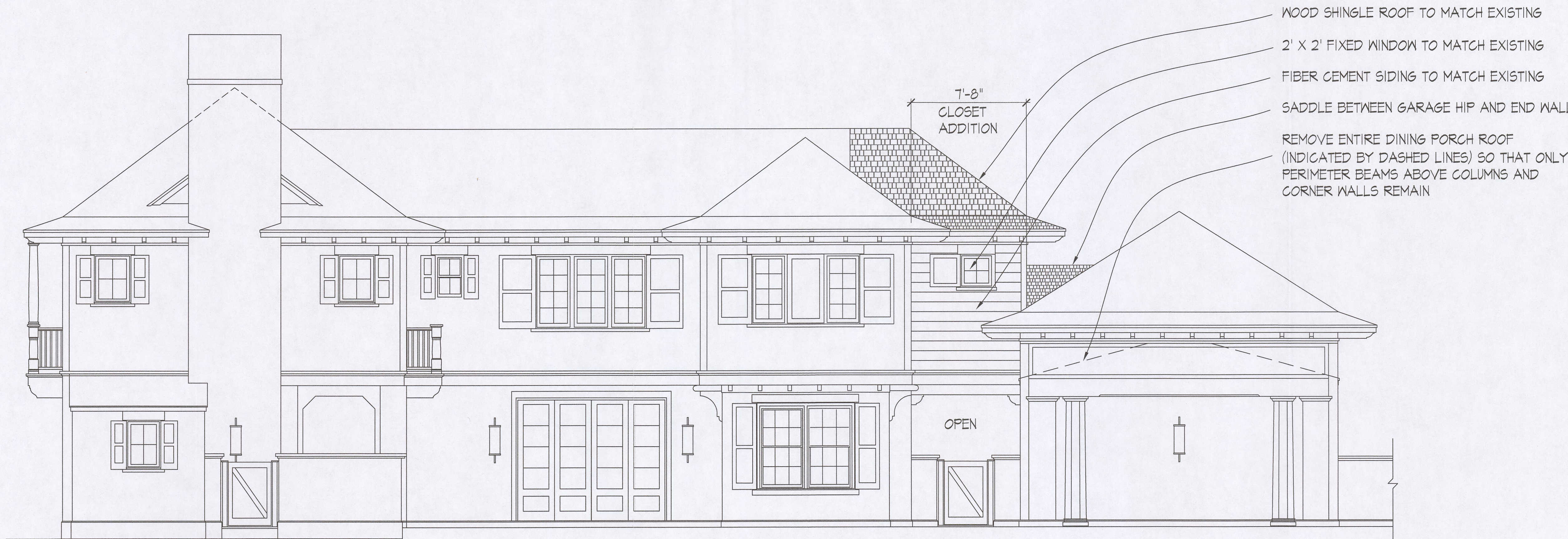
SHEET:  
**A1**

This drawing is the property of JOHN HOPKINS & ASSOCIATES, Inc. and may not be used or reproduced in whole or in part without the written permission of the Architect.

JOHN HOPKINS & ASSOCIATES, Inc. assumes no liability for any structure constructed from these construction drawings. It is the responsibility of the purchaser of these drawings to perform the following before the beginning of construction:

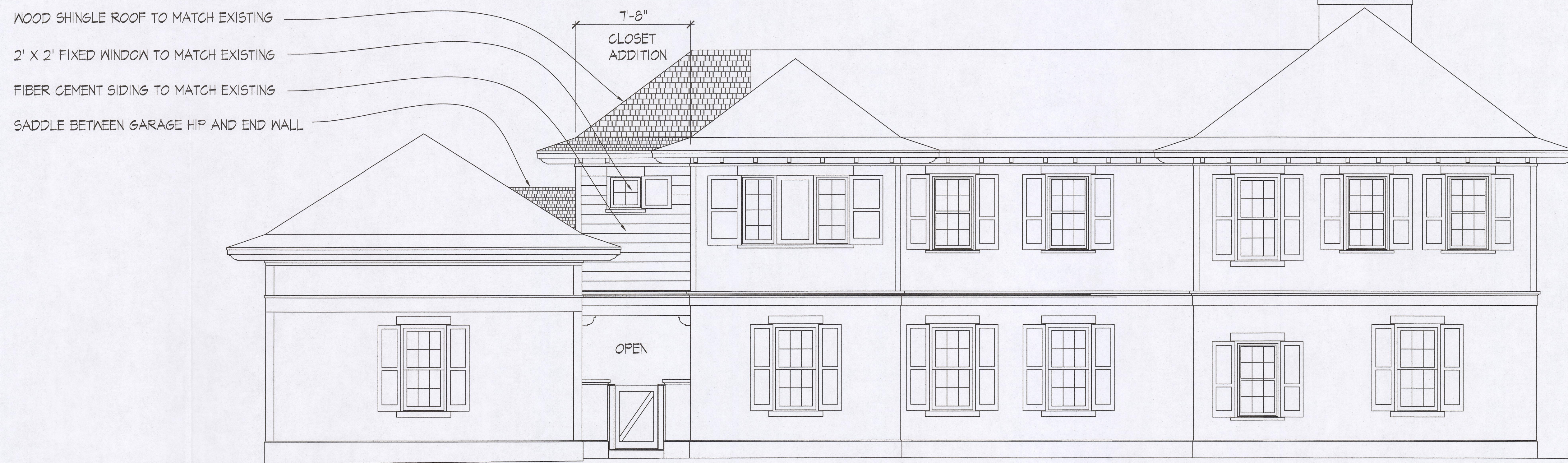
1. Contractor must verify ALL dimensions prior to commencing with construction.
2. Effort has been made for these drawings to be in accordance with applicable codes. The Contractor must still verify compliance with all applicable regulations and building codes in the locality where the structure is to be constructed.
3. These construction drawings are for design intent only. The Contractor is responsible for means and methods of construction. All site conditions, structural considerations, mechanical, electrical and plumbing requirements shall be addressed by the Contractor.

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**2 SOUTH ELEVATION - 2ND FLOOR CLOSET ADDITION**  
SCALE: 1/4" = 1'-0"

UNLESS NOTED OTHERWISE, ALL EXTERIOR CONSTRUCTION DETAILS AND MATERIALS ARE TO MATCH THE EXISTING HOUSE



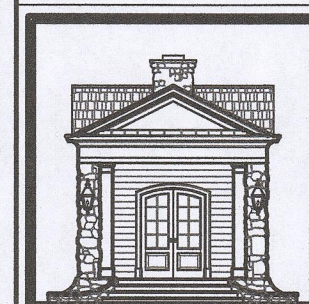
**1 NORTH ELEVATION - 2ND FLOOR CLOSET ADDITION**  
SCALE: 1/4" = 1'-0"

UNLESS NOTED OTHERWISE, ALL EXTERIOR CONSTRUCTION DETAILS AND MATERIALS ARE TO MATCH THE EXISTING HOUSE

NOTE: JOHN LEE HOPKINS JR IS A LICENSED ARCHITECT IN GEORGIA AND NORTH CAROLINA, BUT IS NOT A LICENSED ARCHITECT IN FLORIDA.

REVISION DATE:	BY:

**JOHN HOPKINS & ASSOCIATES, INC.**  
**ARCHITECTS**  
 33 MOOREGATE SQUARE NW ■ ATLANTA, GA 30327 ■ 404.245.6949  
 jhopkins@jhaarchitects.com



**CLOSET ADDITION FOR:**  
**DEBBIE AND TRUMAN HOBBS**  
 79 LINKS ROAD  
 HOBE SOUND, FLORIDA 33455

DATE: 03/12/26
SCALE: AS NOTED
DRAWN: JLH
JOB: HOBBS CLOSET
SHEET: <b>A3</b>

**NOTICE OF PUBLIC HEARING  
TO CITIZENS OF THE TOWN  
OF JUPITER ISLAND, FLORIDA**



**DEVELOPMENT REVIEW BOARD**

A Public Meeting/Hearing will be held at the Jupiter Island Town Hall, 2 Bridge Road, Hobe Sound, FL on **April 2, 2026, at 9:00 a.m.** for the purpose of considering the following application.

**169 South Beach - B -40 1- Acre Estate Residential District**

This is the application of Tucker S. Johnson & Charlotte Elizabeth Johnson, represented by Jared Gaylord, Esq., of Marc R. Gaylord, P.A., requesting the following:

A site plan approval for:

The addition of a basement under a previously approved garage. The garage was approved by the Impact Review Committee meeting that was held on March 6, 2025.

Plans are available for inspection at the Building Department at Town Hall, Monday through Friday, 9:00 a.m. to 3:30 p.m.

The Development Review Board meeting may be viewed live, or any time after the meeting, via the Town's website: [www.townofjupiterisland.com](http://www.townofjupiterisland.com)

**STATE MANDATED STATEMENT:**

If a person decides to appeal any decision made by the board, agency, committee, or commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town prior to the meeting. Please contact the Town Hall, 2 Bridge Road, Hobe Sound, FL 33455, telephone (772) 545-0100.



**TOWN OF JUPITER ISLAND  
DEVELOPMENT REVIEW BOARD  
Meeting Date: April 2, 2025  
Staff Report**

---

**To:** Chair and Development Review Board Members  
**CC:** Robert Garlo, Town Manager, and Kyle Teal, Town Attorney  
**From:** Catherine Harding, Building, Planning, and Zoning Director  
**RE:** 169 South Beach Road  
**Date:** March 20, 2026

---

Owners:

S. Tucker S. Johnson and Charlotte E. Johnson

Agent:

Jared Gaylord, Esq., of Marc R. Gaylord, P.A.

Property Description:

1.90425 acres in the B-40 1 Acre Estate Residential District

Request:

The applicant is requesting to add a basement under the garage. The garage was approved by the Impact Review Committee on March 6, 2025. A Building Permit was issued on July 7, 2025, but construction has not started to date.

Planning and Zoning Analysis:

The Zoning analysis shows that the project meets the requirements of the Land Development Regulations.

Reports Attached:

No reports required.

Building Department recommendations:

*A permit for a staging plan is required and must be completed prior to a building permit being issued.*

Standards for review by the Development Review Board: (see attached Land Development Regulation)

The applicant has submitted the required Standard Analysis for the Board's review.

Article X, Division 2, Section 2.02. Standards for Impact Review.



**Town of Jupiter Island**  
**Development Review Board**  
**(DRB)**

**TOWN OF JUPITER ISLAND**  
**BUILDING DEPARTMENT**

Date Received: 2/24/26

**PROPERTY:**

Street Address: 169 South Beach Road  
Tax Parcel Number: 35-38-42-009-119-00660-8 Zoning: B-40  
Legal/General Description: ISLAND BEACH REVISED PLAT 2 LOTS 66 & 71  
BLK 119 & NC 25' OF LOTS 72 & 77 BLK 120

**AGENT:** (If Applicable, notarized power of attorney must be attached)

Name: JARED GAYLORD  
Mailing Address: 12000 SE OLD DIXIE HIGHWAY  
Phone #: 772 545 7740 Email: JARED@MARCGAYLORD.COM

**PROPERTY OWNER:** as shown in the official County Records (please attach current tax bill & deed)

Name: JOHNSON STUCKER  
Mailing Address: 169 S. BEACH ROAD  
Phone #: 772-285-7955 Email: STJSJ@JINFO.NET

**EXPLANATION OF REQUEST:**

ADDITION OF BASEMENT UNDER PREVIOUSLY  
APPROVED GARAGE -

\* Garage approved PZE-0398 on 3/6/25  
\* Building permit issued P-11981 on 7/7/25 w/no Basement

**IF VARIANCE IS REQUESTED, CITE LRD'S AFFECTED:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2010/11  
2010/11

2010/11  
2010/11

2010/11  
2010/11

**Site Analysis:**

<b>Address:</b>	<b>Zoning District:</b>		
Planned Date of Construction:			
	<b>Permitted</b>	<b>Existing</b>	<b>Proposed</b>
Lot Area:	1 acre	1.90425 acres	1.90425 acres
Floor Area*:	10.271 sf	9.845 sf	9.845 sf
Principle Dwelling: (10,000 sf max)	10.000 sf	9.845 sf	9.845 sf
Accessory Structure #1: (not to exceed 1/3 square footage of principal dwelling)	N/A	N/A	933 sf
Accessory Structure #2: (not to exceed 1/3 square footage of principle dwelling)	garage square footage exempt per ordinance 393		
FAR (Floor Area Ratio): Floor Area ÷ Lot Area	23.5%	11.8%	11.8%
Lot Width:	140 ft	299.97 ft	299.97 ft
Front Yard Setback:	50 ft	49.6 ft	49.6 ft
Rear Yard Setback:	waterfront setback line per ord 376	7.33 ft	5.6 ft
Side Yard Setback: One-Story: Two-Story:	1 story - 20 ft 2 story - 25 ft		north - 40.4 ft south - 43.4 ft
Initial Measuring Point ("IMP"):	13.9 ft	13.9 ft	13.9 ft
Fill:	3 ft max	N/A	3ft
Roof Height: Roof Pitch: One-Story: Two-Story:	22 ft 30 ft	N/A N/A	10.5 ft N/A
Exterior Wall Height: One-Story: Two-Story:	14 ft 22 ft		
Parking Spaces: (1 per bedroom, 1.5 max)	8 spaces		8 spaces
Driveway Setback:	8 ft		not in scope
Landscape Area:	50 %	60.5 %	60.5 %
Elevation of Finish Floor:	14 ft		main house - 17.25 ft garage - 15.26 ft NAVD
Elevation of LHSM: (Lowest Height Structural Member)			8.26 NAVD
FEMA Flood Zone:	Zone "X" Zone "VE" (el 8)		

\*Total Floor Area to include living space and non-living space.

< **BACK TO SEARCH**

# Basic Info

<b>PIN</b> 35-38-42-009-119-00660-8	<b>AIN</b> 57774	<b>Situs Address</b> 169 SOUTH BEACH RD JUPITER ISLAND FL	<b>Website Updated</b> 2/18/26
--	---------------------	--	-----------------------------------

## General Information

[CHANGE MAILING ADDRESS](#)

[SIGN UP FOR PROPERTY FRAUD ALERT](#)

<b>Property Owners</b> JOHNSON S TUCKER S JOHNSON CHARLOTTE ELIZABETH	<b>Parcel ID</b> 35-38-42-009-119-00660-8	<b>Use Code/Property Class</b> 0100 - 0100 Single Family
<b>Mailing Address</b> 169 SOUTH BEACH RD HOBE SOUND FL 33455	<b>Account Number</b> 57774	<b>Neighborhood</b> 135735 Jupiter Island - Interior
<b>Tax District</b> JUPITER ISLAND	<b>Property Address</b> 169 SOUTH BEACH RD JUPITER ISLAND FL	<b>Legal Acres</b> 0.941
	<b>Legal Description</b> ISLAND BEACH REVISED PLAT 2 LOTS 66 & 71...	<b>Ag Use Size (Acre\Sq Ft)</b> N/A

## Current Value

Year	Land Value	Improvement Value	Market Value	Value Not Taxed	Assessed Value	Total County Exemptions	County Taxable Value
2025	\$ 3,150,000	\$ 242,660	\$ 3,392,660	\$ 935,331	\$ 2,457,329	\$ 0	\$ 2,457,329

*Market values shown on the website reflect market conditions as of January 1st, the statutory assessment date. We are prohibited by law from relying on sales that occur after the January 1 assessment date. Therefore, market values shown on the website do not reflect today's market conditions, but rather the market conditions last year. In addition, the statutes require the county Property Appraiser to deduct for typical costs of sale (which include expenses such as commissions, title insurance, appraisals, inspection fees, etc.) when arriving at market value for tax purposes. That is why the market value for tax purposes is different from what a property would sell for today.*

## Current Sale

<b>Sale Date</b> 2/11/04	<b>Grantor (Seller)</b> DILLON, SUSAN S (TR)	<b>Doc Num</b> 1724206
<b>Sale Price</b> \$ 11,000,000	<b>Deed Type</b> TR	<b>Book &amp; Page</b> <u>1860 2285</u>

## Legal Description

ISLAND BEACH REVISED PLAT 2 LOTS 66 & 71 BLK 119 & N 25' OF LOTS 72 & 77 BLK 120

*The legal description is intended for general information only. The Property Appraiser assumes no responsibility for the uses or interpretations of the legal description.*

This Instrument Prepared By:  
Frederick G. Sundheim, Jr.  
OUGHTERSON, SUNDHEIM, & WOODS, P.A.  
310 SW Ocean Blvd.  
Stuart, FL 34994

INSTR # 1724206  
OR BK 01860 PG 2285  
RECORDED 01/26/2004 11:03:02 AM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
DEED DOC TAX 77,000.00  
RECORDED BY S Phoenix

D-441A/fgs

**TRUSTEE'S DEED**

Susan S. Dillon, Crosby R. Smith, Mark M. Collins, Jr. and J.P. Morgan Chase Bank, as Co-Trustees of the Marital Trust under Article FIFTH of the Will of C. Douglas Dillon dated April 16, 2002(Grantor), in consideration of the sum of Ten (\$10.00) and no/100's received from S. Tucker S. Johnson and Charlotte Elizabeth Johnson, H & W, of 1609 SOUTH BEACH RD, HOBE SOUND, FL. 33455, on this 12 day of DECEMBER, 2003, conveys to the Grantee the real property located in Martin County, Florida, described as:

See Exhibit "A"

Property Appraiser's ID number is 353420091260123110000  
~~3538420091190066080000~~

To have and to hold the same to the said S. Tucker S. Johnson (Grantee), her heirs and assigns, in as full and ample manner as the same was possessed or enjoyed by the said Susan S. Dillon, Crosby R. Smith, Mark M. Collins, Jr. and J. P. Morgan Chase Bank., as Co-Trustees of the Martial Trust under Article FIFTH of the Will of C. Douglas Dillon dated April 16, 2002(Grantor) during its possession.

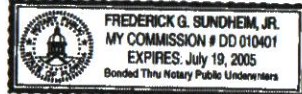
Witnesses:

Susan S. Dillon, Crosby R. Smith, Mark M. Collins, Jr. and J.P. Morgan Chase Bank, as Co-Trustees of the Marital Trust under Article FIFTH of the Will of C. Douglas Dillon dated April 16, 2002

[Signature]  
Printed Name: FRED SUNDHEIM, JR.

[Signature]  
Susan S. Dillon, as Co-Trustee

[Signature]  
Printed Name: ANNA WISDOM



STATE OF FLORIDA  
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 15 day of DECEMBER, 2003, by Susan S. Dillon, as Co-Trustee of the Marital Trust under Article FIFTH of the Will of C. Douglas Dillon dated April 16, 2002.

[Signature]  
Printed Name: \_\_\_\_\_  
Notary Public

[Signature]  
Printed Name: MARILYN CARRETT

[Signature]  
Crosby R. Smith, as Co-Trustee

[Signature]  
Printed Name: BARBARA M. TROMANO

STATE OF New York  
COUNTY OF New York

The foregoing instrument was acknowledged before me this 12<sup>th</sup> day of December, 2003, by Crosby R. Smith, as Co-Trustee of the Marital Trust under Article FIFTH of the Will of C. Douglas Dillon dated April 16, 2002.

SCOTT P. CALLAHAN  
Notary Public, State of New York  
No. 4963833  
Qualified in Putnam County  
Commission Expires March 19, 2004

[Signature]  
Printed Name: SCOTT P. CALLAHAN  
Notary Public  
SCOTT P. CALLAHAN  
Notary Public, State of New York  
No. 4963833  
Qualified in Putnam County

Printed Name: \_\_\_\_\_

Mark M. Collins, Jr., as Co-Trustee

Printed Name: \_\_\_\_\_

(SEE ATTACHED)

STATE OF  
COUNTY OF

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2003, by Mark M. Collins, Jr., as Co-Trustee of the Marital Trust under Article FIFTH of the Will of C. Douglas Dillon dated April 16, 2002

Printed Name: \_\_\_\_\_

Notary Public

J.P. MORGAN CHASE BANK

BY: Ronnie T. Leven

RONNIE T. LEVEN, as Manager of J.P. Morgan Chase Bank, as Co-Trustee

Marilyn Carredo  
Printed Name: MARILYN CARREDO

Barbara M. Trombino  
Printed Name: BARBARA M. TROMBINO

STATE OF New York  
COUNTY OF New York

The foregoing instrument was acknowledged before me this 12<sup>th</sup> day of December, 2003, by J.P. Morgan Chase Bank, as Co-Trustee of the Marital Trust under Article FIFTH of the Will of C. Douglas Dillon dated April 16, 2002

Scott P. Callahan  
Printed Name: SCOTT P. CALLAHAN  
Notary Public

SCOTT P. CALLAHAN  
Notary Public, State of New York  
No. 4963833  
Qualified in Putnam County  
Commission Expires March 19, 2004

COPY

COPY

COPY

OR BK 01860 PG 2287

*[Signature]*  
 Printed Name: Mark M. Collins, Jr., as Co-Trustee  
*[Signature]*  
 Printed Name: Paul Chew

STATE OF Maryland  
 COUNTY OF Baltimore

The foregoing instrument was acknowledged before me this 12<sup>th</sup> day of December, 2003, by Mark M. Collins, Jr., as Co-Trustee of the Marital Trust under Article FIFTH of the Will of C. Douglas Dillon dated April 16, 2002

*[Signature]*  
 Printed Name: Karen L. Shirey  
 Notary Public



Printed Name: \_\_\_\_\_, as \_\_\_\_\_ of J.P.  
 J.P. Morgan Chase Bank, as Co-Trustee

Printed Name: \_\_\_\_\_

STATE OF  
 COUNTY OF

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2003, by J.P. Morgan Chase Bank, as Co-Trustee of the Marital Trust under Article FIFTH of the Will of C. Douglas Dillon dated April 16, 2002

Printed Name: \_\_\_\_\_  
 Notary Public

*Copy*  
*Copy*  
*Copy*

EXHIBIT "A"

Parcel 1

LEGAL DESCRIPTION

"HARLEQUIN"

The South 75 feet of Lot 123, Block 126, Lot 124 and Lot 125, Block 127, THE ISLAND BEACH REVISED PLAT NO. 2, according to the Plat thereof filed September 21, 1845, recorded in Plat Book 2, Page 44 of the Public Records of Martin County, Florida; which property was formally shown on The Island Beach Revised Plat No. 1, according to the Plat thereof filed September 24, 1933, recorded in Plat 2, Pages 10 and 10 1/2, Martin County, Florida.

A/K/A 169 South Beach Road, Hobe Sound, Florida 33455

Together with the following described ingress-egress easement:

Begin at the Southwesterly corner of said Lot 122; thence run N21°17'24"W, along the Westerly line of said Lot 122, for a distance of 30.42 feet; thence run N68°33'06"E, for a distance of 56.36 feet, to a point of curvature, of a circular curve to the right; thence run Northeasterly, Easterly and Southeasterly along the arc of said curve, having a radius of 70.00 feet and a central angle of 59°45'54", for an arc distance of 73.02 feet, to a point of reverse curvature; thence run Southeasterly, Easterly and Northeasterly along the arc of said circular curve, having a radius of 5.00 feet and a central angle of 59°58'10", for an arc distance of 5.23 feet, to the point of tangency, thence run N68°20'50"E, for a distance of 18.01 feet, to a point of curvature of a circular curve to the right; thence run Northeasterly, Easterly and Southeasterly along the arc of said curve, having a radius of 37.94 feet and a central angle of 28°02'53", for an arc distance of 18.57 feet; thence run S23°46'39"E, for a distance of 7.47 feet; thence run S66°12'21"W, along a line 25.00 feet Southerly of and parallel with the Northerly line of said Lot 123, for a distance of 157.62 feet; thence run N21°17'24"W, along the Westerly line of said Lot 123, for a distance of 25.02 feet, to the point of beginning.

Parcel 2

LEGAL DESCRIPTION

Lots 66 & 71, Block 119 and the North 25' of Lots 72 & 77, Block 120, of the Island Beach Revised Plat 2, Page 44 of the Public Records of Martin County, Florida.

A/K/A 174 South Beach Road, Hobe Sound, Florida 33455



**HONORABLE  
RUTH PIETRUSZEWSKI, CFC**

**MARTIN COUNTY TAX COLLECTOR**  
3485 SE WILLOUGHBY BLVD  
STUART, FL 34994

Property Address 169 SOUTH BEACH RD  
Legal Description ISLAND BEACH REVISED PLAT 2 LOTS 66 & 71 BLK 119 & N 25'  
OF LOTS 72 & 77 BLK 120

REAL ESTATE

**2025** MARTIN COUNTY  
Notice of Ad Valorem Taxes and Non-Ad Valorem Assessments

**JOHNSON S TUCKER S  
JOHNSON CHARLOTTE ELIZABETH  
169 SOUTH BEACH RD  
HOBE SOUND, FL 33455**

PARCEL ID: 35-38-42-009-119-00660.80000  
ALTERNATE ID: 57774  
ESCROW CODE:



SCAN TO VIEW YOUR  
BILL ONLINE!

<b>If Paid By</b>	<b>Dec 31, 2025</b>	<b>Paid</b>	<b>\$43,674.91</b>	<b>12/08/2025</b>
<b>Please Pay</b>	<b>\$43,674.91</b>			

**Ad Valorem Assessments**

Taxing Authority	Telephone	Millage	Assessed Value	Exemption	Taxable Value	Tax Amount
JUPITER ISLAND-AD VAL-OP	772-545-0100	2.8259	2,457,329	0	2,457,329	6,944.17
JUPITER ISLAND-EROSION	772-545-0100	0.9593	2,457,329	0	2,457,329	2,357.32
JUPITER ISL-DEBT SERVICE	772-545-0100	0.2100	2,457,329	0	2,457,329	516.04
SCHOOL-GENERAL FUND	772-219-1200 ext 30273	3.0540	3,392,660	0	3,392,660	10,361.18
SCHOOL CAPITAL OUTLAY	772-219-1200 ext 30273	0.9500	3,392,660	0	3,392,660	3,223.03
SCHOOL - DISCRETIONARY	772-219-1200 ext 30273	0.7480	3,392,660	0	3,392,660	2,537.71
SCHOOL ADDTNL VOTER MIL	772-219-1200 ext 30273	0.4250	3,392,660	0	3,392,660	1,441.88
CHILDRENS SERVICES ORDNCs	772-288-5758	0.3618	2,457,329	0	2,457,329	889.06
FL-INLAND NAVIGATION DIST	561-627-3386	0.0270	2,457,329	0	2,457,329	66.35
S. FLA WTR MGMT	561-686-8800	0.2301	2,457,329	0	2,457,329	565.42
COUNTY-GENERAL FUND-OP	772-463-2868	6.5614	2,457,329	0	2,457,329	16,123.52
<b>MILLAGE CODE 4300</b>	<b>TOTAL MILLAGE</b>	<b>16.3525</b>	<b>TOTAL AD VALOREM TAXES</b>			<b>\$45,025.68</b>

**Exemptions**

**Non Ad Valorem Assessments**

Levying Authority	Telephone	Rate (\$ per unit)	Tax Amount
<b>TOTAL NON AD VALOREM TAXES</b>			<b>\$0.00</b>

**TOTAL \$45,025.68**

\*SEE REVERSE SIDE FOR INSTRUCTIONS PLEASE DETACH AND RETURN BOTTOM PORTION WITH YOUR PAYMENT  
OR PAY CURRENT TAXES ONLINE AT [HTTP://MARTINTAXCOLLECTOR.COM](http://MARTINTAXCOLLECTOR.COM)

**2025**

Make checks payable to: Ruth Pietruszewski, Tax Collector

Mail payments to: 3485 SE Willoughby Blvd Stuart, FL 34994 (772) 288-5600

CANADIAN CHECKS MUST BE PAYABLE IN U.S. FUNDS & DRAWN ON A U.S. BANK \*\*DO NOT SEND CASH\*\*

PARCEL ID: 35-38-42-009-119-00660.80000

ALTERNATE ID: 57774

ESCROW CODE:

**JOHNSON S TUCKER S  
JOHNSON CHARLOTTE ELIZABETH  
169 SOUTH BEACH RD  
HOBE SOUND, FL 33455**

Please check one box. Current taxes are processed by the month they are postmarked. Delinquent taxes are processed by the date they are received.

Dec 31, 2025 \$43,674.91

Paid By Tucker Johnson - Operating

Paid \$43,674.91 12/08/2025

TAXES BECOME DELINQUENT APRIL 1 - ADD 3% PLUS FEES

Notice: If taxes on your property are not paid in full, a tax certificate will be sold for the delinquent taxes.



\* 1 + 5 7 7 7 4 + 2 0 2 5 \*

Approved IRC 3/6/25  
PZE-0398

**DEVELOPMENT ORDER – 169 SOUTH BEACH ROAD**

**WHEREAS**, Tucker S. Johnson & Charlotte Elizabeth Johnson are the owners (Owner) of 1.90425 acres of real property, the legal description of which is attached hereto and incorporated herein as Exhibit "A" (the Property); and

**WHEREAS**, the Property is within the Town of Jupiter Island's (Town) B-40 1 Acre Estate Residential District; and

**WHEREAS**, the Owner represented by its agent, Jared Gaylord, Esq. of Marc R. Gaylord P.A. submitted an application to the Town's Impact Review Committee (IRC) whereby the Owner proposes to add a new 3 bay garage (the Application) on the Property; and

**WHEREAS**, the garage will be non-habitable space because it will not be attached to the principal residence and therefore will not result in an increase the floor area of the principal structure; and

**WHEREAS**, the Application was reviewed by the Town's Director of the Planning, Building and Zoning Department (the Director), and its consultants, following which the Application was determined to be complete; and

**WHEREAS**, the Impact Review Committee (IRC) conducted a quasi-judicial hearing on March 6, 2025, wherein it considered the evidence and testimony presented by the Director and the Owner's agent and design professionals regarding whether the Application meets the standards of the Town's Land Development Regulations (LDRs) regarding impact review; and

**NEW THEREFORE, BE IT RESOLVED BY THE IMPACT REVIEW COMMITTEE  
OF THE TOWN OF JUPITER ISLAND, FLORIDA, THAT:**

**Section 1.** The whereas clauses are incorporated herein as the findings of fact and conclusions of the IRC.

**Section 2.** The IRC finds that with the conditions contained herein the Application meets the standards for impact review contained in Article X, Section 2.02.

**Section 3.** The approval of the Application is subject to the following conditions:

1. The Owner shall install and maintain all improvements in compliance with:
  - a) The Boundary and Topographic Survey prepared by R. L. Vaught & Associates, Inc. dated April 18, 2003 and last updated on July 22, 2024.
  - b) The revised architectural plans prepared by HUUM, dated March 5, 2025.
  - c) The Existing Vegetation / Removal Plan, Construction / Staging Plan, and Landscape Plan and renderings prepared by Innocenti & Webel dated November 12, 2024.
  - d) The Site Grading & Septic System Plan prepared by Gruber Consulting Engineers, dated November 20, 2024.
2. The Owner shall install a silt screen along the front, side and rear yard areas and maintain it throughout the time of construction on the Property.
3. The Owner shall install a construction buffer including a fence/mesh screen prior to commencement of construction and maintained during construction.

4. The Owner shall ensure that the dumpster and portable toilet to be placed on the Property are screened from the public's view.
6. The Owner shall pay all connection fees which are due to the South Martin Regional Utility (SMRU) prior to issuance of a Building Permit.
7. The Applicant shall comply with the requirements of the Town's Public Safety Department as set forth in the attached memo dated October 22, 2024.
8. The Owner shall comply with any comments received from the Town or the SMRU during the building permit review process.
9. The Director may impose additional requirements prior to the issuance of a Building Permit.

Rendered this 1 day of April, 2025.

#6055906 v1 18270-00002



# MEMORANDUM

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**TO:** Building Department  
**FROM:** Sergeant/Fire Chief Frank Lasaga  
**DATE:** October 22, 2024  
**SUBJECT:** 169 S Beach Rd

After reviewing the proposed plans for the construction of a one-story garage at 169 South Beach Road, Jupiter Island, I find the following considerations relating to Traffic and Safety for the project:

**Traffic:** Please advise the builder to limit disruption to the adjacent traffic flow. Please have arriving and departing truck traffic at the site enter via S Beach Rd. Trucks over 1 ton are prohibited on Gomez Rd, except for local deliveries.

Traffic control, i.e. flag crews, are required when traffic entering and exiting the site impacts general traffic flow and when equipment/supply deliveries must be done from the roadway.

**Parking:** There will be limited parking available for this project. Please remind the builder to make parking arrangements and transport workers to and from the site from off island, as needed. There will be no parking in the following areas:

- On the road right of way
- On any other private property, unless specifically permitted by the owner of the property in question

**Fire Suppression:** There is adequate water supply for this site with the existing hydrants and the relatively short distance from the right of way to the dwelling.

The current site plan appears to provide adequate access for emergency vehicle access.

It is recommended that ventilation be installed if the resident is planning to charge golf carts indoors. This will help prevent the disruptions caused by the carbon monoxide detectors mistakenly alarming due to overcharged batteries.

**Site Security:** Please secure the site with a chain link fence and closing gate. "Felony Trespass Warning" signs should be posted in a visible location. Porta Jon's shall be located to be out of plain view from the roadway. All tools should be secured on the site at the end of the day in a locked container or room.

The General Contractor should establish a file on all Contractor's and Sub Contractor's employees who are working on the site. This should include and document the names of all employees coming to work on the site and be updated weekly with the following:

- Name
- Address
- Driver's license number
- Vehicle Registration number

Trespass authorization forms should be signed, notarized, and submitted to the Public Safety Department. The completed form enables officers to act on behalf of the property owner to warn trespassers to leave the site and not return upon penalty of law.

**Other concerns:** There **are full-time residents** in the immediate area of this construction site. The contractor shall ensure compliance with the following requirements:

- Noise ordinance requirements in and around the site, including decibel and time limits; no loud music permitted.
- No trespassing on private property
- Control of damage to lawns, curbs, rights of way or any foliage by contractors, workers, and equipment. Repairs need to be completed *immediately*.

The purpose of this is to ensure a safe and secure construction site on Jupiter Island. We are requesting this information be incorporated in the initial plan review process and as such, be indicated and agreed upon by the Town of Jupiter Island Building Department prior to issuance of the permit.

Memo to Impact Review Committee

From: Catherine Harding, Building, Planning and Zoning Director

March 6, 2025



Reference: 169 South Beach Road

This application was submitted for an attached garage to an existing principal dwelling. The applicant has further submitted a revised plan that will relocate the proposed attached garage to an existing accessory structure.

The existing location is a three-sided, 8-foot walled structure with a poured concrete floor and a soft roof. The applicant proposes adding a flat roof with a lower roof profile and creating garage doors at the entry. The Waterfront Set Back Line crosses through the rear portion of the existing garage area. That rear portion is outside of the building envelope. However, the existing footprint will not be expanded, and the roof height will be reduced.

The original proposal of an attached garage required a DEP Permit and a waiver from ZIP, Zoning in Progress. The ZIP waiver was secured on September 9, 2024, by the Town Commission.

This revision will also require a DEP Permit. However, the applicant has agreed to wait until June 2025 or the end of ZIP before applying for a Building Permit.

The existing landscape buffers the walls of the existing garage and will be allowed to grow higher and be enhanced with new landscape materials to conceal the walls from the beach area.

The original requirements of the South Martin Regional Utility, The Police and Fire Department, King Tree Service, and The Public Services Director as they effect this application will remain in place. The Construction Site Maintenance Requirements will be monitored by Code Compliance.

**LANDSCAPE SITE DATA**

LOT AREA	82,349 SF	B-40 1-ACRE ESTATE RESIDENTIAL DISTRICT	
ZONING DISTRICT	B-40	REQUIRED	EXISTING
ZONING REGULATIONS		REQUIRED	EXISTING
LANDSCAPE AREA:	50% (41,175 SF)	60.5% (50,338 SF)	60.5% (50,208 SF)

**PLANT LIST**

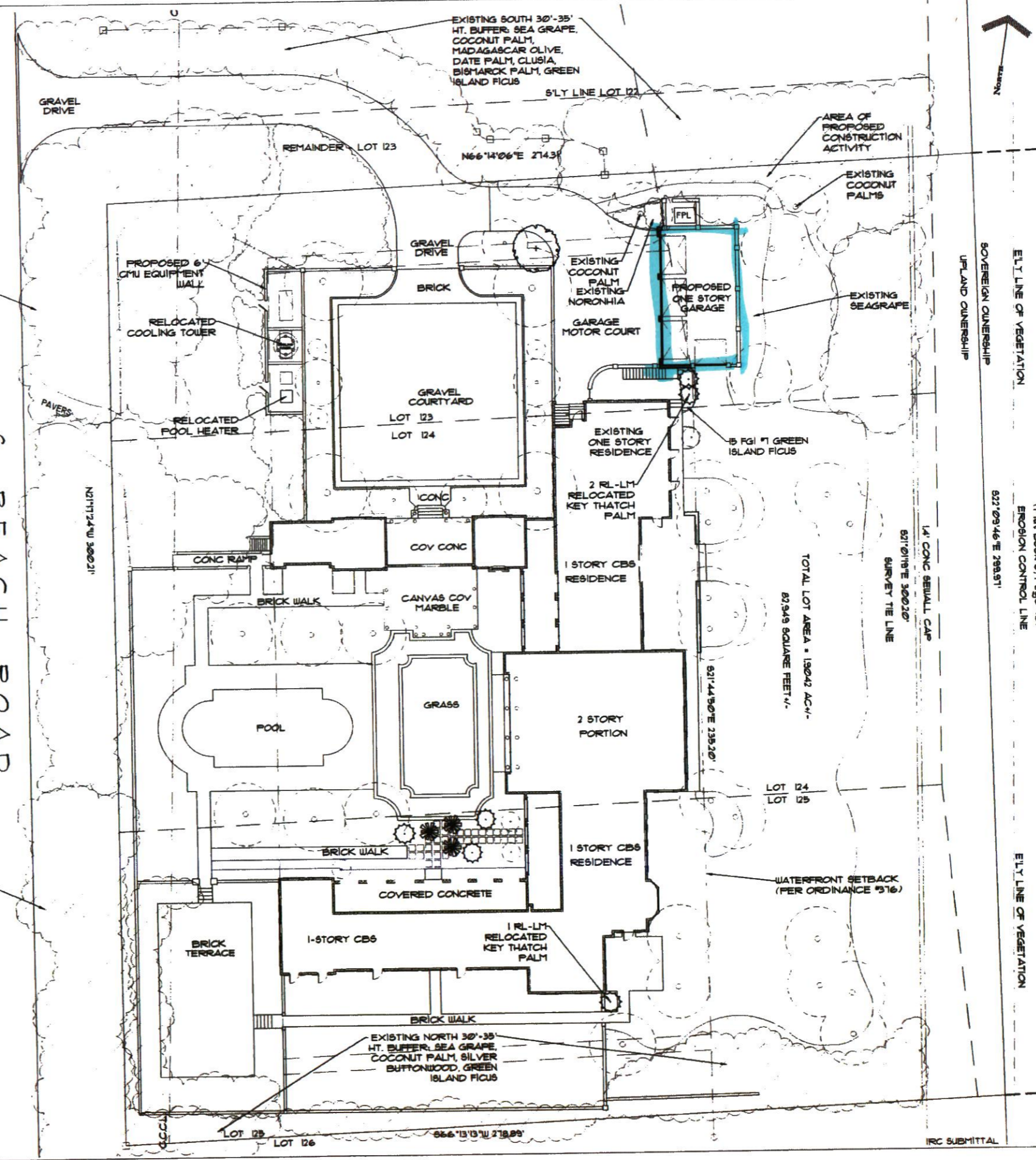
Key	Quantity	Botanical Name	Common Name	Specifications	Spacing
RI-1	18	Ficus microcarpa Green Island	Green Island Ficus	11.30" x 20" Sp. Full Plants	24" OC
RI-LM	4	22 Relocated Key Thatch Palm on Site		TO BE LOCATED ON SITE BY L.A.	As Shown

S BEACH ROAD

STATE ROAD NO. 107  
(60' R/W)

EXISTING SOUTH 30'-35'  
HT. BUFFER: SEA GRAPE,  
CHINESE FAN PALM,  
COCONUT PALM, DATE  
PALM, BISMARCK PALM,  
GINGER, SABAL PALM

EXISTING SOUTH 30'-35'  
HT. BUFFER: SEA GRAPE,  
CHINESE FAN PALM,  
COCONUT PALM, DATE  
PALM, BISMARCK PALM,  
GINGER, SABAL PALM



TOTAL LOT AREA = 15042 ACU-  
82,349 SQUARE FEET +/-

1/4 CONC SEWALL CAP  
631'0\"/>

ELY LINE OF VEGETATION  
 UPLAND OWNERSHIP  
 SOVEREIGN OWNERSHIP  
 EROSION CONTROL LINE  
 ELY LINE OF VEGETATION



DRAWN BY: MR  
 DESIGNED BY: MR  
 CHECKED BY: MR/MS

DATE: 08.24.24  
 REVISION: 1.1.24  
 1.1.24  
 1.1.24  
 SCALE: 1/16"=1'-0"  
 PROJECT OF THE FIRM OF  
 INNOCENTI & WHEELER  
 HENRIKSSON  
 LANDSCAPE ARCHITECTS  
 6800 SE OLYMPIA AVENUE, SUITE 200  
 PORTLAND, OREGON 97206-5410  
 PHONE: (503) 253-8888 FAX: (503) 253-8810

ALTERNATIVE LANDSCAPE PLAN  
 for the  
 TUCKER JOHNSON RESIDENCE  
 180 South Beach Road, Jupiter Island

Drawing Number:  
**L3.0**



**TOWN OF JUPITER ISLAND BUILDING DEPARTMENT**

2 Bridge Road, Hobe Sound, FL 33455

Phone (772) 545-0150

[building@tji.martin.fl.us](mailto:building@tji.martin.fl.us)

Date Received

7/1/25

**PERMIT APPLICATION FORM**

Please submit one set of paper documents/plans, as well as a digital copy for larger projects (disc or dropbox)

Permit No. P11981 F.B.C. Version \_\_\_\_\_ Accepted By \_\_\_\_\_ Application Date \_\_\_\_\_

**APPLICATION INFORMATION**

Owner's Name TUCKER JOHNSON  
Address 169 SOUTH BEACH ROAD  
City HUOE SOUND State FL Zip 33455  
Home Phone ( ) \_\_\_\_\_  
Cell Phone ( ) \_\_\_\_\_

**CONTRACTOR**

Owner / Builder (per 489.103, F.S.) Yes  No   
Contractor License No. CR1326483  
Company SANDS CONSTRUCTION  
Address 11850 SE SHELL AVE  
City HUOE SOUND State FL Zip 33455  
Phone (TEL) 546-2111 Fax ( ) \_\_\_\_\_  
Email MILK @ SANDS CONSTRUCTION COMPANY.COM

**PROPOSED IMPROVEMENT LOCATION**

Address of Improvement 169 SOUTH BEACH ROAD  
Project Name 169 SOUTH BEACH

**DESIGN PROFESSIONAL**

Architect / Engineer's Name HUGHESUMBANTHOWER ARCHITECTS  
Address 11894 SE DIXIE HWY  
City HUOE SOUND State FL Zip 33455  
Phone (TEL) 546-7011 Fax ( ) \_\_\_\_\_  
Email CLINT @ HNUM.COM

**DESCRIPTION OF IMPROVEMENTS**

Description of the Proposed Work

The revised garage plan per IRC meeting March 6, 2025 (PZE-0398) will be a separate structure to the principal Residence.

Project Type: New  Addition  Alteration  Repair  Demo  Temporary  Wall / Fence   
New Main House  New Guest House  New Acces. Building  Pool / Spa  Dock / Dune Crossover  Other

**STRUCTURE INFORMATION**

Total Sq. Ft. \_\_\_\_\_ Building Height \_\_\_\_\_ No. of Stories \_\_\_\_\_ Flood Zone \_\_\_\_\_



**PERMIT FEE / COST DATA**

Total Job / Construction Value \$ 662,500 X .015 (1.5%) = Permit Fee of \$ 9,937.50 (\$25.00 minimum)  
FL Surcharges (2.5% Permit Fee) \$ 248.44 (to be completed by the Building Dept.)  
TOTAL \$ 10,185.94

A signed contract may be substituted for an Owner's signature when approved by the Building Official. (For small permits, such as Air Conditioning and Water Heater Change-Outs)

Sq. Ft. Under Air \_\_\_\_\_ @ Cost / Sq. Ft. \$ \_\_\_\_\_ = Total \$ \_\_\_\_\_  
Sq. Ft. Other \_\_\_\_\_ @ Cost / Sq. Ft. \$ \_\_\_\_\_ = Total \$ \_\_\_\_\_  
Total Cost per Square Foot \$ \_\_\_\_\_

**APPLICANT AFFIDAVIT**

I hereby certify that I have read and examined this application and know the same to be true and correct. Application is hereby made to obtain a permit to do work and installation as indicated. Applicant certifies that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction.

Applicant further acknowledges the following:

A permit shall be valid for a period of eighteen (18) months from the date of issuance, with the following conditions:

- This permit becomes null and void if work or construction authorized is not commenced within 6 months or if construction or work is suspended or abandoned for a period of 6 months at any time after work is commenced.
- Permit will be considered suspended or abandoned if it does not pass an inspection within 180 days.

• NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

PROPERTY OWNER

[Signature] AS AGENT 7-1-25  
Signature of Owner Date

CONTRACTOR

[Signature] 7-1-25  
Signature of Qualifier Date

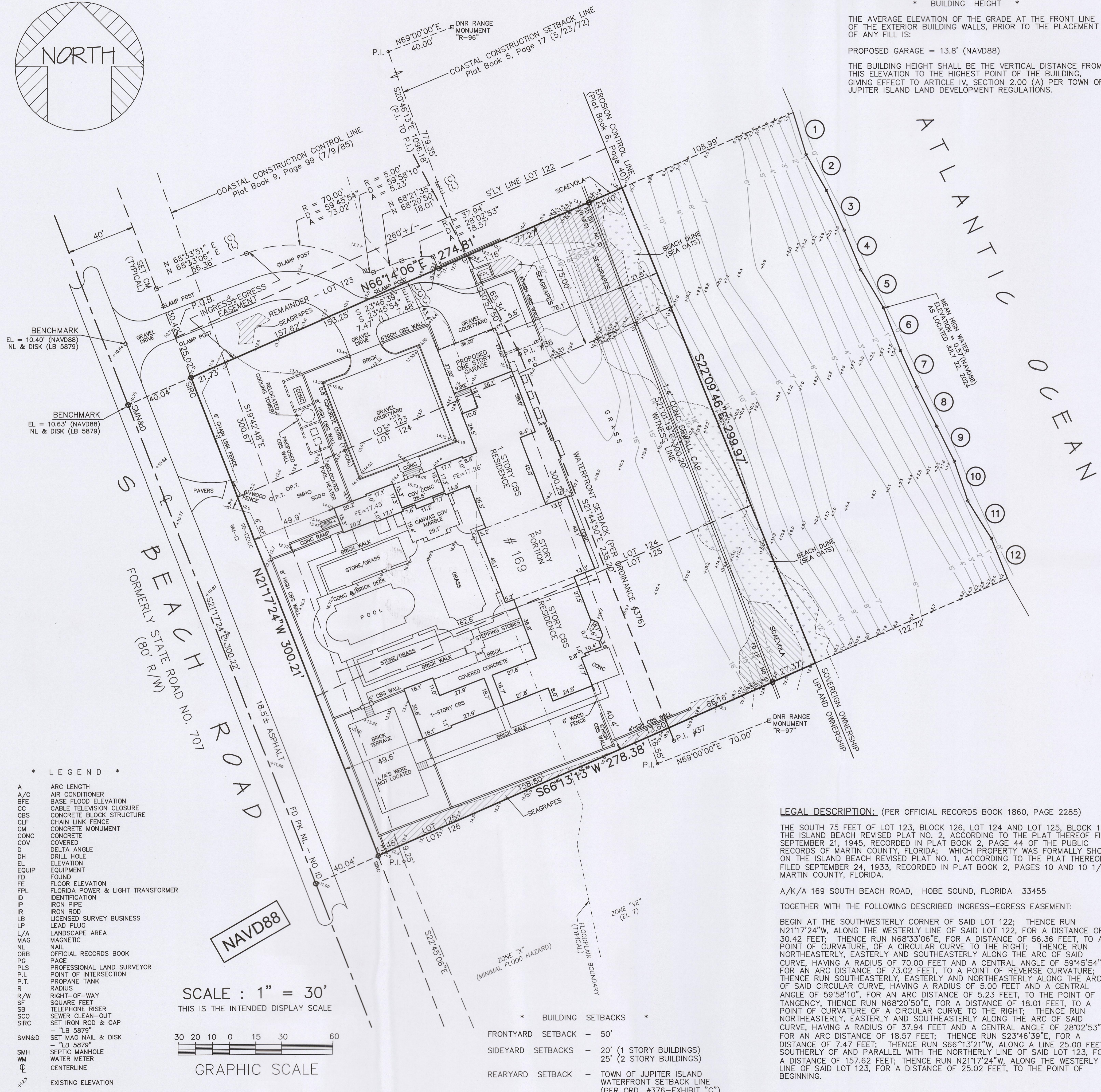
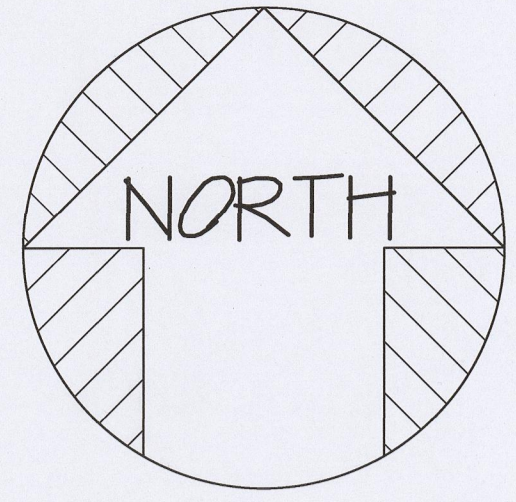
**APPROVAL**

(TO BE FILLED OUT BY THE TOWN OF JUPITER ISLAND BUILDING OFFICIAL)

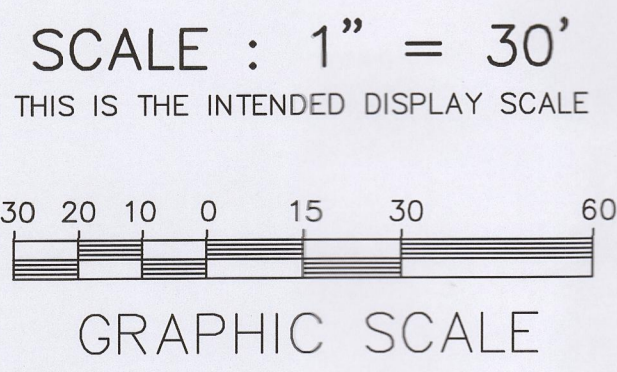
Approved By: [Signature] Date: 7/3/25

Special Conditions: separate garage building - only  
no basement added





- LEGEND**
- A ARC LENGTH
  - A/C AIR CONDITIONER
  - BFE BASE FLOOD ELEVATION
  - CC CABLE TELEVISION CLOSURE
  - CBS CONCRETE BLOCK STRUCTURE
  - CLF CHAIN LINK FENCE
  - CM CONCRETE MONUMENT
  - CONC CONCRETE
  - COV COVERED
  - D DELTA ANGLE
  - DH DRILL HOLE
  - EL ELEVATION
  - EQUIP EQUIPMENT
  - FD FOUND
  - FE FLOOR ELEVATION
  - FFL FLORIDA POWER & LIGHT TRANSFORMER
  - ID IDENTIFICATION
  - IP IRON PIPE
  - IR IRON ROD
  - LB LICENSED SURVEY BUSINESS
  - LP LEAD PLUG
  - L/A LANDSCAPE AREA
  - MAG MAGNETIC
  - ORB OFFICIAL RECORDS BOOK
  - PG PAGE
  - PLS PROFESSIONAL LAND SURVEYOR
  - P.I. POINT OF INTERSECTION
  - P.T. PROPANE TANK
  - R/R RADIUS
  - R/W RIGHT-OF-WAY
  - SF SQUARE FEET
  - SB TELEPHONE RISER
  - SCO SEWER CLEAN-OUT
  - SIRC SET IRON ROD & CAP
  - "LB 5879"
  - SMN&D SET MAG NAIL & DISK
  - "LB 5879"
  - SMH SEPTIC MANHOLE
  - WM WATER METER
  - CL CENTERLINE
  - EXISTING ELEVATION



- BUILDING SETBACKS**
- FRONTYARD SETBACK - 50'
  - SIDEYARD SETBACKS - 20' (1 STORY BUILDINGS)  
25' (2 STORY BUILDINGS)
  - REARYARD SETBACK - TOWN OF JUPITER ISLAND WATERFRONT SETBACK LINE (PER ORD. #376-EXHIBIT "C")

\* BUILDING HEIGHT \*

THE AVERAGE ELEVATION OF THE GRADE AT THE FRONT LINE OF THE EXTERIOR BUILDING WALLS, PRIOR TO THE PLACEMENT OF ANY FILL IS:

PROPOSED GARAGE = 13.8' (NAVD88)

THE BUILDING HEIGHT SHALL BE THE VERTICAL DISTANCE FROM THIS ELEVATION TO THE HIGHEST POINT OF THE BUILDING, GIVING EFFECT TO ARTICLE IV, SECTION 2.00 (A) PER TOWN OF JUPITER ISLAND LAND DEVELOPMENT REGULATIONS.

**MEAN HIGH WATER LINE NOTE:**

MEAN HIGH WATER ELEVATION = 0.57' (NAVD88)

ELEVATIONS ARE NAVD (1988) PER DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF SURVEYING AND MAPPING, TIDAL WATER SURVEY PROCEDURAL APPROVAL. THE TIDAL WATER SURVEY DEPICTED HEREIN COMPLIES WITH CHAPTER 177, PART II, FLORIDA STATUTES AND IS RECORDED IN THE PUBLIC REPOSITORY OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF SURVEYING AND MAPPING AS MEAN HIGH WATER SURVEY FILE 9135.

THE LINES SHOWN HEREIN AND NOTED AS MEAN HIGH WATER LINE, DOES NOT NECESSARILY REFLECT ALL OF THE SINUOSITIES OF SAID LINE, AND ONLY THOSE POINTS MARKED BY CIRCLES, ARE IN FACT ON SAID LINE. THE TANGENTS WHICH CONNECT THESE POINTS BY BEARING AND DISTANCE, ARE SHOWN TO PROVIDE A CLOSED GEOMETRIC FIGURE. THE HORIZONTAL LOCATION OF SAID POINTS ON THE MEAN HIGH WATER LINE WERE ESTABLISHED UTILIZING REAL-TIME KINEMATIC GLOBAL POSITIONING SYSTEM (RTK GPS).

MONUMENTATION WAS NOT SET AS A SAFETY PRECAUTION. TIES TO TWO UPLAND MONUMENTS WERE ESTABLISHED.

\* MEAN HIGH WATER LINE DATA \*

#	BEARING	DISTANCE
1)	S 17°14'09" E	25.61'
2)	S 29°45'36" E	24.35'
3)	S 24°09'56" E	25.47'
4)	S 22°52'49" E	25.15'
5)	S 30°58'35" E	25.92'
6)	S 21°32'45" E	26.72'
7)	S 24°29'09" E	23.33'
8)	S 26°45'25" E	25.78'
9)	S 26°34'06" E	22.81'
10)	S 19°03'10" E	24.49'
11)	S 32°19'14" E	25.80'
12)	S 21°47'12" E	25.37'

- SURVEYOR'S NOTES:**
- NOT VALID WITHOUT ALL SHEETS AND THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  - BEARINGS SHOWN HEREON ARE GRID BASED ON THE PLAT OF COASTAL CONSTRUCTION CONTROL LINE, RECORDED JULY 9, 1985 IN PLAT BOOK 9, AT PAGE 99, LYING BETWEEN DNR RANGE MONUMENTS "R-96" AND "R-97"; SHOWN HEREON PER PLAT FOR GENERAL LOCATION PURPOSES ONLY.
  - THIS SURVEY IS BASED ON A CLOSED GEOMETRIC FIGURE EXCEEDING A HORIZONTAL CLOSURE OF 1:10000 U.S. SURVEY FEET. WELL-IDENTIFIED FEATURES SHOWN HEREON HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.1 FEET.
  - ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) AND ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BENCHMARK USED: "M 308" (NGS), ELEVATION = 13.16' (NAVD88)
  - THE EXPECTED ACCURACY OF SPOT ELEVATIONS SHOWN HEREON IS 0.03 FEET FOR THE HARD SURFACE ELEVATIONS AND 0.1 FEET FOR NATURAL GRADE ELEVATIONS.
  - BEARINGS, ANGLES, AND DIMENSIONS SHOWN HEREON ARE FIELD MEASURED QUANTITIES UNLESS NOTED OTHERWISE AS: (L) = LEGAL MEASUREMENT; (C) = CALCULATED MEASUREMENT; (M) = FIELD MEASUREMENT.
  - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF TITLE AND IS SUBJECT TO EASEMENTS, RIGHT-OF-WAYS AND OTHER ENCUMBRANCES WHICH MAY BE REVEALED IN A SEARCH OF TITLE TO THE SUBJECT LAND.
  - THE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY NAMED IN CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON, WITHOUT THE EXPRESS RECOGNITION BY THE SURVEYOR NAMING SAID PERSON.
  - THERE HAS BEEN NO ATTEMPT TO LOCATE ANY SUBSURFACE IMPROVEMENTS, FOOTERS, FOOTINGS AND/OR UTILITIES ON THIS PROPERTY OR ADJACENT RIGHTS-OF-WAY.
  - SUBJECT PROPERTY LIES IN FLOOD ZONES "X" (MINIMAL FLOOD HAZARD), AND "VE" (EL 7). FLOODPLAIN BOUNDARIES SHOWN HEREON WERE SCALED FROM DIGITAL FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE MAP #12085C0336H, DATED FEBRUARY 19, 2020. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
  - LOT AREA = 82,949 SQUARE FEET (1.90425 ACRES) MORE OR LESS.

**LEGAL DESCRIPTION:** (PER OFFICIAL RECORDS BOOK 1860, PAGE 2285)

THE SOUTH 75 FEET OF LOT 123, BLOCK 126, LOT 124 AND LOT 125, BLOCK 127, THE ISLAND BEACH REVISED PLAT NO. 2, ACCORDING TO THE PLAT THEREOF FILED SEPTEMBER 21, 1945, RECORDED IN PLAT BOOK 2, PAGE 44, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; WHICH PROPERTY WAS FORMALLY SHOWN ON THE ISLAND BEACH REVISED PLAT NO. 1, ACCORDING TO THE PLAT THEREOF FILED SEPTEMBER 24, 1933, RECORDED IN PLAT BOOK 2, PAGES 10 AND 10 1/2, MARTIN COUNTY, FLORIDA.

A/K/A 169 SOUTH BEACH ROAD, HOBE SOUND, FLORIDA 33455

TOGETHER WITH THE FOLLOWING DESCRIBED INGRESS-EGRESS EASEMENT:

BEGIN AT THE SOUTHWESTERLY CORNER OF SAID LOT 122; THENCE RUN N21°17'24"W, ALONG THE WESTERLY LINE OF SAID LOT 122, FOR A DISTANCE OF 30.42 FEET; THENCE RUN N68°33'06"E, FOR A DISTANCE OF 56.36 FEET, TO A POINT OF CURVATURE, OF A CIRCULAR CURVE TO THE RIGHT; THENCE RUN NORTHEASTERLY, EASTERLY AND SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 70.00 FEET AND A CENTRAL ANGLE OF 59°45'54", FOR AN ARC DISTANCE OF 73.02 FEET, TO A POINT OF REVERSE CURVATURE; THENCE RUN SOUTHEASTERLY, EASTERLY AND NORTHEASTERLY ALONG THE ARC OF SAID CIRCULAR CURVE, HAVING A RADIUS OF 5.00 FEET AND A CENTRAL ANGLE OF 59°58'10", FOR AN ARC DISTANCE OF 5.23 FEET, TO THE POINT OF TANGENCY, THENCE RUN N68°20'50"E, FOR A DISTANCE OF 18.01 FEET, TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE RUN NORTHEASTERLY, EASTERLY AND SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 37.94 FEET AND A CENTRAL ANGLE OF 28°02'53", FOR AN ARC DISTANCE OF 18.57 FEET; THENCE RUN S23°46'39"E, FOR A DISTANCE OF 7.47 FEET; THENCE RUN S66°13'13"W, ALONG A LINE 25.00 FEET SOUTHERLY OF AND PARALLEL WITH THE NORTHERLY LINE OF SAID LOT 123, FOR A DISTANCE OF 157.62 FEET; THENCE RUN N21°17'24"W, ALONG THE WESTERLY LINE OF SAID LOT 123, FOR A DISTANCE OF 25.02 FEET, TO THE POINT OF BEGINNING.

**CERTIFICATION VALID TO:**

1. S. TUCKER S. JOHNSON

**CERTIFICATION:**

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

R. L. VAUGHT & ASSOCIATES, INC.  
LICENSED BUSINESS NO. 5879

By: *P. Mizziel Zarella*  
P. Mizziel Zarella  
Professional Land Surveyor No. 6736  
State of Florida

DATE OF LAST FIELD WORK:  
July 22, 2024

REVISIONS	BY
6/5/03 * ROOF & SOFFIT ELEV. & MEAN GRADE ORDER NO 807714	RLV, SR
9/16/03 * ADD INGRESS-EGRESS EASEMENT ORDER NO 807787	RLV
12/11/03 * TREE SURVEY FB: 155/751 ORDER NO 807750	RLV
7/22/05 * FORMBOARD TIE-IN * FB: 155/711 ORDER NO 808490	RLV
06/15/16 * PARTIAL TOPO FB: 207/23 ORDER NO 81273	PMZ
06/28/24 * ADD PROPOSED SITE PLAN ORDER NO 819907	RLV III
07/23/24 * MHWL SURVEY * FB: DC ORDER NO 819906	PMZ
11/12/24 * REVISE PROPOSED SITE PLAN	PMZ

**BOUNDARY & TOPOGRAPHIC SURVEY**

169 SOUTH BEACH ROAD  
HOBE SOUND, FLORIDA 33455  
TOWN OF JUPITER ISLAND

**R. L. VAUGHT & ASSOCIATES, INC.**  
SURVEYORS, MAPPERS & PLANNERS  
LICENSED SURVEY BUSINESS NUMBER 5879  
9075 SE BRIDGE ROAD; HOBE SOUND 33455  
MAIL: P.O. BOX 160 HOBE SOUND, FL 33475  
PHONE: 772-546-8086 FAX: 772-546-8087  
EMAIL: vaught@ellsouth.net

DRAWN	RLV
CHECKED	RLV, SR
SCALE	AS SHOWN
DATE	APRIL 18, 2003
FIELD BOOK	155/11
ORDER NO.	807568
SHEET OF SHEETS	1 1
FILE NUMBER	PB7568-03J

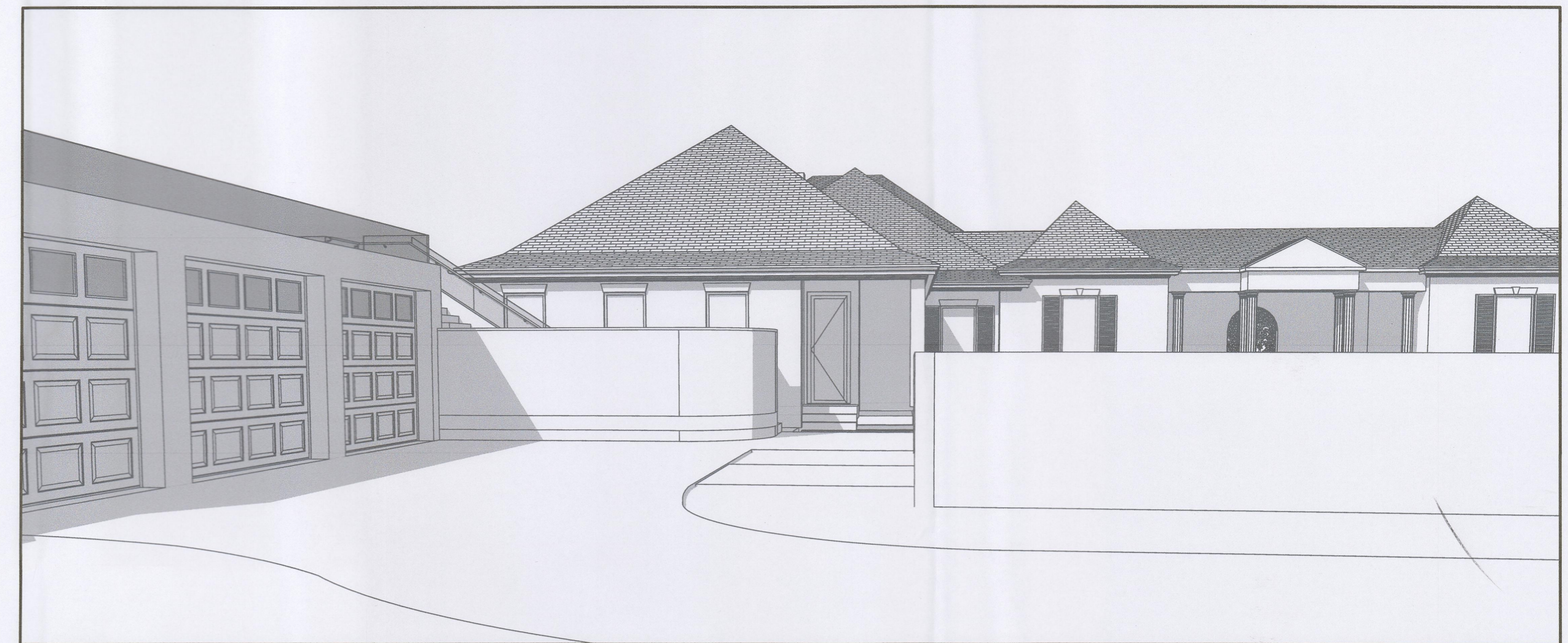
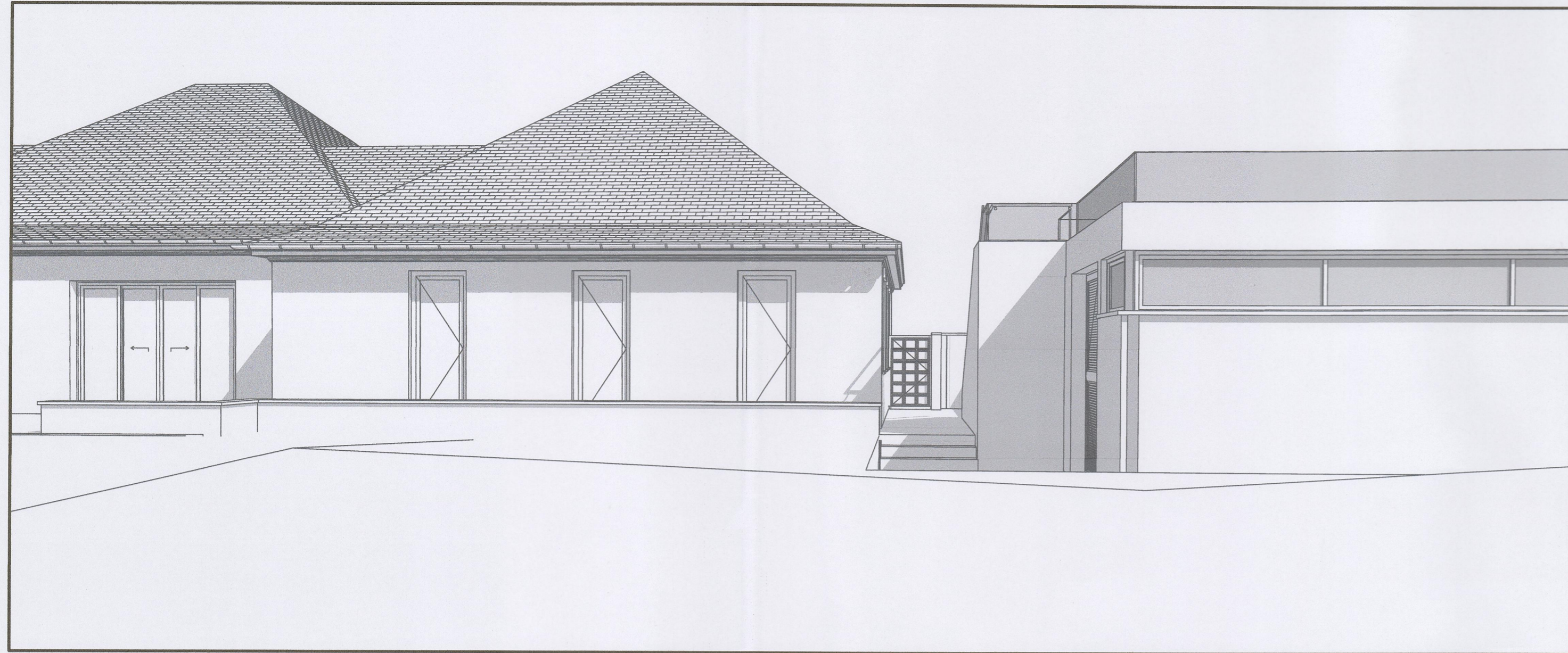
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FILE: .../SOUTH BEACH ROAD/169 SBR/169SBR\_2024-06-28.DWG

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# Johnson Garage

169 S Beach Rd Jupiter Island Florida 33455 USA



## project description:

new one story garage addition

jurisdiction: Jupiter Island, Florida  
code: FBC 2020

## typical notes index

ADJ	adjacent	JT	joint
AFF	above finished floor	LEV	level
ALUM	aluminum	LOC	location
ANOD	anodised		
ATT	attenuation	MAX	maximum
@	at	MECH	mechanical
BETW	between	MEMB	membrane
BLKG	blocking	MFR	manufacturer
BM	beam	MIN	minimum
BSMT	basement	MTD	mounted
		MTL	metal
		MOD	module
C	channel	N.I.C.	not in contract
CEM	cement	NO	number
CJ	control joint		
CL	center line	O.C.	on center
CLNG	ceiling	OPNG	opening
CLR	clear	OPP	opposite
CMU	concrete masonry unit		
COL	column	PL	plate
CONCL	concealed	P.L.	property line
CONC	concrete	PLAS	plaster
CONST	construction	P.LAM	plastic laminate
CONT	continuous	PLY	plywood
		PT	pressure treated
		PTD	painted
DBL	double	RAD	radius
DIM	dimension	RE	refer to
DN	down	RES	resistant
DR	door	RESIL	resilient
DTL	detail	REQ'D	required
DWG	drawing	RM	room
		R.O.	rough opening
EA	each	S.C.	solid core
EJ	expansion joint	SCHED	schedule
EL	elevation	SECT	section
ELEC	electrical	SHT	sheet
ELEV	elevator	SIM	similar
EQ	equal, equal to	S. STL	stainless steel
EQUIP	equipment	STRUCT	structure
EXP	expansion	SUSP	suspended
EXT	exterior		
		T.B.C.	to be confirmed
FF	finish face	T.B.D.	to be determined
FFL	finish floor level	THK	thick
FLR	floor	THRU	through
FLUOR	fluorescent	T.O.	top of
FIN	finish	TYP	typical
FOC	face of concrete		
FOS	face of stud	U.O.N.	unless otherwise noted
FOW	face of wall		
FURR	furring	VEN	veneer
		VER	verify
GA	gauge		
GALV	galvanized	W	with
GLAZ	glazing	WD	wood
GI	galvanized iron	WP	waterproof
GYP	gypsum board	WR	water resistant
HC	hollow core		
HM	hollow metal		
HT	height		
INS	insulation		
INT	interior		

## project team:

### architectural

hughesumbanhowar architects  
11894 S.E. Dixie Highway, Hobe Sound, FL 33455  
huum.com  
phone: 772.546.7011  
florida@huum.com

### landscape architect

Innocenti & Webel  
9350 SE Olympus street, Hobe Sound, FL 33455  
innocenti-webel.com  
phone: 772.546.9650  
RRutledge@iw-hs.com

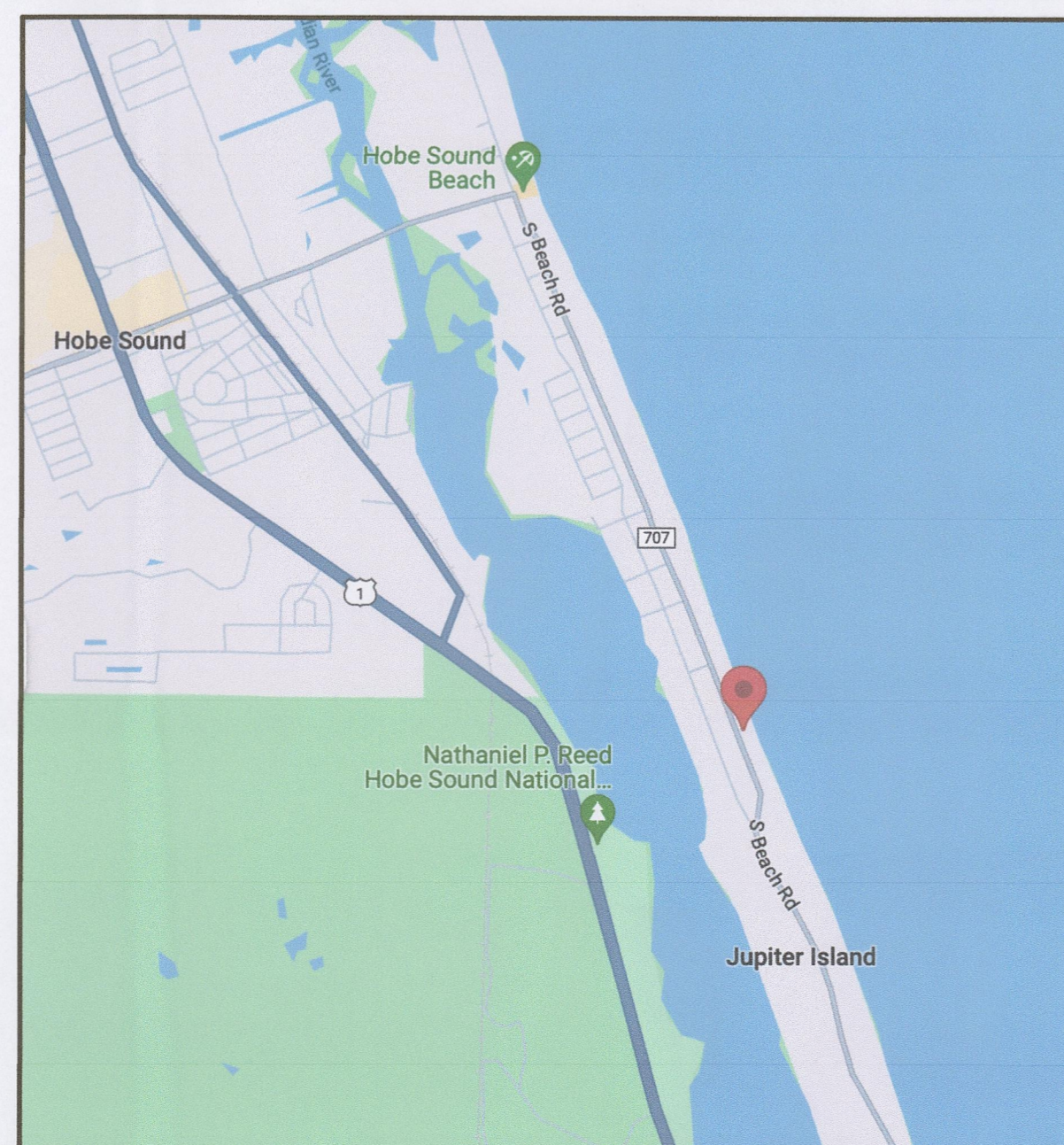
### civil engineer

Gruber Consulting Engineers, Inc  
2475 Mercer Ave., suite 305, West Palm Beach, FL 33401  
phone: 561.312.2041  
chad@gruberengineers.com

### surveyor

R.L. Vaught & Associates  
9075 SE Bridge Road, Hobe Sound, FL 33455  
phone: 772.546.8086  
survey@rivaught.com

## location map



## zoning analysis:

zoning district: B-40 - coastal residential district  
min lot area: 25,000 sf

existing lot area - lots 123,124,125: **82,949 sf**  
total: **82,949 sf**

169 south beach road			
zoning :	B-40		
lot size :	82,949 sf		
total:	82,949 sf		
<b>square footage calculations:</b>			
floor area	allowable	existing	proposed
	first acre: 43,560 sf (.1725) = 7514 sf remaining: 39,389 sf (.07) = 10,271 sf	8,675 sf N/A	8,675 sf 933 sf *
	covered bonus space (50% SF)	2339(.5)=1170 sf	1170 sf
<b>total</b>	<b>10,271sf</b>	<b>9,845 sf</b>	<b>9,845 sf</b>

\* garage square footage exempt per ordinance 393

## sheet index:

### general items

A-0.00 cover sheet

### floor plans

A-1.03 first level proposed

A-1.05 roof level proposed

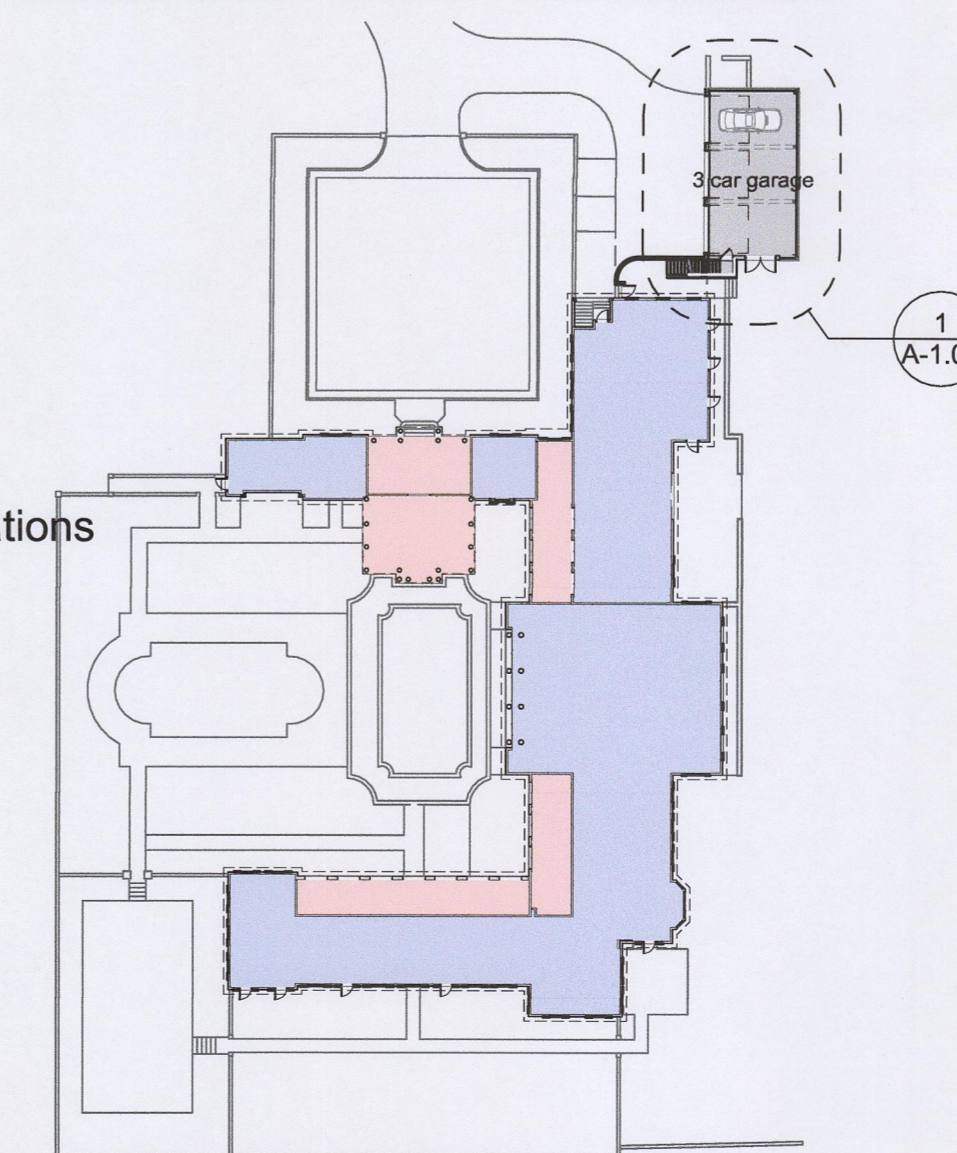
### elevations

A-2.02 proposed exterior elevations

A-2.03 proposed garage exterior elevations & section

### details

A-5.04 exterior details



4 SF diagram  
scale: 1" = 50'

## zoning data:

address: 169 South Beach Rd			
	Required/Permitted	Existing	Proposed
Zoning District	B-40 1 Acre Estate Residential District		
Lot Area:	1 acre	1.90425 acres	1.90425 acres
Lot Width:	140 ft	299.97 ft	299.97 ft
Floor Area/Living Space	10,271 sf	9,845 sf	9,845 sf*
Front Yard Setback:	50 ft	49.6 ft	49.6 ft
Rear Yard Setback:	waterfront setback line per ordinance 376	7.33 ft	5.6 ft
Side Yard Setback:	One Story: 20 ft Two Story: 25 ft		North: 40.4 ft South: 43.4 ft North: N/A South: N/A
Initial Measuring Point:	13.9 ft	13.9 ft	13.9 ft
Fill:	3 ft	N/A	N/A
Roof Height:			
One-Story-Sloped:	22 ft	N/A	22 ft
Two-Story-Sloped:	30 ft	N/A	N/A
Exterior Wall Height:			
One-Story:	14 ft		11 ft
Two-Story:	22 ft		N/A
Parking Spaces: (1 per Bedrm, 1.5 Max)	8 spaces		8 spaces
Driveway Setback:	8 ft		not in scope
Landscape Area:	50%	60.5%	60.5%
Elevation of LHSM:			8.26 ft NAVD
FEMA Flood Zone:	Zone "X", Zone "VE" (EL 8)		
Elevation of Finish Floor:	14 ft		Main House: 17.26 ft Garage: 15.26 ft NAVD

\*garage adds no additional square footage per ordinance 393

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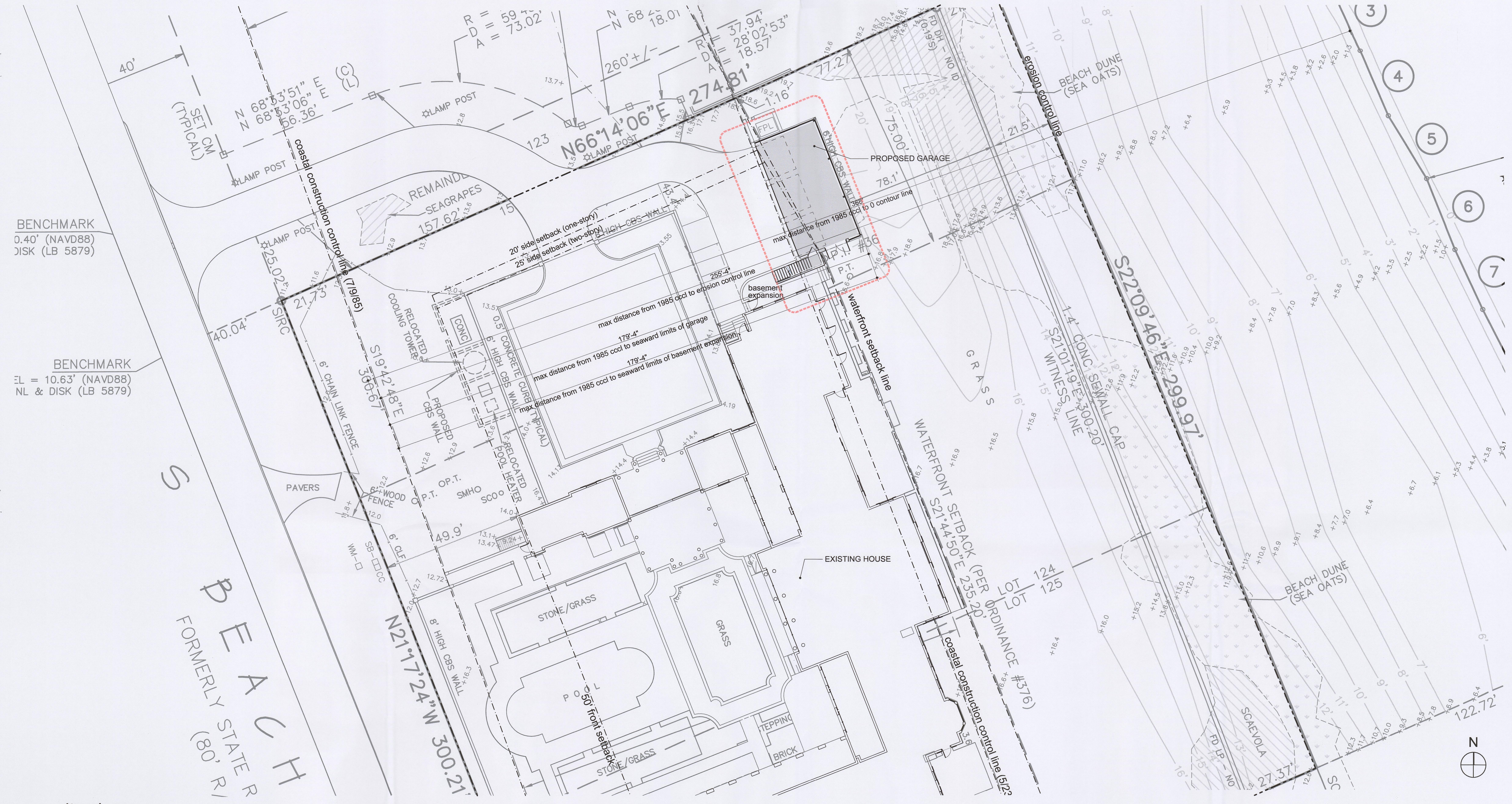
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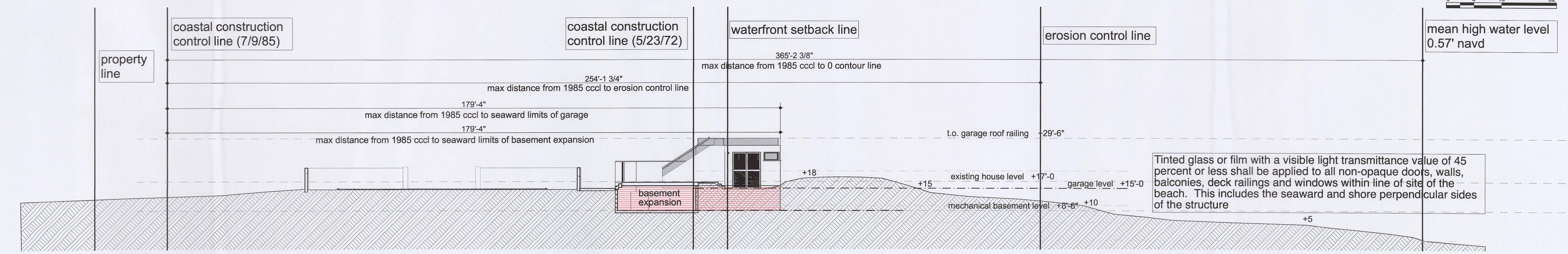
Johnson Garage  
169 S Beach Rd Jupiter Island Florida 33455 USA

9/15/25 DEP Submission

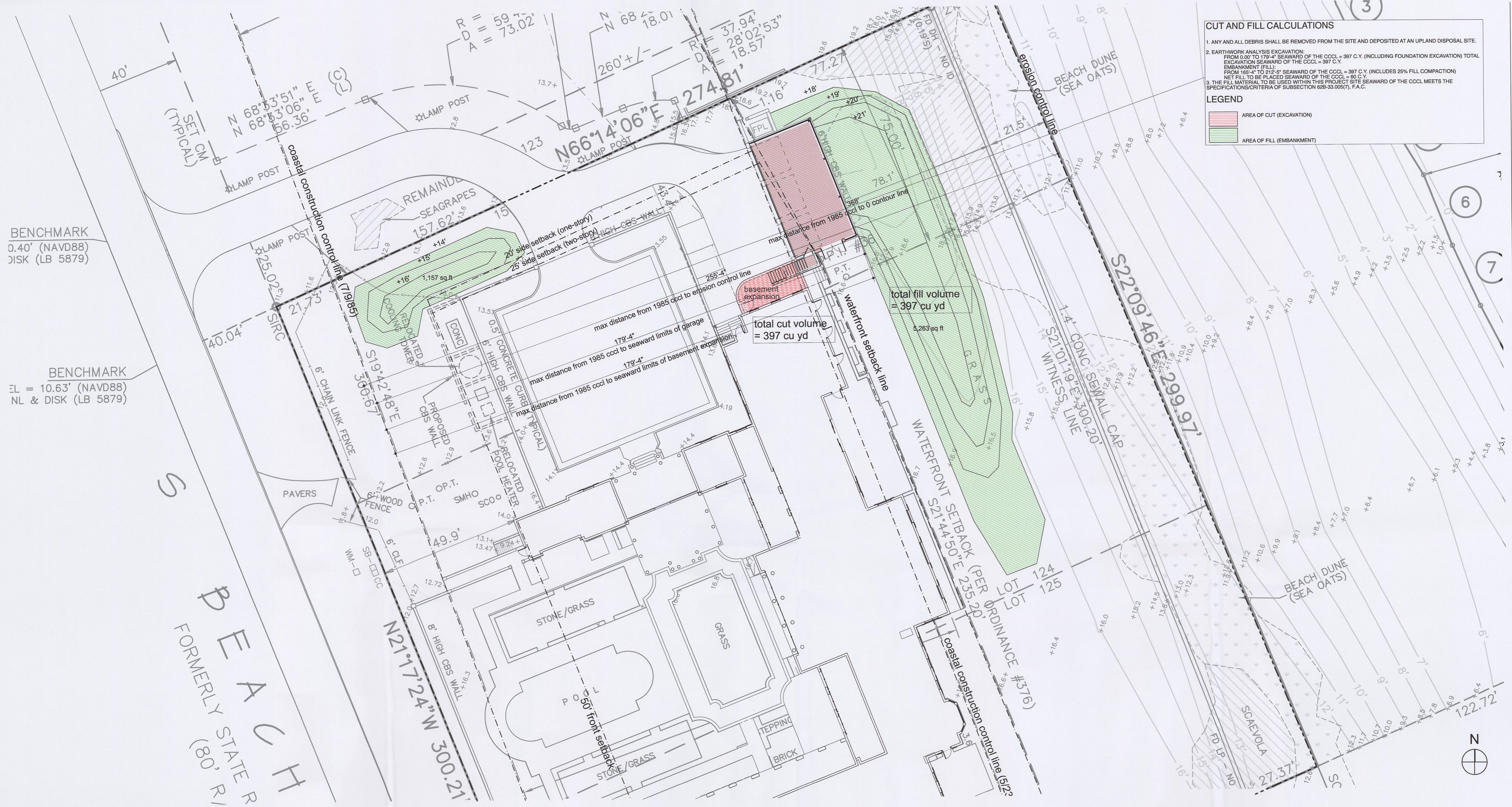
cover sheet  
A-0.00



**1** site plan  
scale: 1/16" = 1'-0"



**3** site section  
scale: 1/16" = 1'-0"



**CUT AND FILL CALCULATIONS**

- ANY AND ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DEPOSITED AT AN UPLAND DISPOSAL SITE.
- EARTHWORK ANALYSIS EXCAVATION:  
FROM 0.00 TO 179'-4" SEAWARD OF THE CCCL = 397 C.Y. (INCLUDING FOUNDATION EXCAVATION) TOTAL EXCAVATION SEAWARD OF THE CCCL = 397 C.Y.  
EMBANKMENT (FILL):  
FROM 165'-4" TO 212'-5" SEAWARD OF THE CCCL = 397 C.Y. (INCLUDES 25% FILL COMPACTION)  
NET FILL TO BE PLACED SEAWARD OF THE CCCL = 80 C.Y.
- THE FILL MATERIAL TO BE USED WITHIN THIS PROJECT SITE SEAWARD OF THE CCCL MEETS THE SPECIFICATIONS/CRITERIA OF SUBSECTION 62B-33.005(7), F.A.C.

**LEGEND**

- AREA OF CUT (EXCAVATION)
- AREA OF FILL (EMBANKMENT)

BENCHMARK  
0.40' (NAVD88)  
DISK (LB 5879)

BENCHMARK  
EL = 10.63' (NAVD88)  
NL & DISK (LB 5879)

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772 546 7011 [thor@huhum.com](mailto:thor@huhum.com)

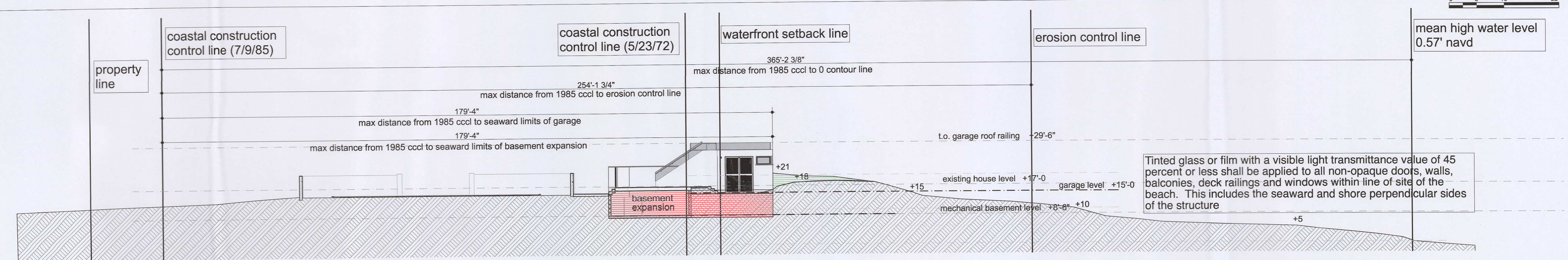
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**Johnson Garage**  
169 S Beach Rd Jupiter Island Florida 33455 USA

**1** site plan  
scale: 1/16" = 1'-0"

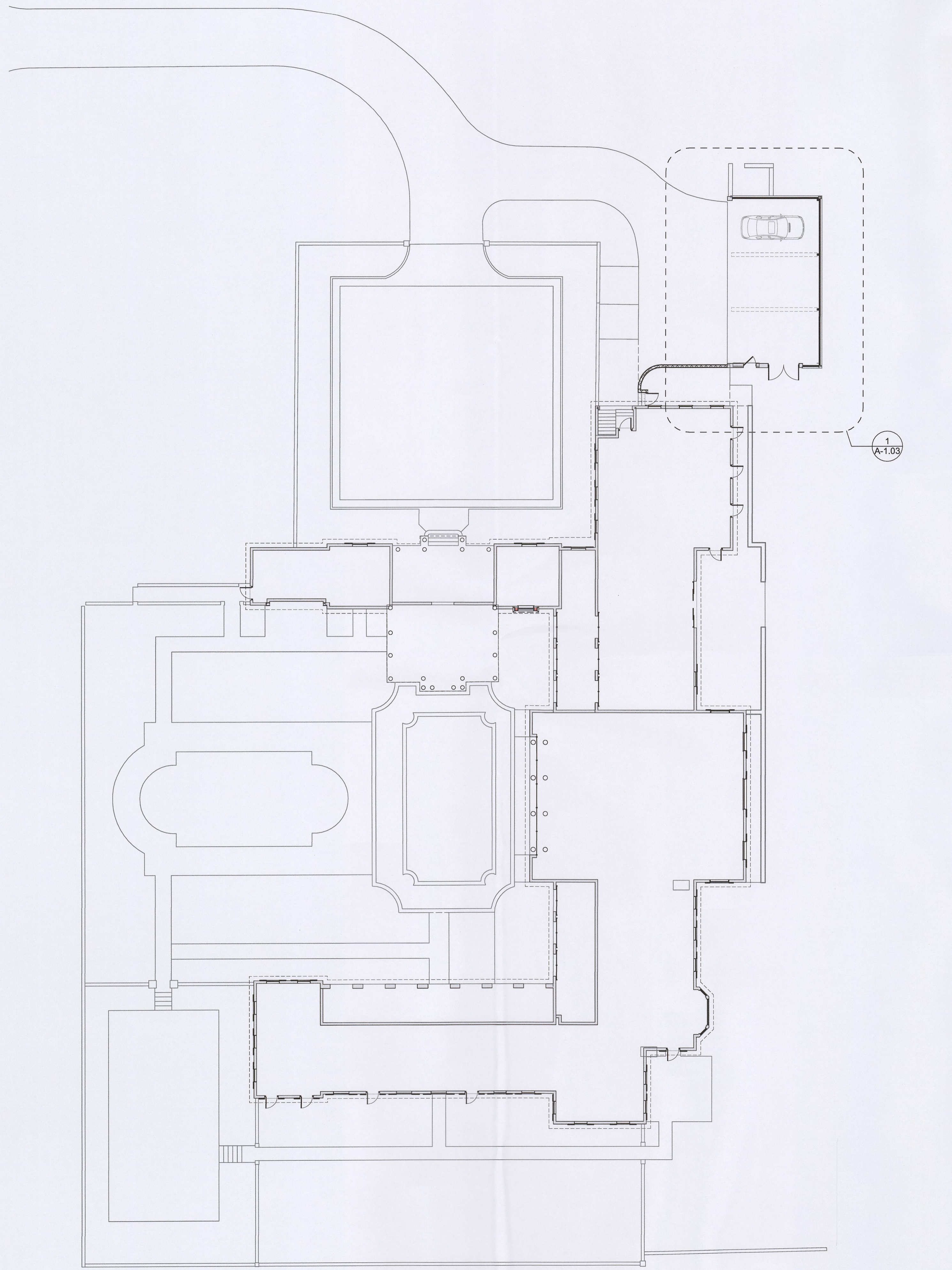


**3** site section  
scale: 1/16" = 1'-0"

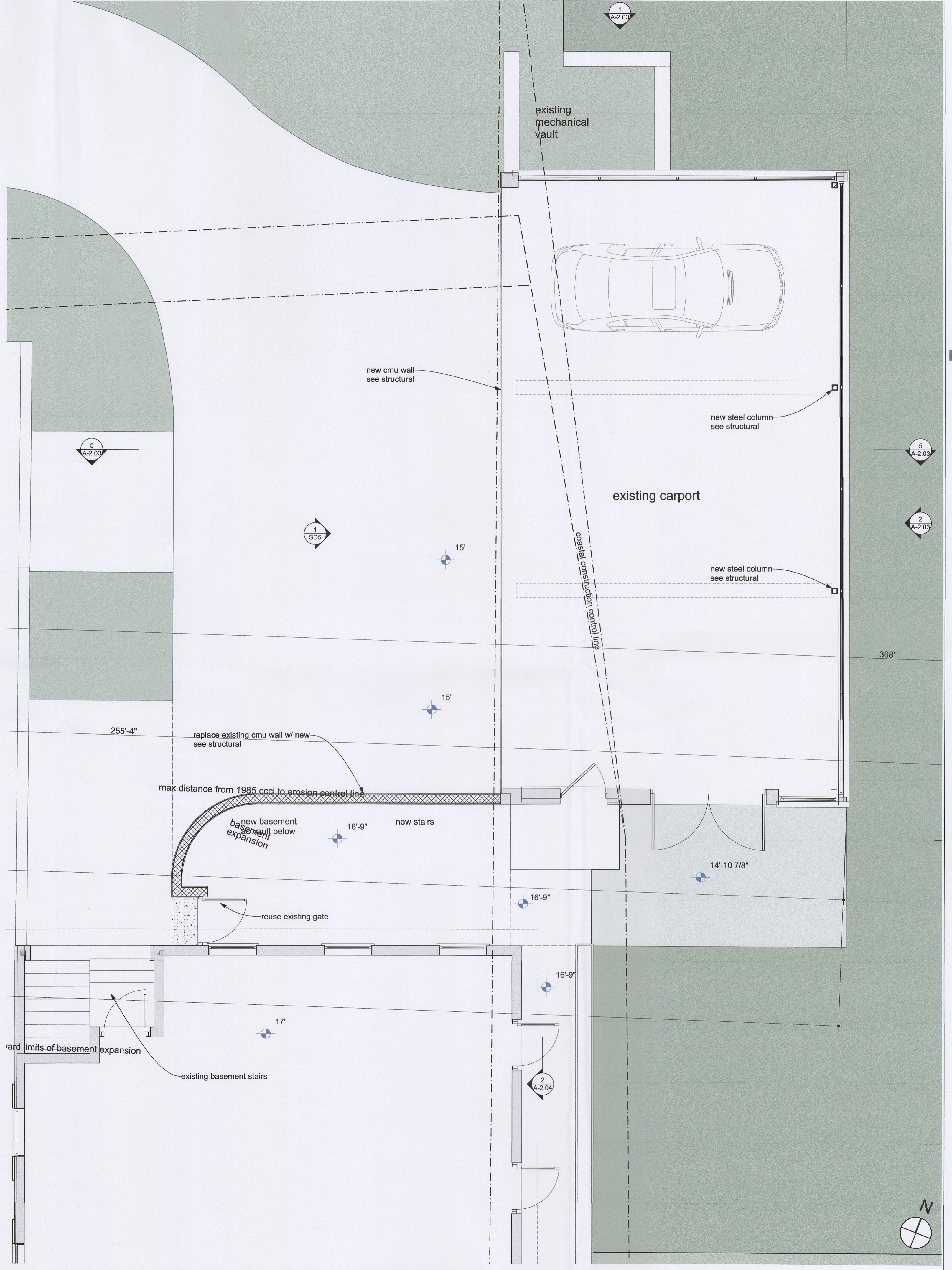
9/5/25 DEP Submission

cut and fill calculations

**A-0.05**



**1** first level existing plan  
scale: 1/16" = 1'-0"



**2** first level existing enlarged  
scale: 1/4" = 1'-0"

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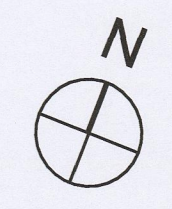
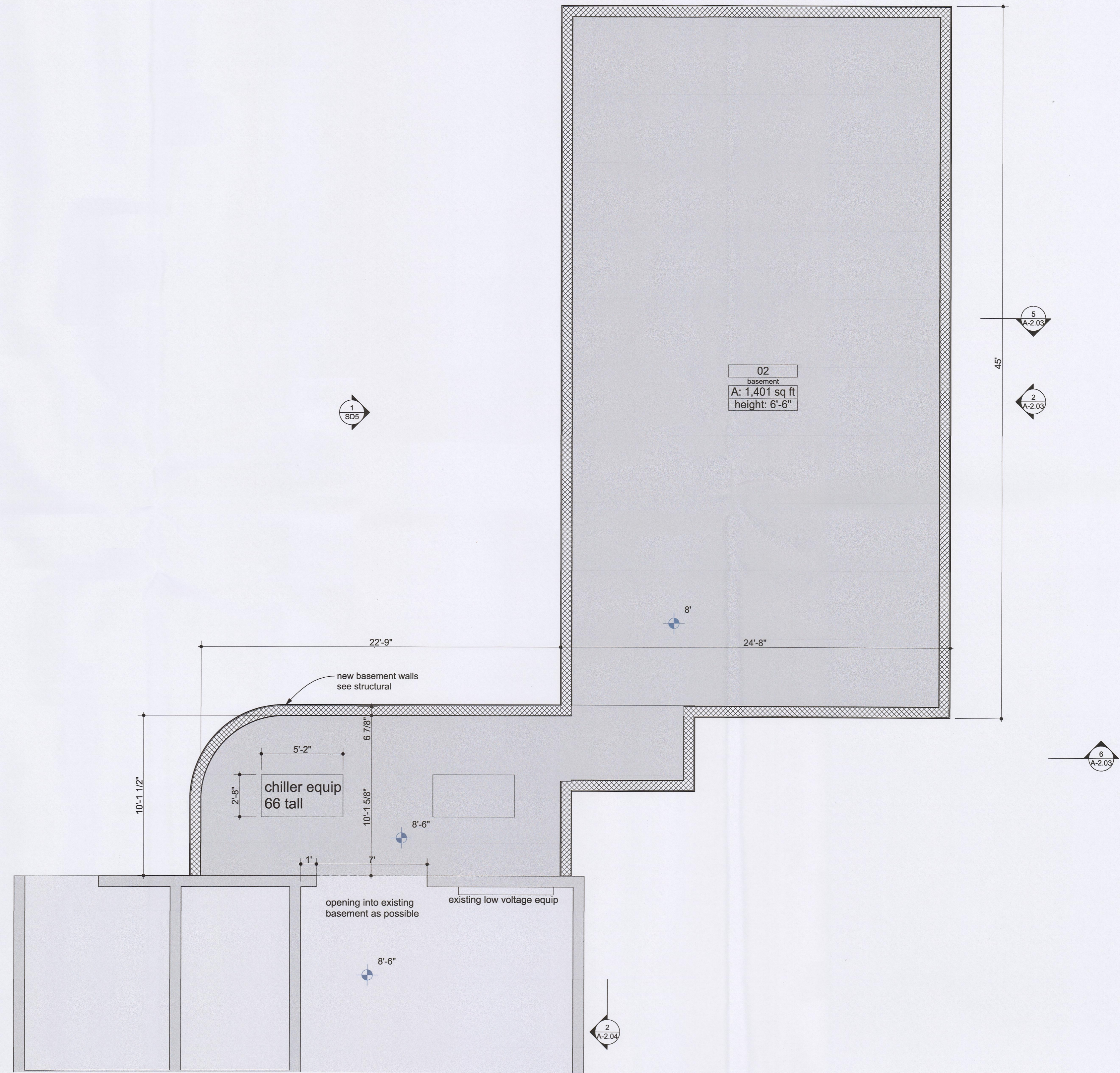
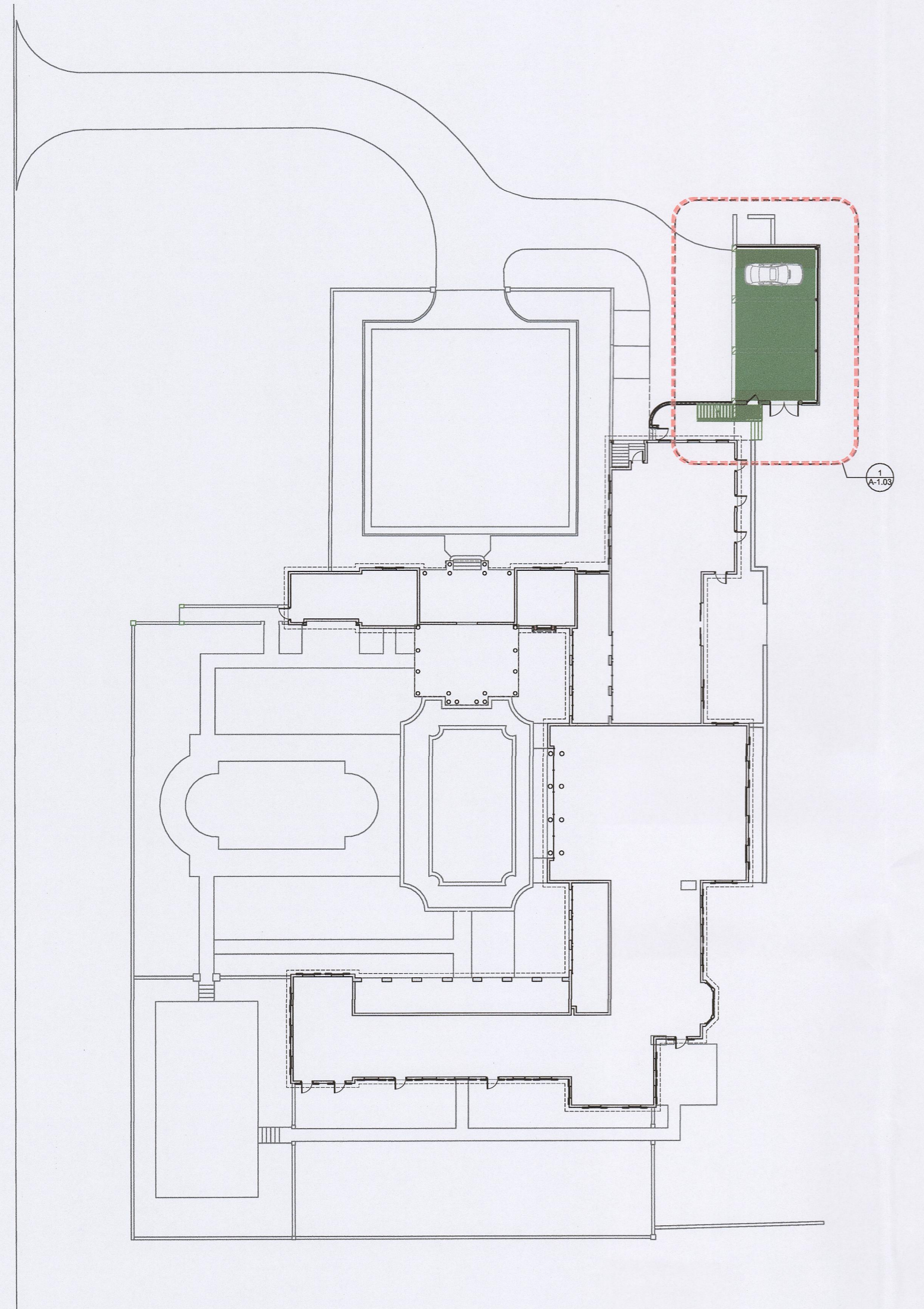


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169 S Beach Rd Jupiter Island Florida 33455 USA

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first level existing  
**A-1.01**



enlarged proposed basement floor plan

A-1.02

Johnson Garage  
169 S Beach Rd Jupiter Island Florida 33455 USA

9/5/25 DEP Submission

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**EXTERIOR LIGHTING FIXTURE TABLE FOR THE MARINE TURTLE PROTECTION LIGHTING PLAN**

Exterior lighting fixtures and lamps must be selected to meet established criteria which minimize impacts to marine turtles. FWC recommendation of this fixture table does not relieve the applicant from the responsibility of meeting the established criteria once construction has occurred. Upon installation, if the criteria are not met, the fixtures, bulbs and/or lamps must be shielded, repositioned, realigned, or otherwise modified to meet the criteria. All site lighting installed under a DEP permit must be fully compliant with local lighting regulations, where applicable, and must not cause a disturbance or take of a marine turtle as defined under the Federal Endangered Species Act.

Project Name: Johnson Garage  
 DEP File Number: \_\_\_\_\_

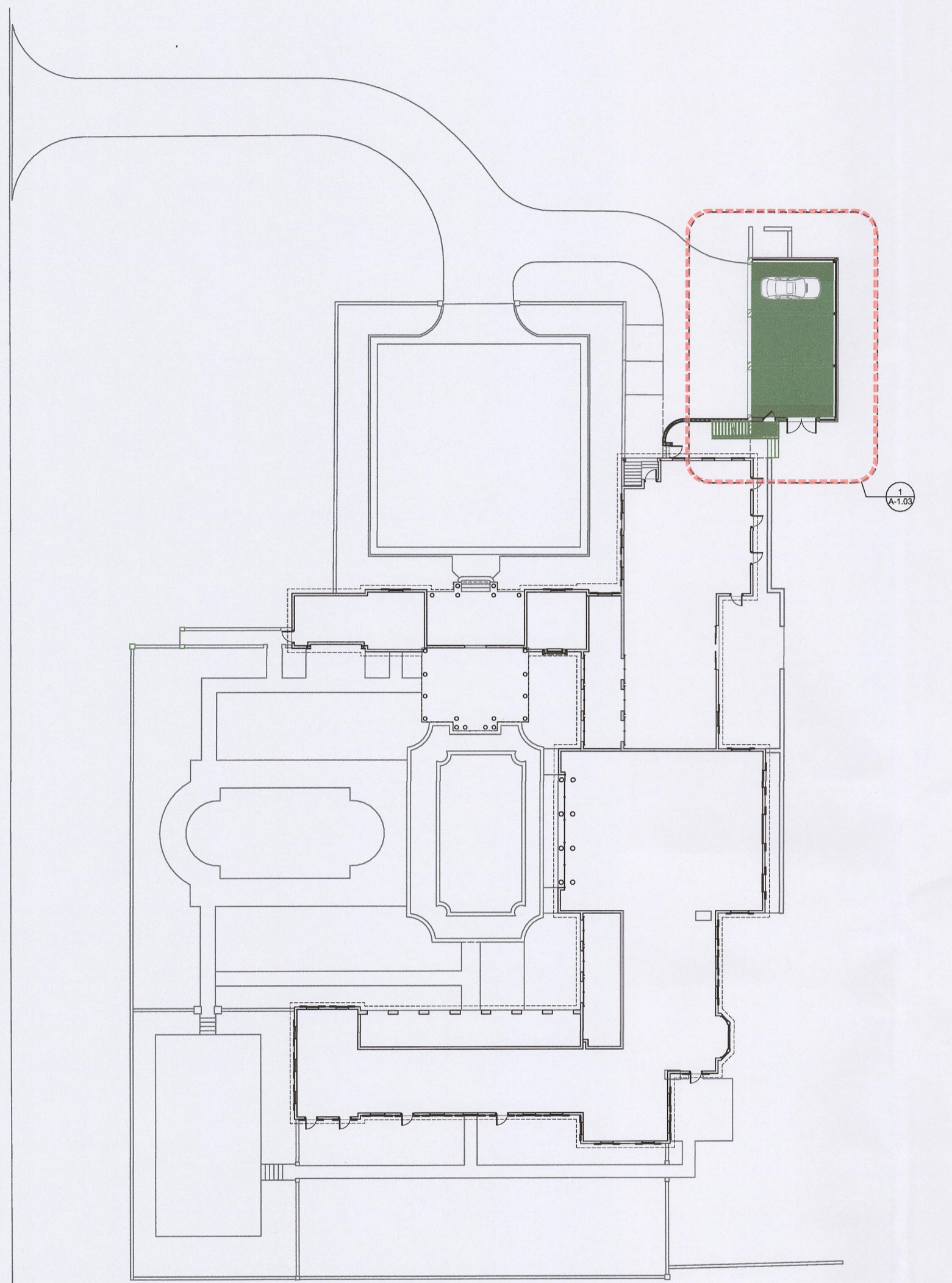
Submitted by: \_\_\_\_\_  
 Submitted Date: \_\_\_\_\_  
 Drawing/Plan Date: \_\_\_\_\_

FWC Reviewer: \_\_\_\_\_  
 FWC Stamp Date: \_\_\_\_\_

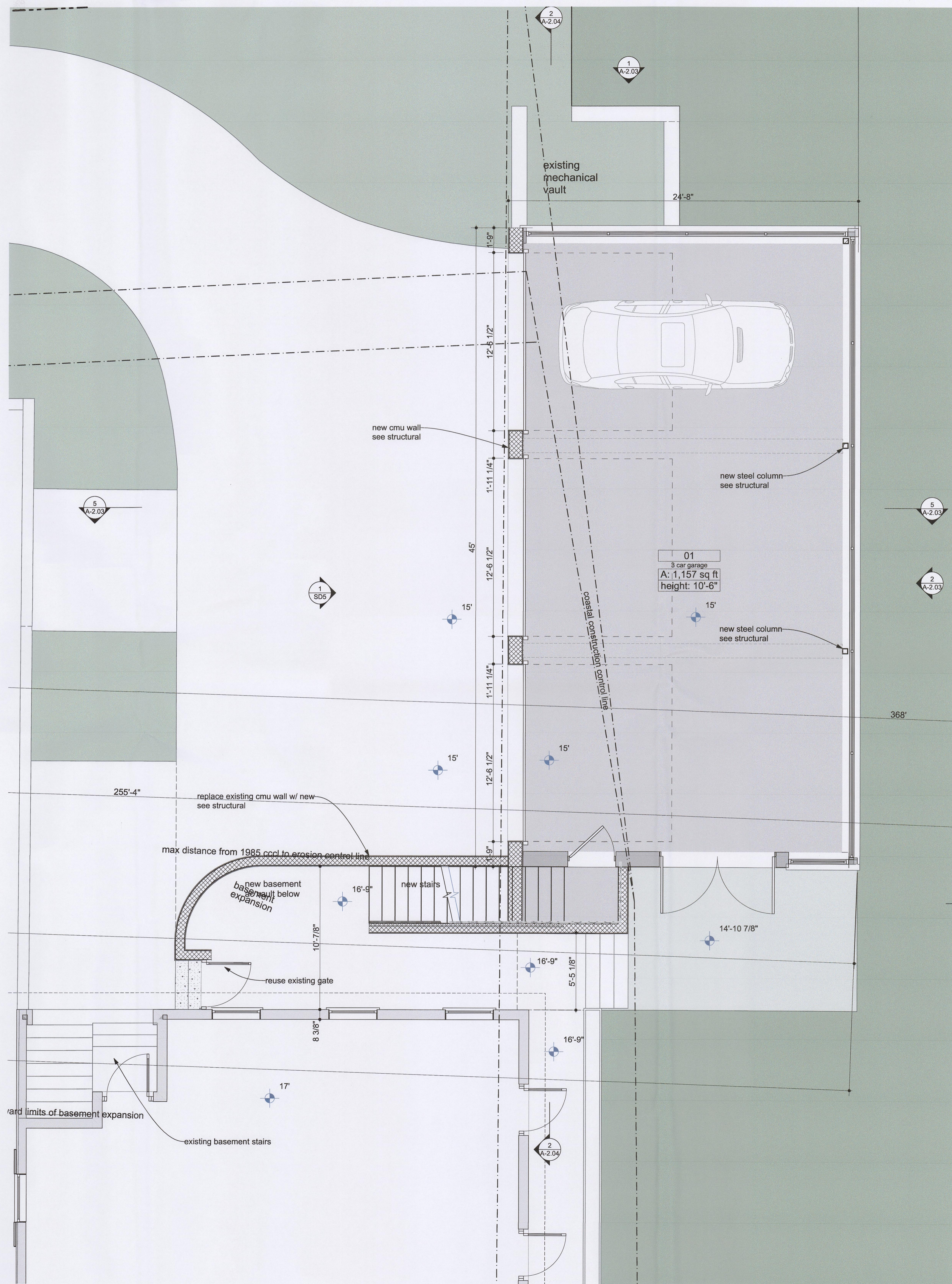
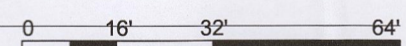
Note: It is recommended that this document be printed on legal size paper. Column/row sizes or print area can be adjusted as necessary.

Note: The last three (3) columns will be completed by FWC staff.

Fixture Label	Fixture Quantity	Fixture/Mounting Type	Fixture Mounting Height	Manufacturer and Catalog No.	Lamp Type, Color and Wattage	Structure Level <sup>1</sup> and review see next to see a reference	Location of Fixture	Drawing Sheet Number	Labelled Callout Provided (Y/N)	Recommended by FWC (Y/N)	Reason Not Recommended <sup>2</sup> and/or Comments
A	4	WALL SCONCE	8'	WAVE LIGHTING - ESSW OUTDOOR WALL FIXTURE	LED 26 A MODEL, 11W 500 MA AMBER	1	ABOVE GARAGE DOORS	A-2.03			
B	6	STEP LIGHT	7' ABOVE READ	FOREVER BRIGHT - SPJ17-40-1P OUTDOOR STEP LIGHT	LED 2700K 150 LUMENS AMBER 2W	1	ON EVERY 3RD SIAK	A-2.03			



**2** overall site plan - north portion  
 scale: 1/32" = 1'-0"



**1** first level proposed plan  
 scale: 1/4" = 1'-0"



enlarged proposed 1st floor plans

**A-1.03**

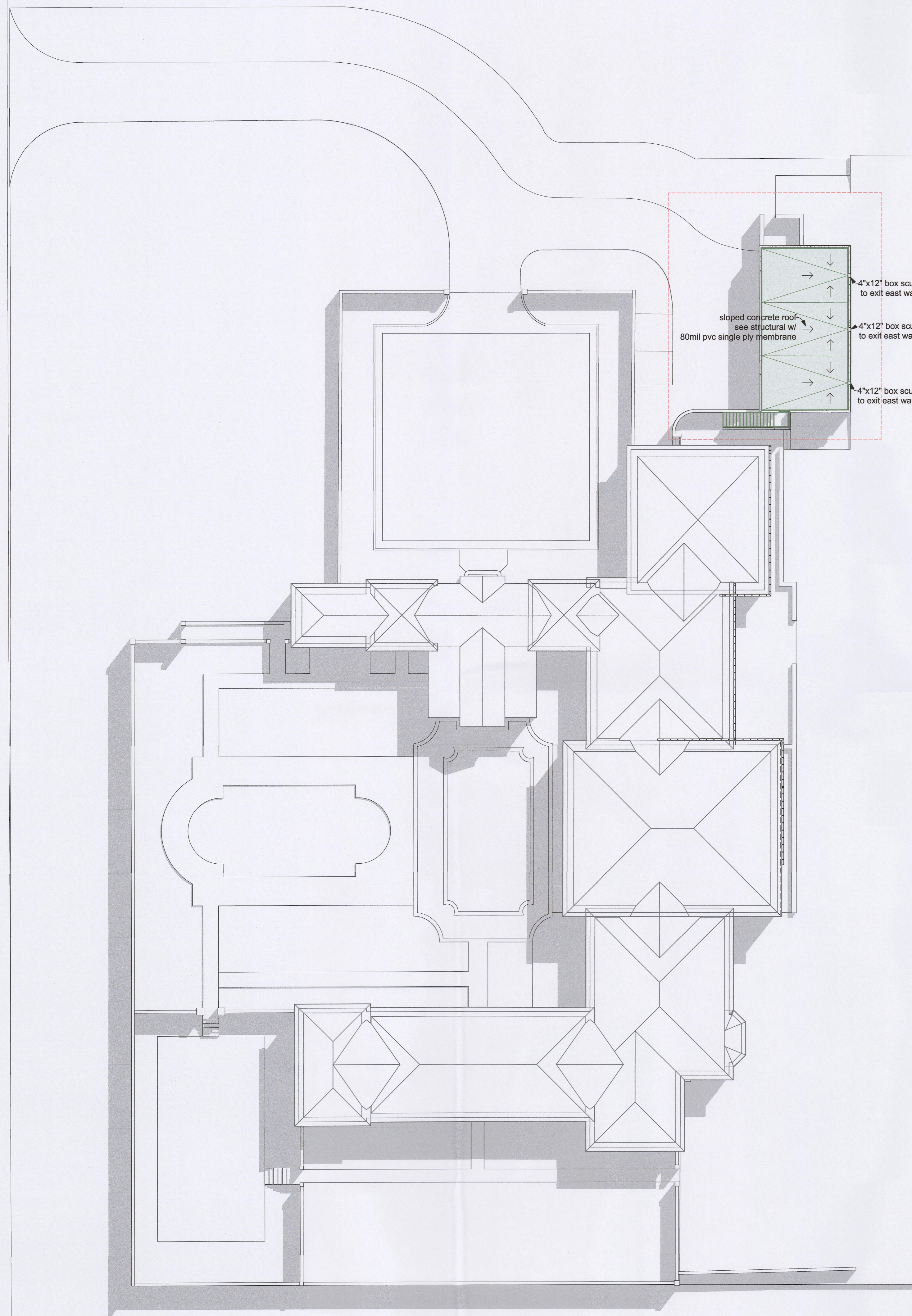
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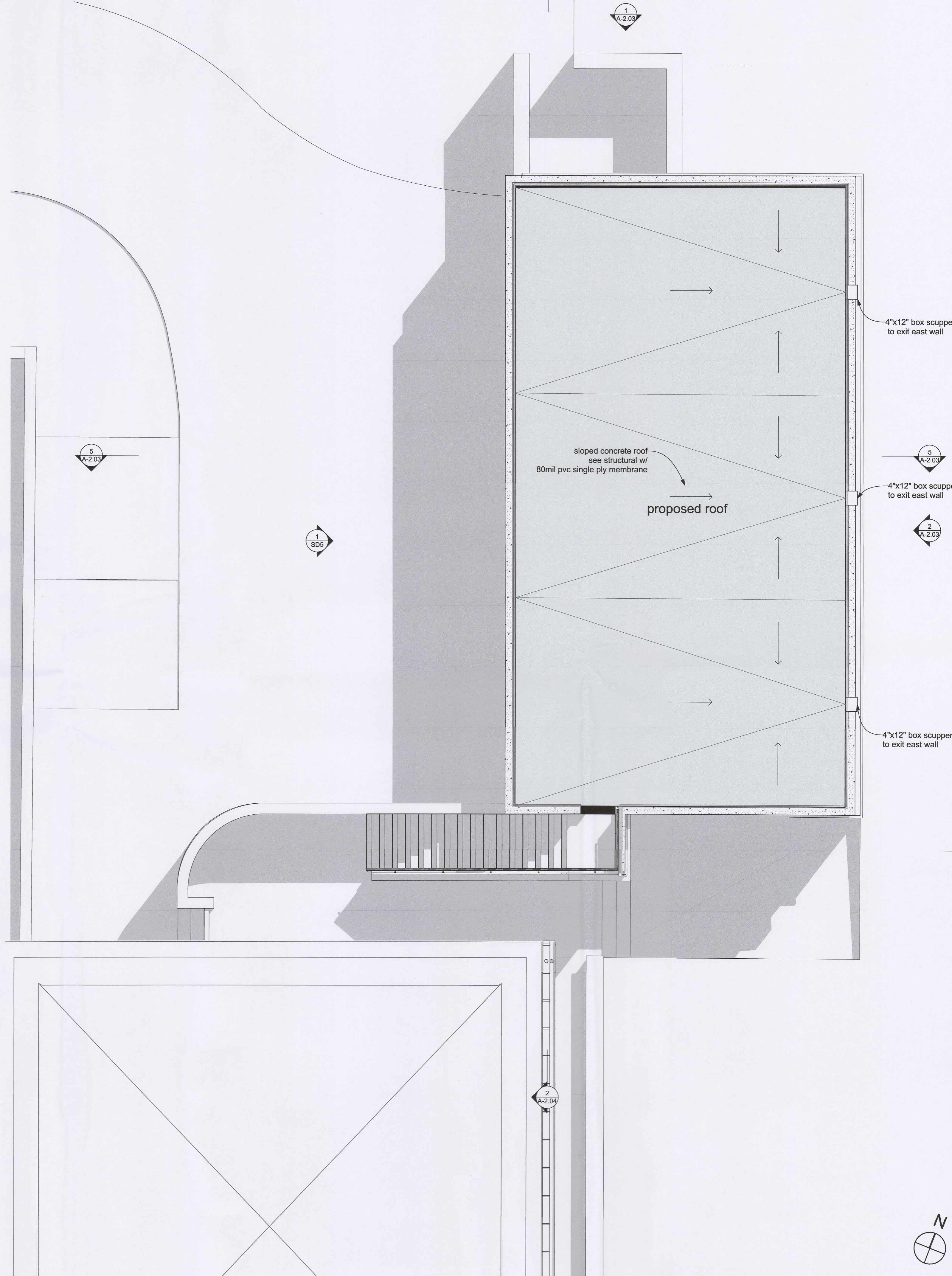
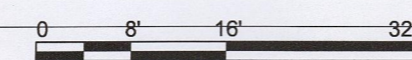
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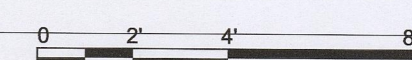
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**1** roof level proposed plan  
scale: 1/16" = 1'-0"



**2** roof level proposed enlarged  
scale: 1/4" = 1'-0"



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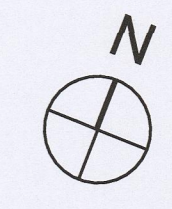
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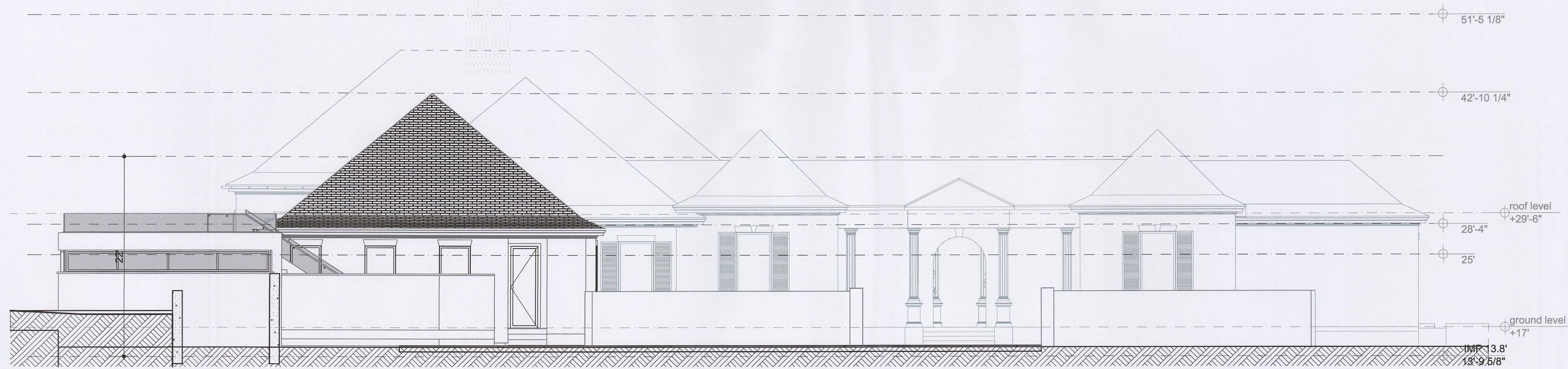
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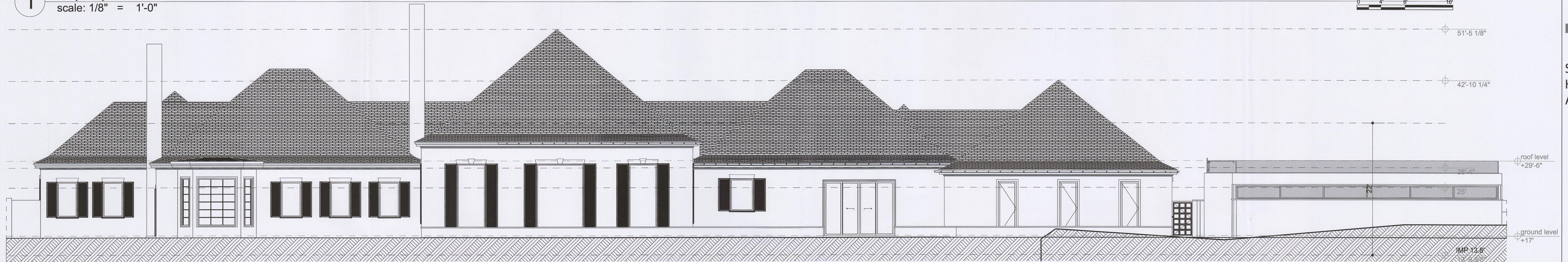
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roof level proposed  
**A-1.04**

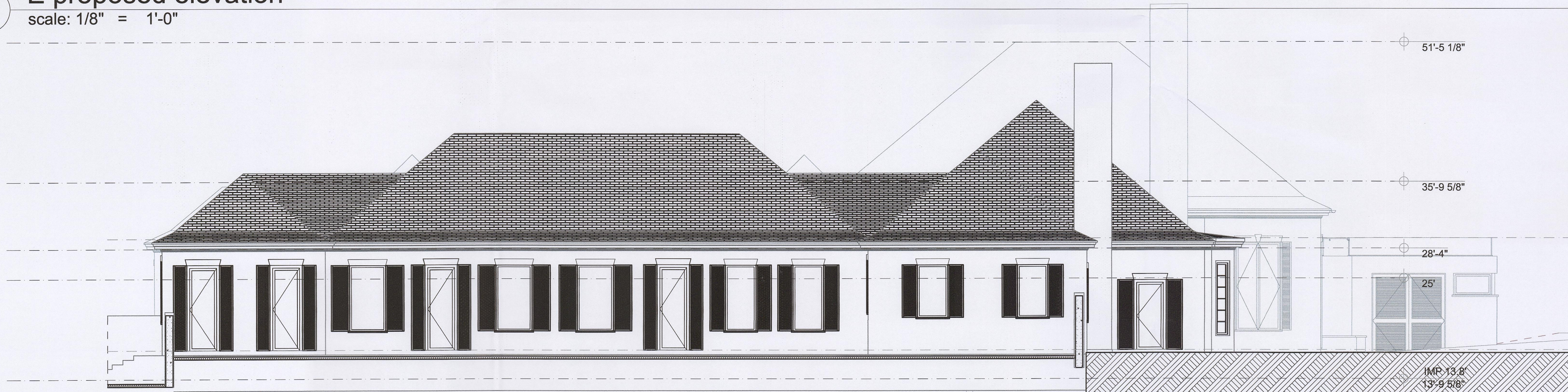




1 N proposed elevation  
scale: 1/8" = 1'-0"



2 E proposed elevation  
scale: 1/8" = 1'-0"



3 S proposed elevation  
scale: 1/8" = 1'-0"



4 W proposed elevation  
scale: 1/8" = 1'-0"

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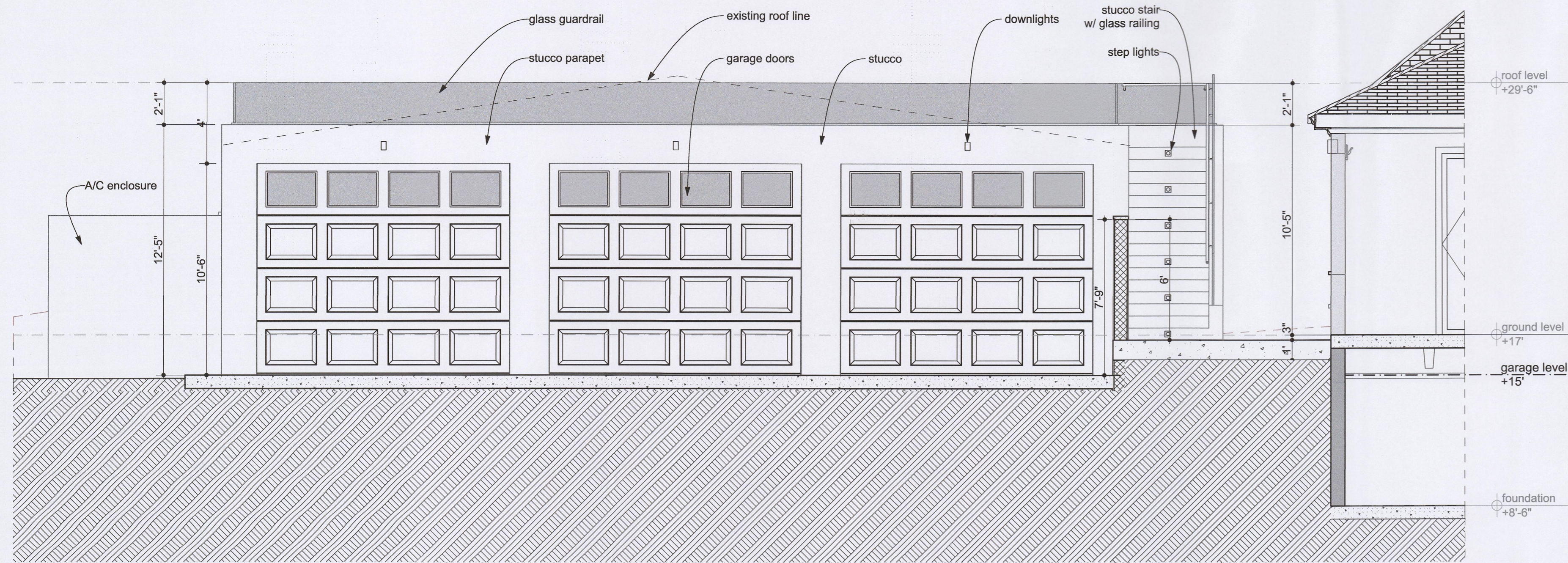
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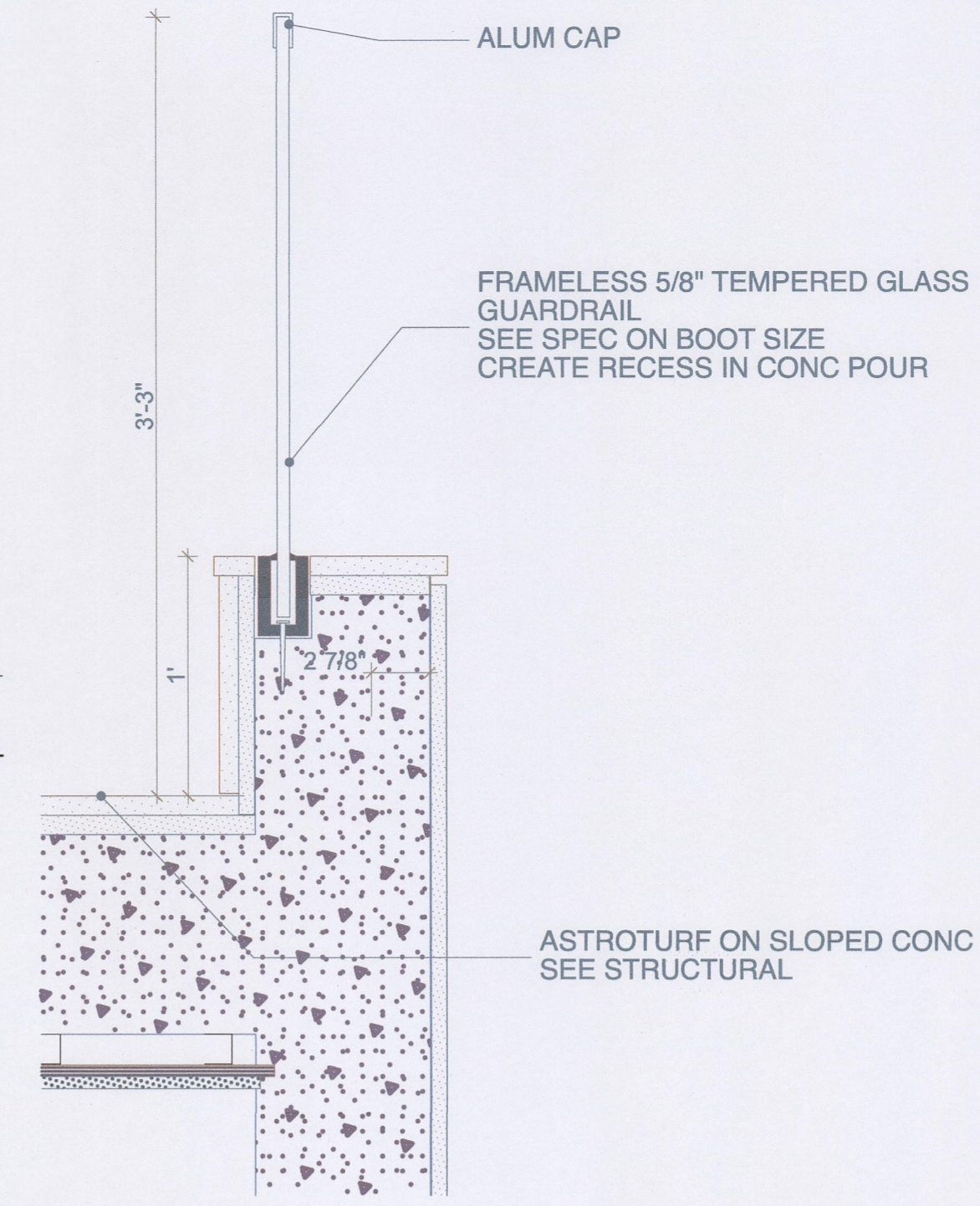
**Johnson Garage**  
169 S Beach Rd Jupiter Island Florida 33455 USA

9/5/25 DEP Submission

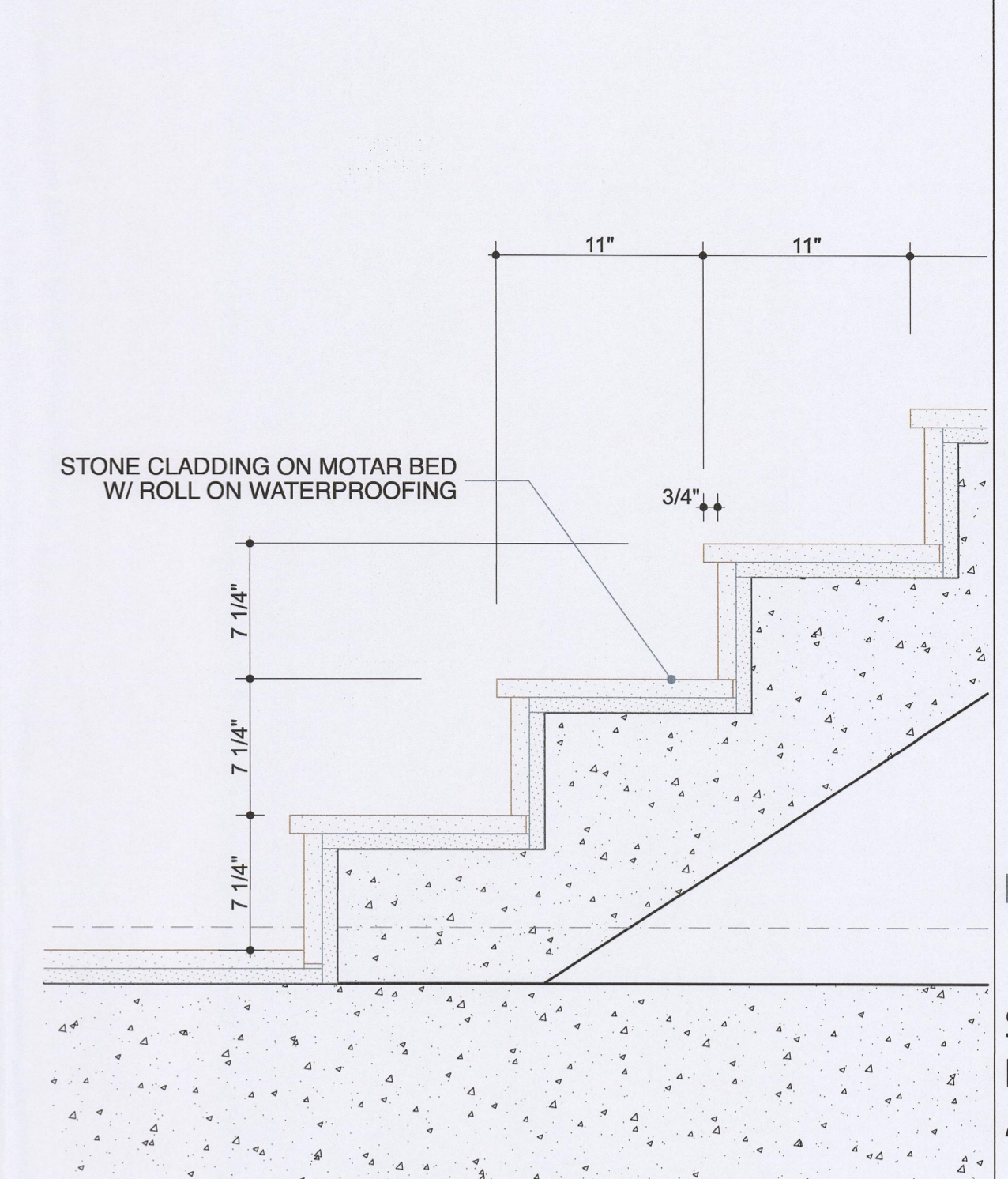
proposed exterior elevations  
**A-2.02**



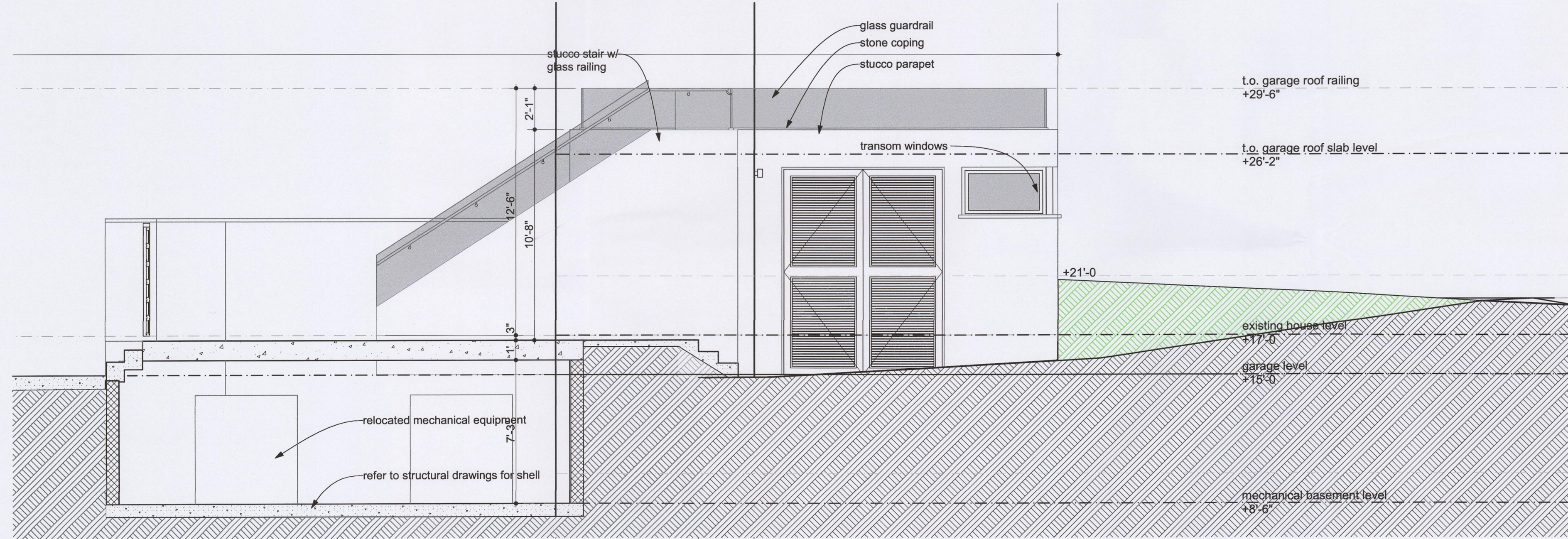
**4** garage elevation W  
scale: 1/4" = 1'-0"



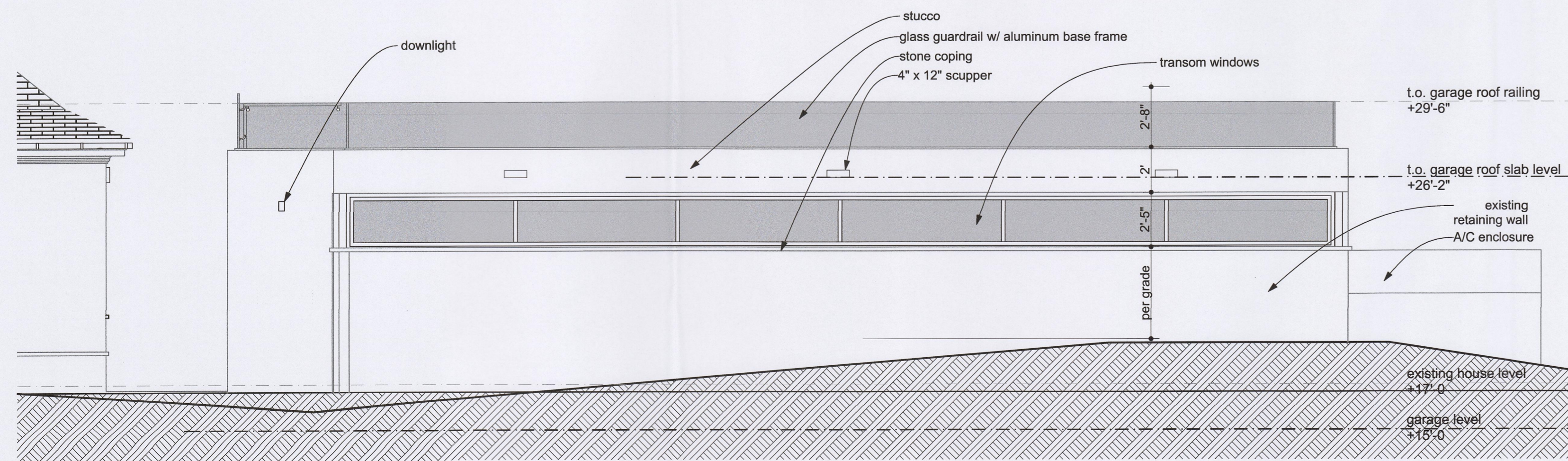
**5** railing detail  
scale: 1 1/2" = 1'-0"



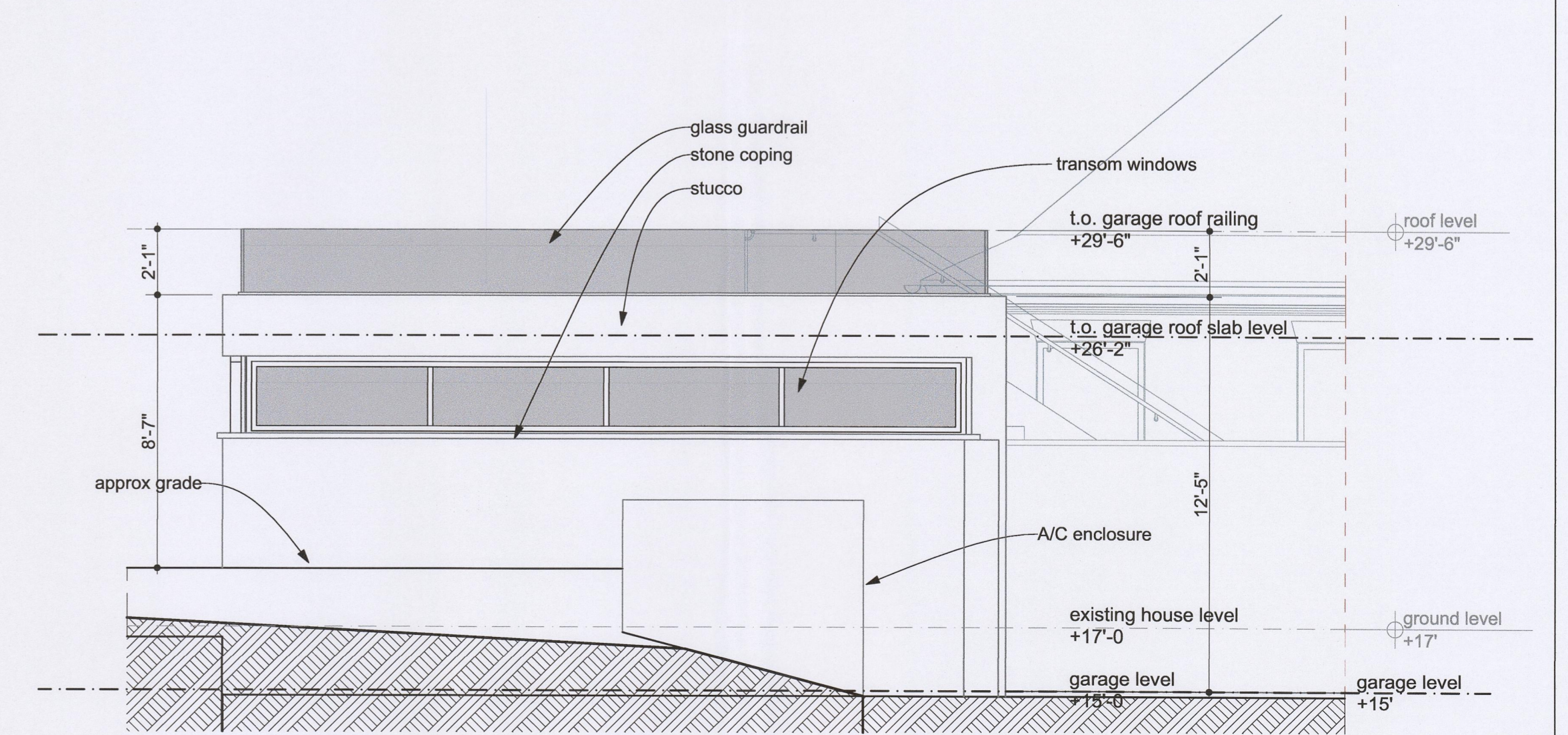
**6** stair section detail  
scale: 1 1/2" = 1'-0"



**3** garage elevation S  
scale: 1/4" = 1'-0"



**2** garage elevation E  
scale: 1/4" = 1'-0"



**1** garage elevation N  
scale: 1/4" = 1'-0"

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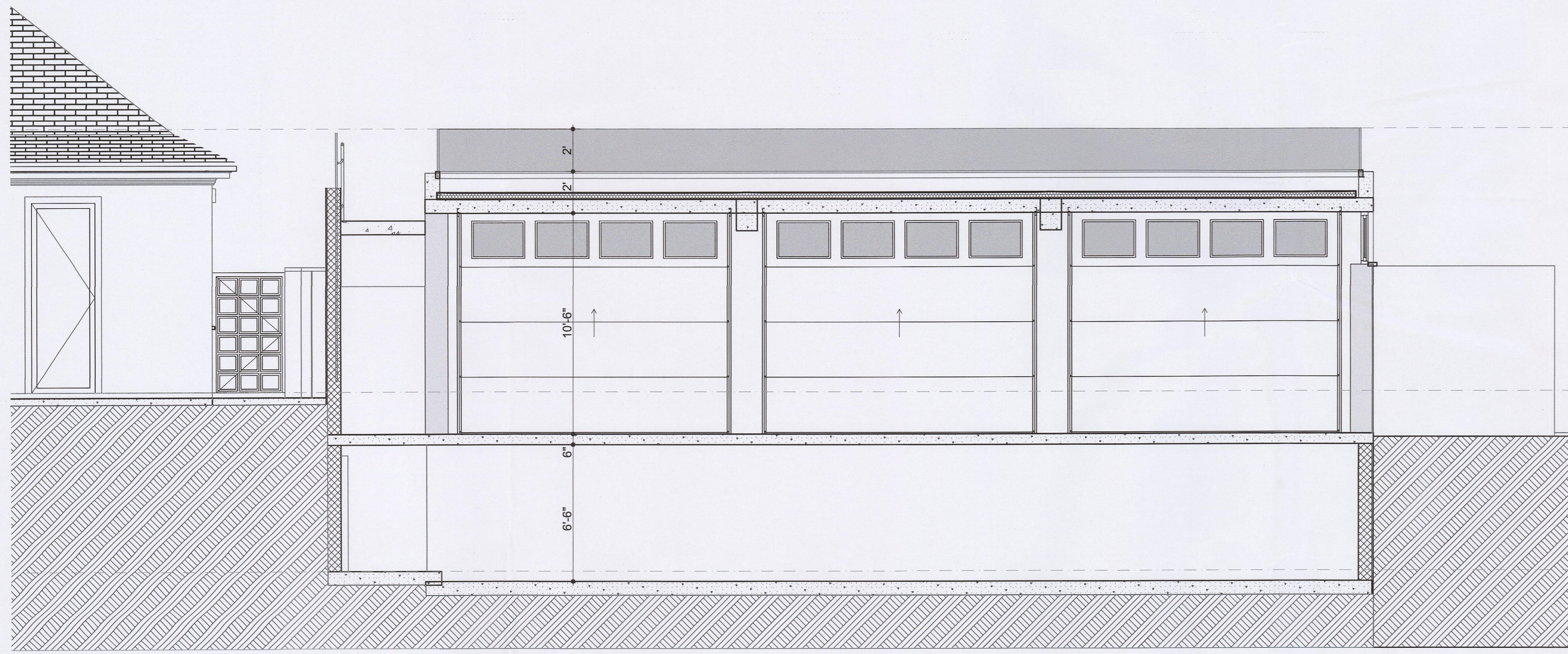
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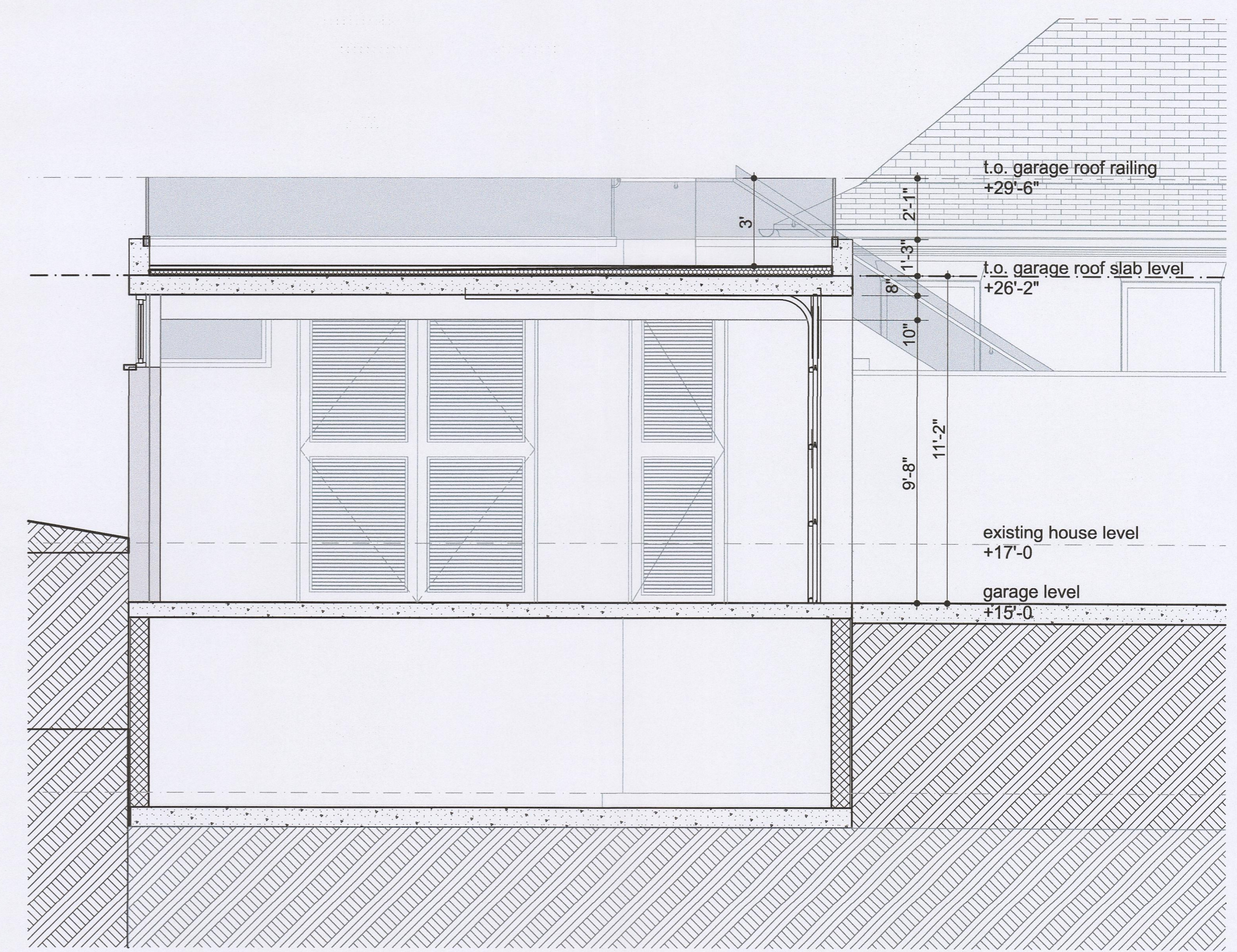
9/5/25 DEP Submission

proposed garage exterior elevations

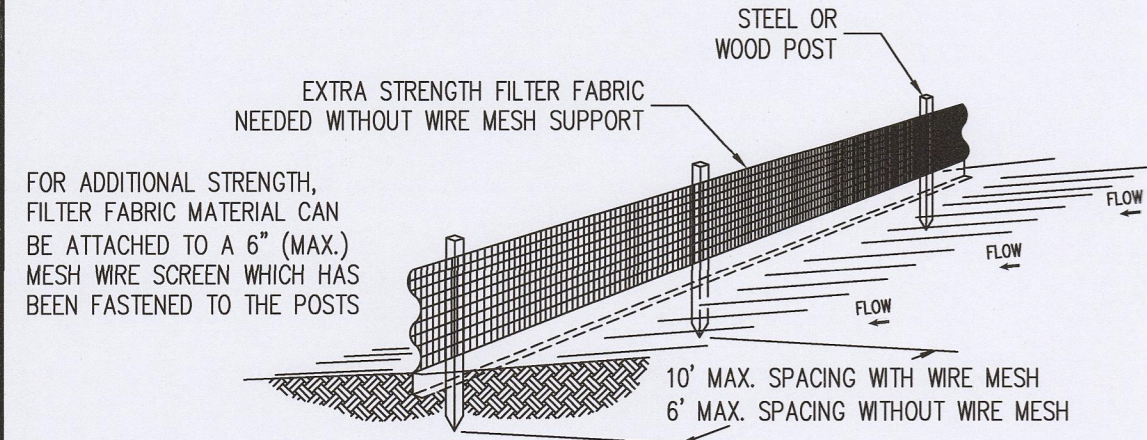
**A-2.03**



2 building section at living space (3)  
scale: 1/4" = 1'-0"



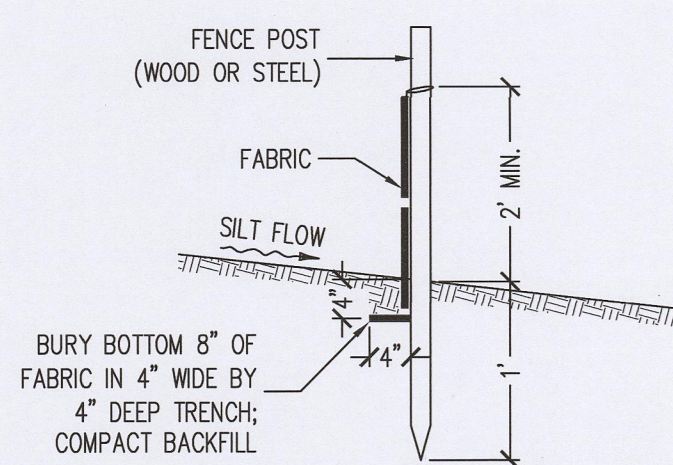
1 building section  
scale: 1/4" = 1'-0"



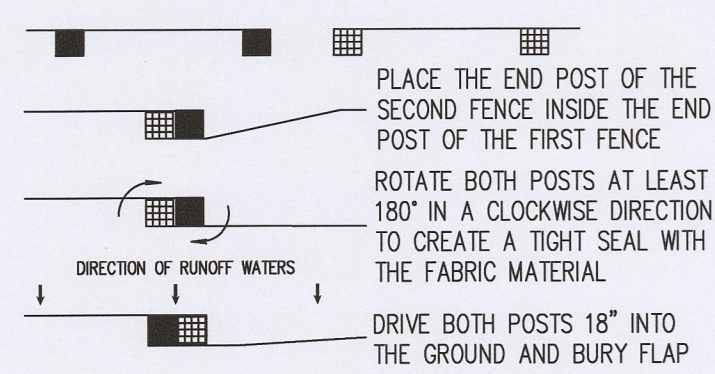
**Notes:**

- 1) The height of a silt fence shall not exceed 36".
- 2) Filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
- 3) Posts shall be spaced a maximum of 10' apart at the barrier location and driven securely into the ground a minimum of 12". When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6'.
- 4) A trench shall be excavated approximately 4" wide and 4" deep along the line of posts and upslope from the barrier.
- 5) When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1" long, tie wires, or hog rings. The wire shall extend into the trench a minimum of 2" and shall not extend more than 36" above the original ground surface.
- 6) The standard strength filter fabric shall be stapled or wired to the fence, and 8" of the fabric shall be extended into the trench. The fabric shall not extend more than 36" above the original ground surface.
- 7) The trench shall be backfilled and the soil compacted over the filter fabric.

**SILT FENCE DETAIL**  
N.T.S.



**SILT FENCE SECTION**  
N.T.S.



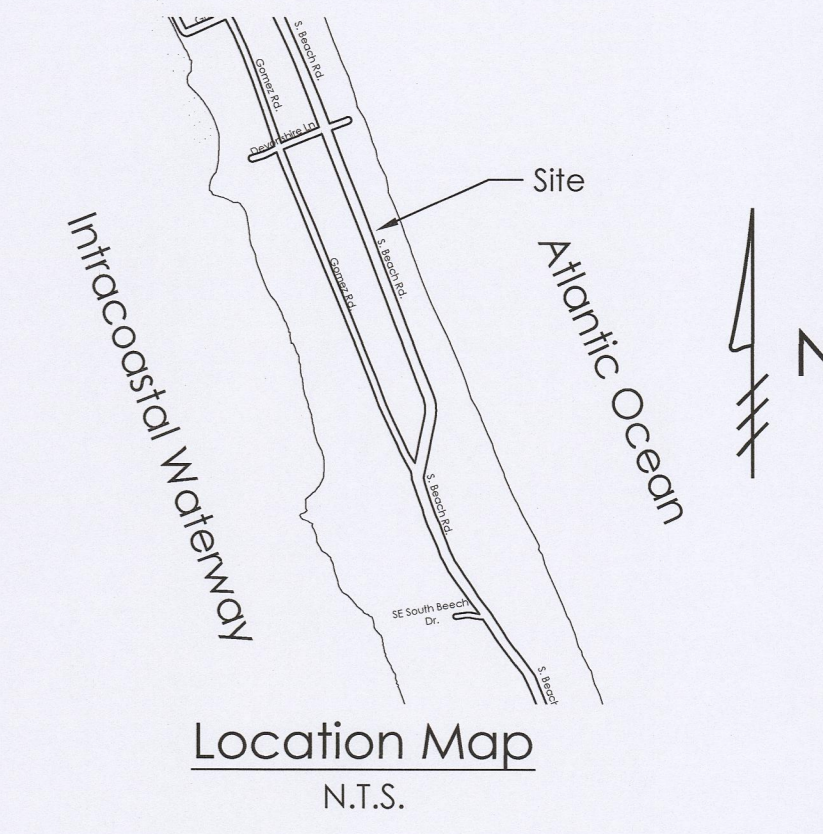
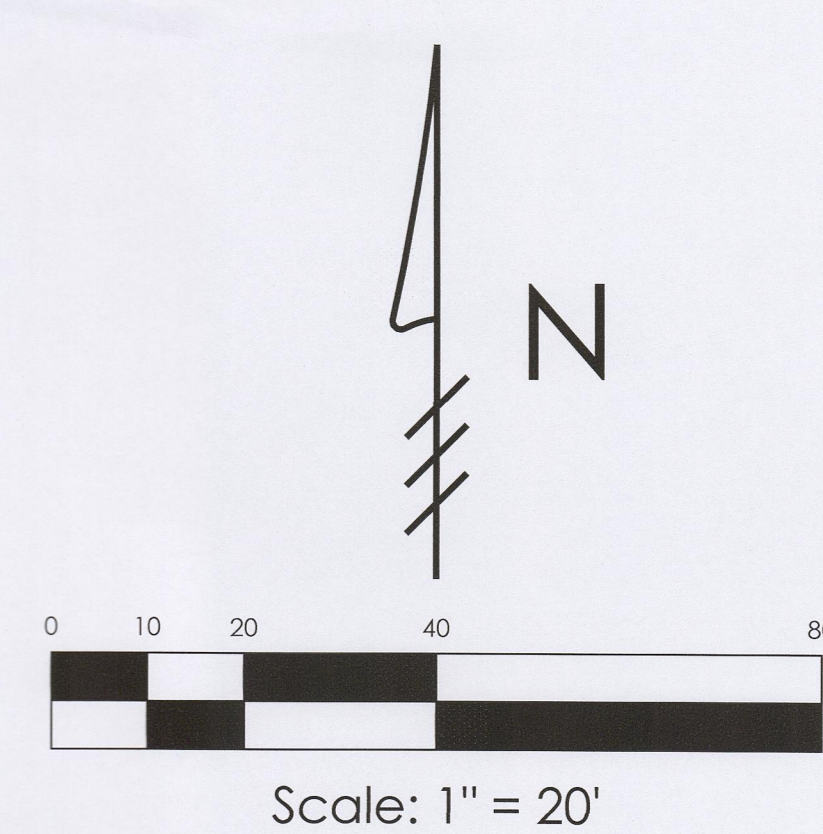
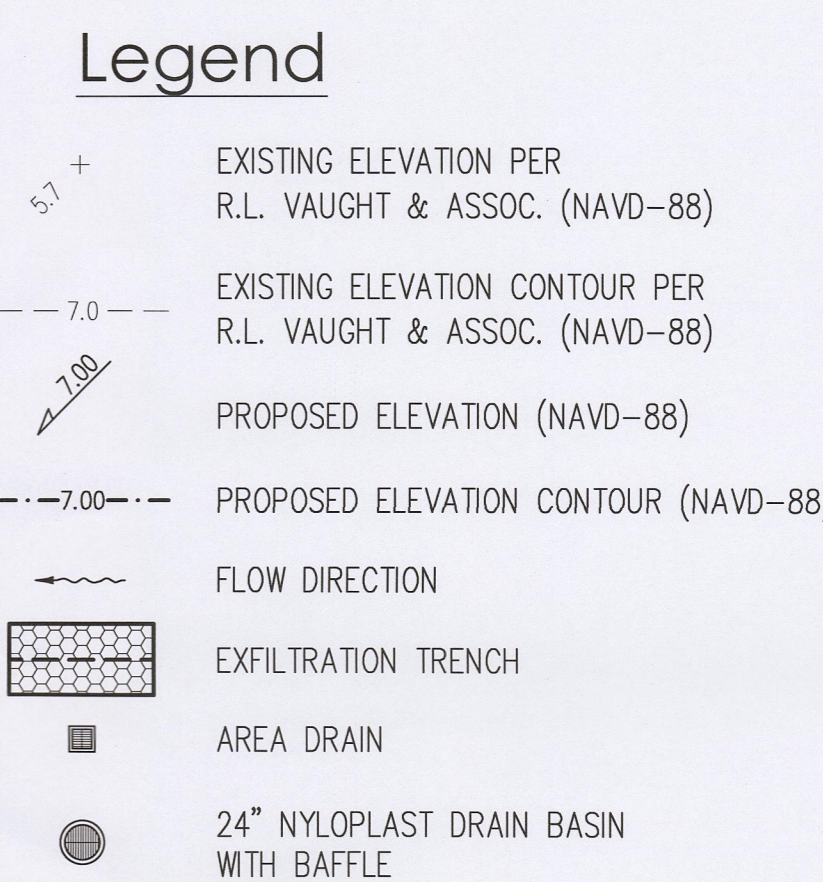
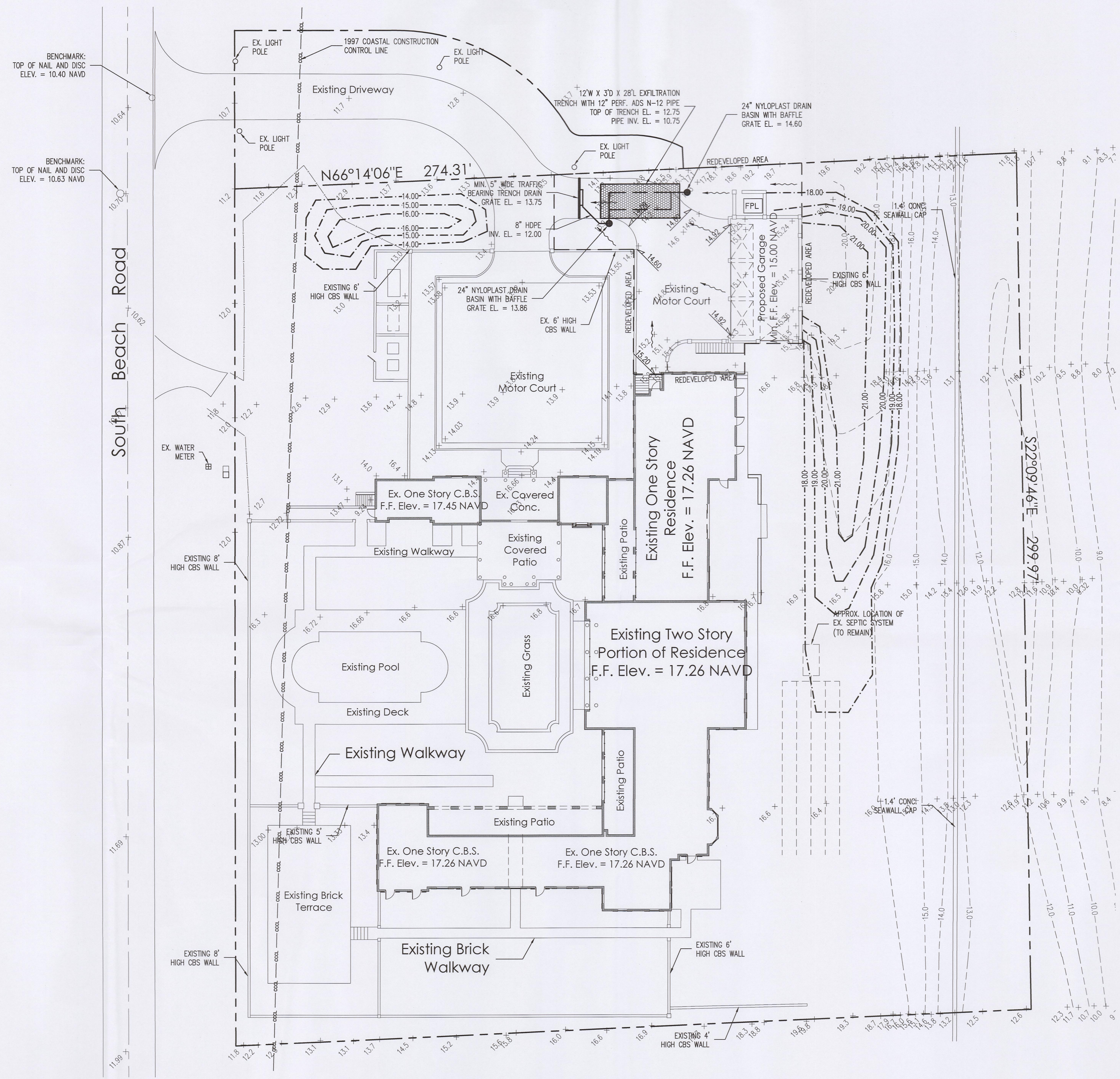
**ATTACHING TWO SILT FENCES**  
N.T.S.

**Septic System Notes:**

- 1) Removal of any existing septic system and installation of any proposed septic system shall be in accordance with the current specifications and standards of Chapter 62-6 of the Florida Administrative Code and Chapter 381 of the Florida Statutes.
- 2) Fill material used for septic system installation shall meet the requirements of the current specifications and standards of Chapter 62-6 of the Florida Administrative Code and Chapter 381 of the Florida Statutes.
- 3) Septic system drainfield area shall be sodded immediately after the drainfield has been covered.
- 4) Contractor to determine final amount of cover over septic tanks prior to tank installation. Final cover of 18" or less with the wet season water table below top of tank requires min. Category 3 tank. Final cover of 18" to 48" or a wet season water table above the top of tank requires min. Category 4 tank. Contact engineer immediately if amount of cover over tank will be greater than 48".

**Drainage System Notes:**

- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- 3) Contractor is responsible for installing and maintaining erosion control measures during construction.



**GC**

**GRUBER CONSULTING ENGINEERS**

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West Palm Beach, FL 33401  
561.312.2041  
office@gruberengineers.com

**811**  
Know what's below. Call 811 before you dig.  
Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.

Site Grading & Septic System Plan For:  
**PROPOSED ADDITION**  
169 South Beach Road  
Jupiter Island, Florida

**PROJECT INFORMATION:**

Project No.	2024-0068
Issue Date	11/20/2024
Scale	1" = 20'

**REVISIONS:**

1	02/11/2026
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

**CHAD M. GRUBER**  
FLORIDA P.E. NO. 57466

Digitally signed by Chad M Gruber  
Date: 2026.02.11 15:58:35 -05'00'

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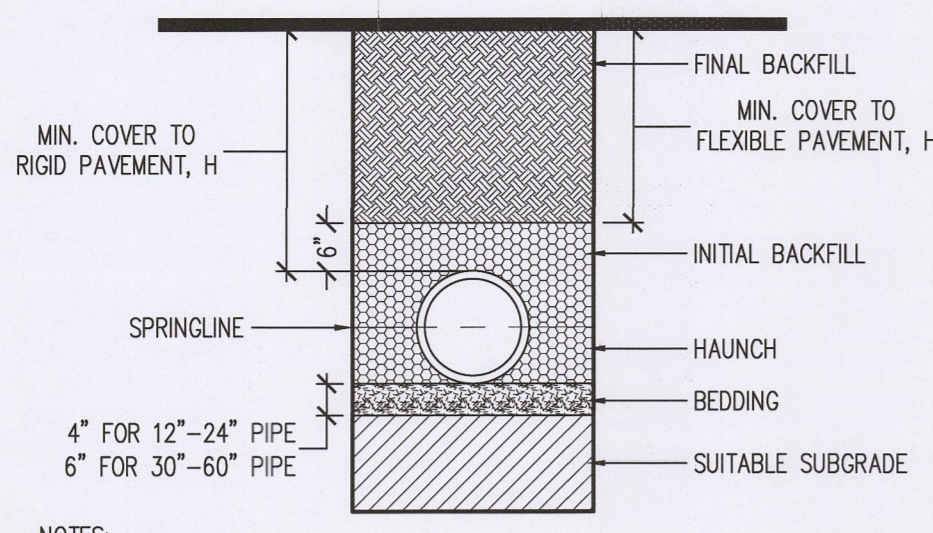
**SHEET NUMBER:**

**C-1**

Plan Background from Hardscape Plan by Innocenti & Webel Received 2/2/26  
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**General Notes & Specifications:**

- The contractor shall check all drawings furnished immediately upon their receipt and shall promptly notify the engineer in writing of any discrepancies. Anything shown on the drawings and not mentioned in the specifications or mentioned in the specifications and not shown on the drawings, shall be of like effect as if shown or mentioned in both.
- Figure marked on drawings shall, in general, be followed in preference to scale measurements. Large scale drawings shall in general, govern small scale drawings. The contractor shall compare all drawings and verify the figures before laying out the work and will be responsible for any errors which might have been avoided thereby. When dimensions on the drawings are affected by the type of equipment selected, the contractor shall adjust such dimensions as conditions may require.
- If the contractor, in the course of the work, finds any discrepancy between the drawings and the physical conditions of the locality, or any error or omissions in the drawings or in the layout as given by points and instructions, or discovers unforeseen underground or above ground conditions or any other unexpected conditions requiring additional work by the contractor, it shall be his duty to immediately inform the engineer, in writing, and the engineer shall promptly check the accuracy of the information. Any work done after such discovery, until any necessary changes are authorized, will be done at the contractor's risk.
- If any part of the contractor's work depends, for proper execution or results, upon the work of any other contractor, the contractor shall inspect and measure work already in place and shall at once report to the engineer any discrepancies between the executed work and the drawings.
- The engineer or his authorized representative shall have free access to the work of the contractor at any time for the purpose of inspection. The contractor shall furnish the facilities to determine, as best as can reasonably be done, the nature and quality of the work performed. Such assistance of the contractor shall, if necessary, include the uncovering, testing or removal of portions of the finished work.
- All debris shall be removed from the area and legally disposed. Debris may be burned upon obtaining proper burning permit but any unburned remains are to be disposed of as directed by the owner or his representatives.
- The contractor shall be responsible for protecting all buildings, structures, and utilities that are underground, above ground, or on the surface against construction operations that may be hazardous to said facilities and shall hold and save the owner harmless against all claims of damage. The contractor shall, by repair or replacement, return to equal or better condition all pavement, sidewalk, lawns, utilities and other items damaged by this construction activity.
- The contractor shall be responsible for obtaining all required tests and shall submit reports by an independent testing laboratory approved by the engineer. Should any test fail to meet specification as shown herein, the contractor shall, at his expense, correct all deficient work and submit laboratory test results showing compliance with these specifications.
- All work shall be performed in a workmanlike manner and shall conform with all applicable City, County, State and Federal regulations and/or Codes. The contractor shall obtain all permits and licenses required to begin work.
- The contractor shall visually examine the construction site to determine the amount of clearing and existing facilities to be replaced, removed and/or relocated which may be required in order to complete the work.
- The contractor shall give the engineer 48 hours notice prior to requesting required inspections and shall supply all equipment necessary to properly test and inspect the completed work.
- The contractor shall guarantee all work and materials for a period of one year from the date of project acceptance, during which all faulty construction and/or materials shall be corrected at the contractor's expense.
- All work shall be accomplished in a safe and workmanlike manner. The contractor shall comply with all applicable laws and regulations of any public and/or private body having jurisdiction for the safety of persons or property or to protect them from damage, injury or loss and shall erect and maintain all necessary safeguards for such safety and protection. The responsibility for project safety rests solely and specifically with the contractor. Local agencies and their employees and agents are specifically indemnified and held harmless from any actions of the contractor relating to the safety procedures implemented during construction and from any claims brought by any persons regarding safety, personal injury or property damage.
- Minimum Construction Inspection Checkpoints: 1) Prior to any major deviation from the approved plans 2) Prior to backfilling of any trenches containing hydraulic conduits so that jointing may be mutually approved 3) Upon completion of subgrade compacting 4) At the time of delivery of base material 5) Upon completion of the base and prior to priming 6) Immediately prior to and upon the first and second applications of the plant mixed wearing course 7) Upon completion of construction, a final inspection will be made with project representative
- All unsuitable material such as muck, marl and debris shall be removed from the limits of construction and legally disposed. At the engineer's direction, muck may be stockpiled on the site at designated locations for use in landscaping.
- All material and equipment to be furnished and/or installed by the contractor for this project shall be guaranteed for a period of one year from the date of final acceptance thereof, against defective materials, design and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials during the guarantee period, the affected part, parts or materials shall be replaced promptly with new parts or materials by the contractor at no expense to the owner. In the event the contractor fails to make the necessary replacement or repairs within seven (7) days after notification by the owner, the owner may accomplish the work at the expense of the contractor.
- The contractor shall complete "as-built" information relative to pipe lengths, materials and any deviation from plans and provide a copy of such to the owner and engineer for final acceptance of the contractor's work.



- NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION
  - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED
  - SUITABLE SUBGRADE:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL
  - BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 4"-24" PIPE; 6" FOR 30"-60" PIPE. EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE. EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER:** MINIMUM COVER, H IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 18" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 64"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

**TRENCH AND BACKFILL DETAIL**  
N.T.S.

**Stormwater Retention Calculations**

- A. SITE INFORMATION**
- Total Property Area = 82,949 sq.ft. (1.904 ac.)  
 Drainage Basin Area (Proposed Garage Area) = 4,837 sq.ft. (0.111 ac.)  
 Impervious Plan Area = 3,694 sq.ft.  
 Remaining Pervious Plan Area = 1,143 sq.ft.
- B. ESTIMATED STORMWATER RETENTION VOLUME**
- Rainfall and Soil Storage Data
 

Accumulated 5yr-1 day rainfall (P):	7.0 in.
Soil type and condition:	coastal, sandy, compacted
Potential maximum soil retention (S <sub>max</sub> ):	8.18 in.
  - Estimated Runoff Volume
 

Determine the weighted soil storage amount by multiplying the potential maximum retention (S<sub>max</sub>) by the percent of pervious surface area proposed:  
 S<sub>weighted</sub> = (8.18 in. x 1,143 sq.ft.) / 4,837 sq.ft. = 1.93 in.

The amount of accumulated direct runoff in inches can be determined from the following formula:  
 $Q = [P - 0.2 \times S_{weighted}]^2 / [P + 0.8 \times S_{weighted}] = 5.12 \text{ in.}$

Volume of Runoff = 5.12 in. x 4,837 sq.ft. x 1 ft./12 in. = 2,064 cu.ft.

Vol. of runoff to be retained in exfiltration trenches (including 20% safety factor) = 2,477 cu.ft.
- C. PROPOSED EXFILTRATION TRENCH SIZING**
- Per SFWMD Volume IV, Permit Information Manual, Figure F-4, the formula for determining the required length of exfiltration trench is given as:
- $$L = \frac{V}{K[H_2W + 2H_2Du - Du^2 + 2H_2Ds] + (1.39 \times 10^{-4})Wdu}$$
- |                  |                                 |   |        |                        |
|------------------|---------------------------------|---|--------|------------------------|
| L =              | Total Length of Trench Provided | = | 28     | ft                     |
| W =              | Trench Width                    | = | 12     | ft                     |
| K =              | Hydraulic Conductivity          | = | 0.0002 | cts/sq.ft./ft. of head |
| H <sub>2</sub> = | Depth to Water Table            | = | 6.00   | ft                     |
| D <sub>U</sub> = | Un-Saturated Trench Depth       | = | 3.00   | ft                     |
| D <sub>S</sub> = | Saturated Trench Depth          | = | 0.00   | ft                     |
| V =              | Volume Treated                  | = | 2,521  | cu.ft.                 |

**Stormwater Maintenance Plan/Program:**

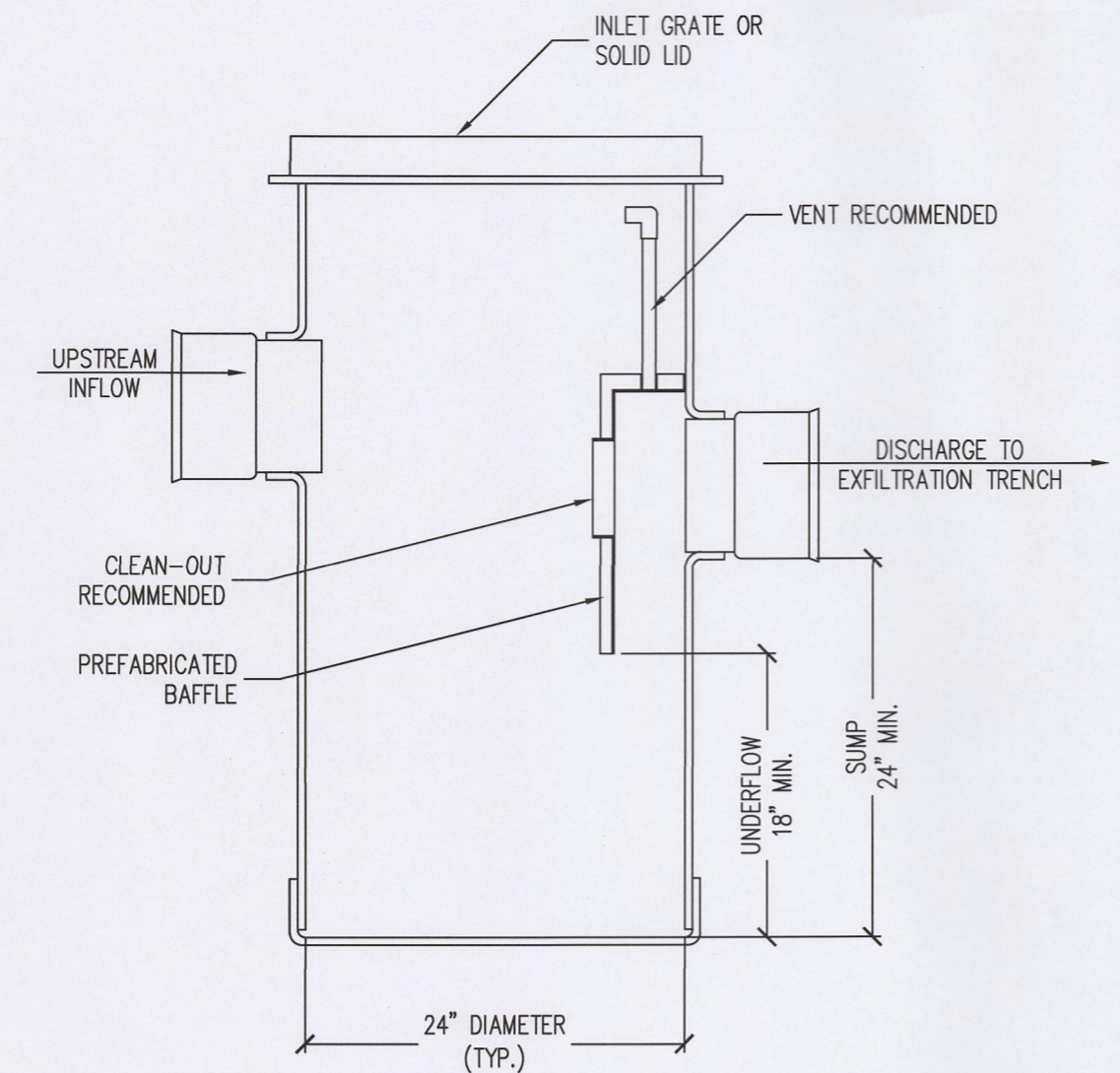
The stormwater management system designed for this project utilizes surface drains, storm sewer piping and exfiltration trench to meet the requirements of the Town of Jupiter Island LDR. These items are designed to operate by gravity however maintenance is required to ensure proper function. Periodic, ongoing inspections of various portions of the system shall be done at the following intervals.

**Monthly Inspection:** Visual inspection of all surface drains and removal of any debris encountered.

**Semi-annual Inspection:** Visual inspection of all Nyloplast basin sumps and removal of all sediment and debris encountered.

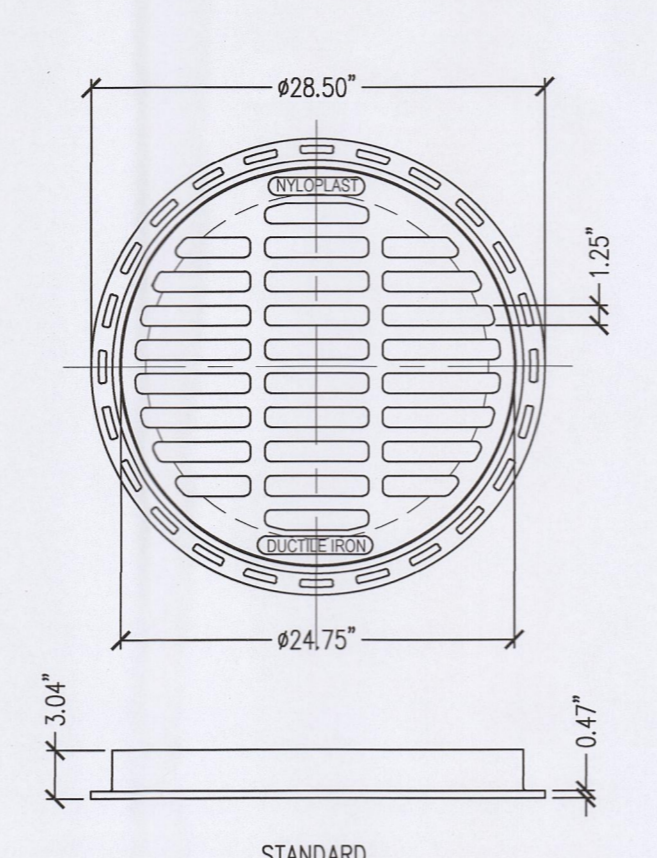
**Every five (5) years:** Every five years, all storm piping shall be video inspected to ensure that storm piping is free of sediment and root intrusion. Any sediment and/or root intrusion encountered shall be removed by jetting with vacuum extraction of any foreign material. Any section of storm piping found to have structurally failed will be excavated and replaced.

**24" NYLOPLAST DRAIN BASIN**



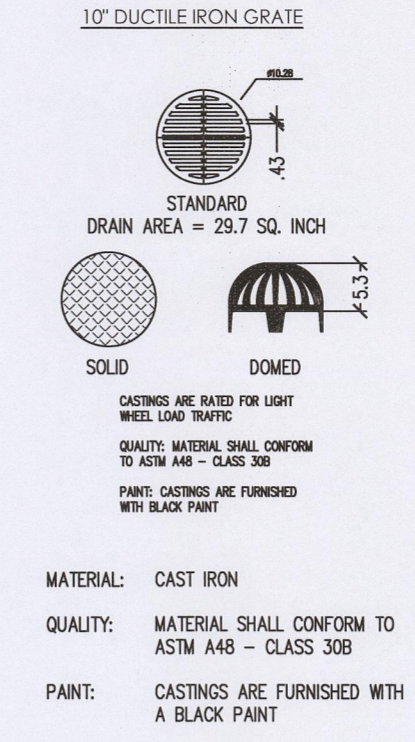
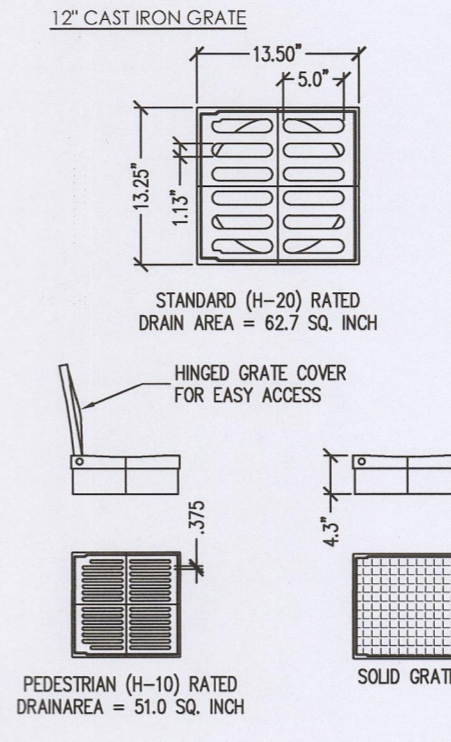
**NOTE: INLET TO HAVE MIN. 24" SUMP AND MIN. 18" CLEARANCE BETWEEN BOTTOM OF BAFFLE AND BOTTOM OF INLET**

**24" DUCTILE IRON GRATE**

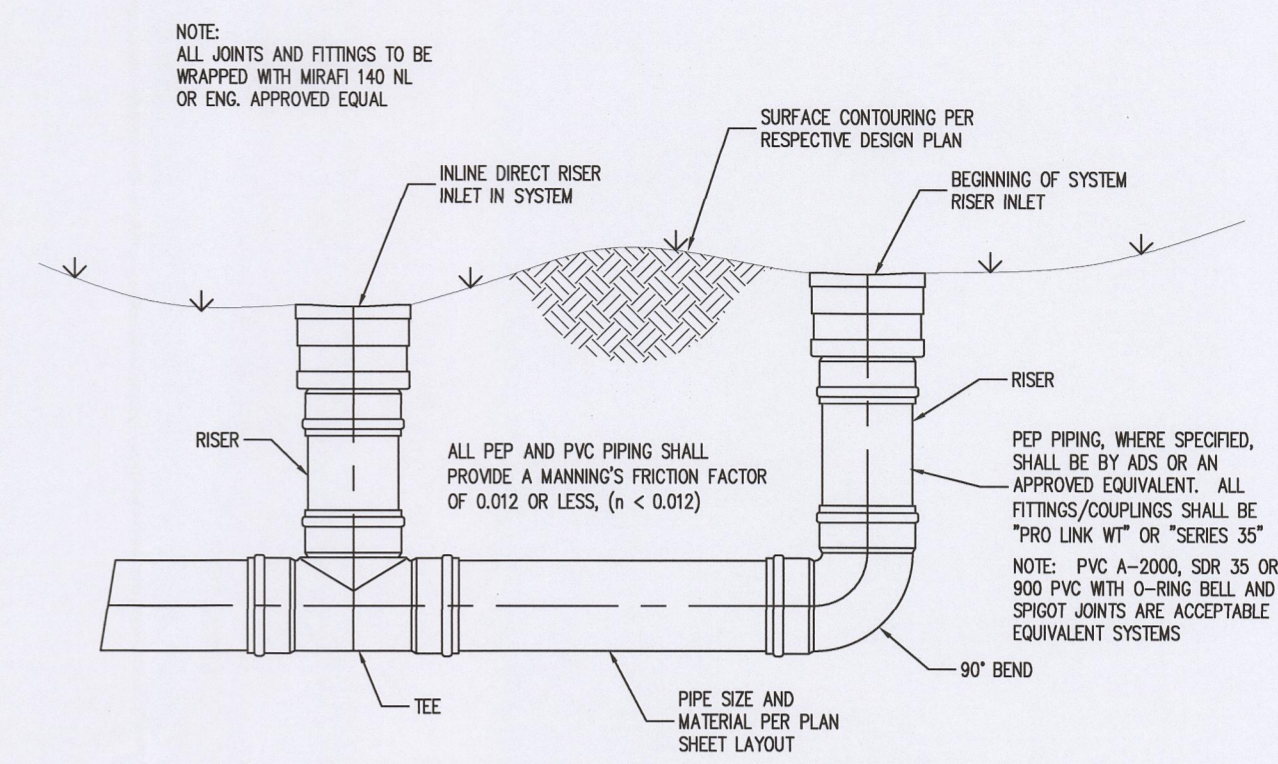


- STANDARD**
- APPROX. DRAIN AREA = 194.60 SQ.IN.  
 APPROX. WEIGHT WITH FRAME = 124.00 LBS.  
 STANDARD GRATE HAS H-25 HEAVY DUTY RATING  
 SOLID COVER HAS H-25 HEAVY DUTY RATING  
 PEDESTRIAN GRATE HAS H-10 MEDIUM DUTY RATING
- QUALITY:** MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05
- MATERIAL:** DUCTILE IRON
- PAINT:** CASTINGS ARE FURNISHED WITH A BLACK PAINT LOCKING DEVICE AVAILABLE UPON REQUEST PRICE INCLUDES FRAME & GRATE/COVER

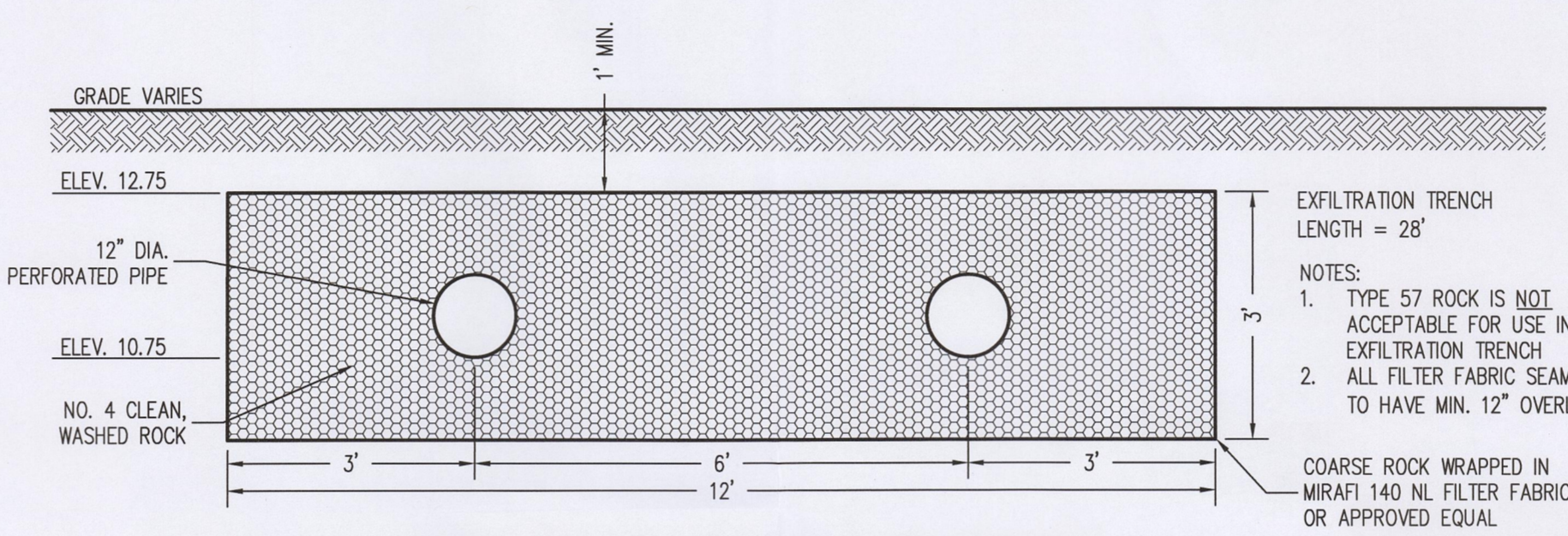
**AREA DRAIN DETAIL**  
N.T.S.



- NOTE:**  
TYPE OF GRATES & INLETS TO BE COORDINATED WITH ENGINEER & LANDSCAPE ARCHITECT
- PIPE MATERIAL MAY BE PVC, ADS, NDS, OR APPROVED EQUAL



**DIRECT RISER INLET: TYPICAL INSTALLATION**  
N.T.S.



**EXFILTRATION TRENCH DETAIL**  
N.T.S.



**GRUBER CONSULTING ENGINEERS**  
 2475 Mercer Avenue, Suite 305  
 West Palm Beach, FL 33401  
 561.312.2041  
 office@gruberengineers.com



Drainage Specification & Details For:

**PROPOSED ADDITION**

169 South Beach Road  
 Jupiter Island, Florida

**PROJECT INFORMATION:**

Project No.	2024-0068
Issue Date	11/20/2024
Scale	As Shown

**REVISIONS:**

1	02/11/2026
2	
3	
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12	

**CHAD M. GRUBER**  
 FLORIDA P.E. NO. 57466

1 02/11/26 REVISE STORMWATER CALCULATIONS

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SIA authentication code. Printed copies of this document are not considered signed and sealed and the SIA authentication code must be verified on any electronic copies.

**SHEET NUMBER:**

**C-2**